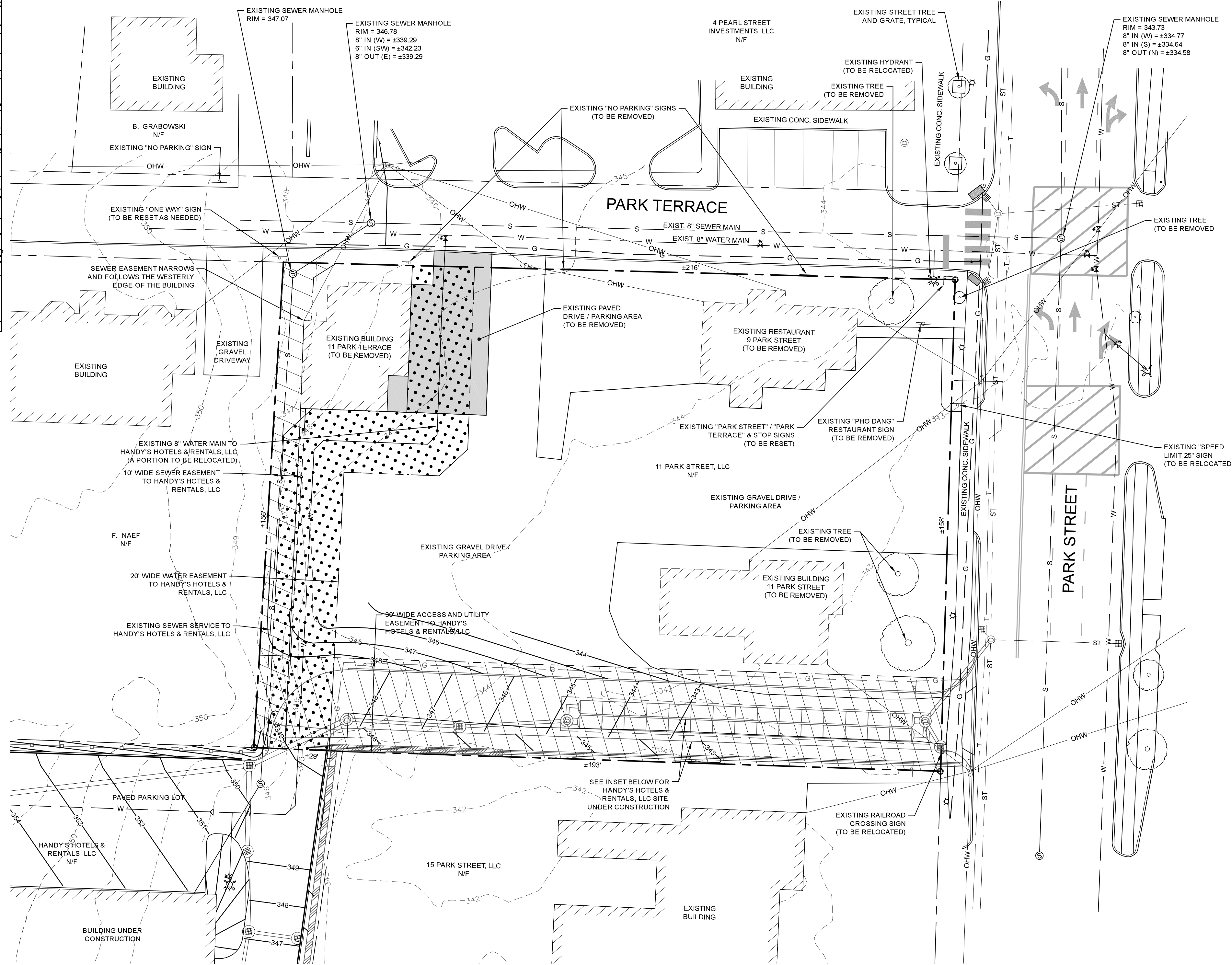
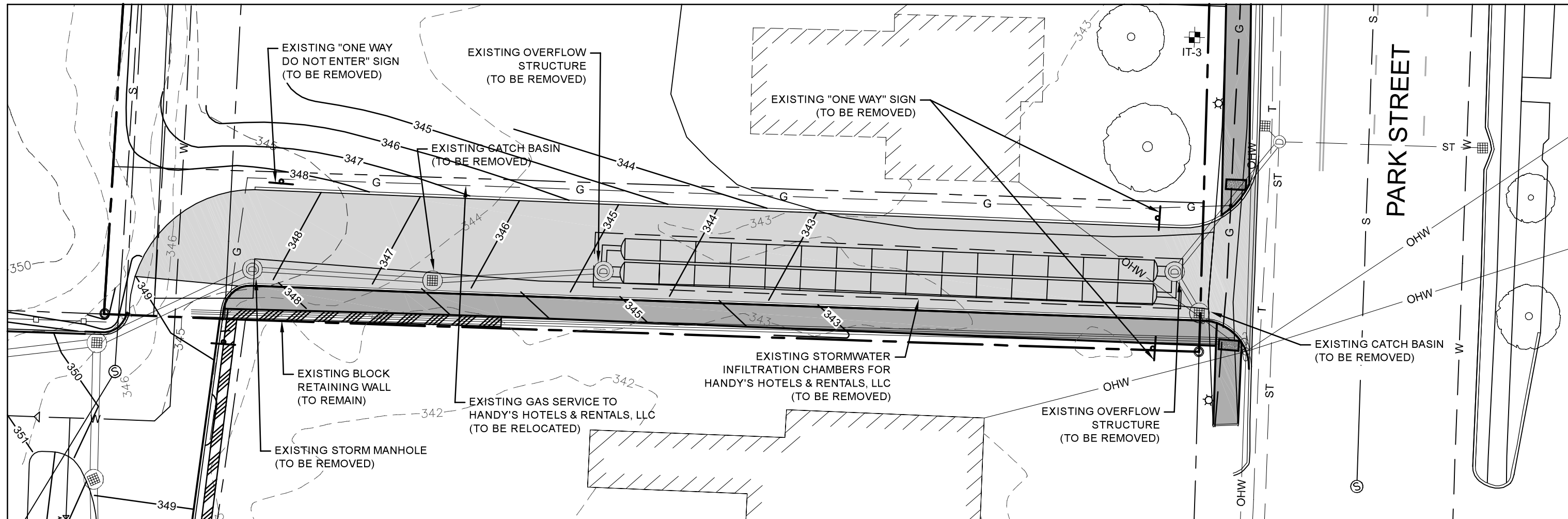
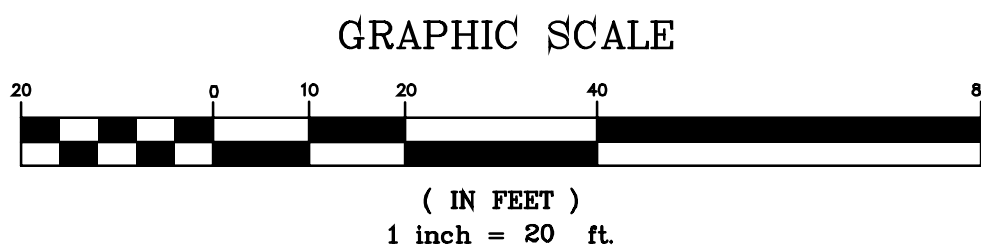


LOCATION PLAN



**NOTE:**  
1. THIS IS NOT A BOUNDARY SURVEY. BOUNDARY LINES ARE SHOWN BASED ON A PLAN PREPARED BY BUTTON PROFESSIONAL LAND SURVEYORS, PC, TITLED "PLAT OF BOUNDARY LINE ADJUSTMENT BETWEEN 11 PARK STREET, 9 PARK STREET, AND 2 PARK TERRACE HANDY'S HOTELS & RENTALS, LLC" DATED 8/12/2018, AND RECORDED IN THE TOWN OF ESSEX LAND RECORDS ON SLIDE 509F, ON 7/17/2018.  
2. THE ACCESS, WATER MAIN AND SEWER EASEMENTS SHOWN ON THIS PLAN ARE AS DESCRIBED IN THE DEED RECORDED IN VOL. 1008, PGS 311-13.  
3. STRUCTURES, PAVEMENTS, WALKS AND UTILITIES DRAWN TO HANDY'S HOTEL AND RENTALS PROPERTY ARE SHOWN IN THEIR DESIGN LOCATIONS AND SHOULD BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL NOTIFY 'DIGSAFE' PRIOR TO ANY EXCAVATION



HANDY'S HOTELS & RENTALS, LLC DESIGN ACCESS AND STORMWATER DESIGN (UNDER CONSTRUCTION)

SCALE: 1" = 20'

LEGEND

- PROJECT BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING OVERHEAD UTILITY, POLE, ANCHOR
- EXISTING GAS MAIN
- EXISTING BURIED TELECOMMUNICATION LINE
- EXISTING WATER MAIN, HYDRANT, GATE VALVE
- EXISTING SANITARY SEWER, MANHOLE
- EXISTING STORM SEWER, MANHOLE, CATCH BASIN
- EXISTING 10' WIDE SEWER EASEMENT FROM MILOT REAL ESTATE TO HANDY'S HOTELS & RENTALS, LLC (NOT CENTERED)
- EXISTING 30' WIDE ACCESS AND UTILITY EASEMENT FROM FROM MILOT REAL ESTATE TO HANDY'S HOTELS & RENTALS, LLC (NOT CENTERED)
- EXISTING 20' WIDE WATER EASEMENT FROM MILOT REAL ESTATE TO HANDY'S HOTELS & RENTALS, LLC (NOT CENTERED)
- EXISTING POLE MOUNTED LIGHT
- EXISTING STREET SIGN
- EXISTING DETECTABLE WARNING STRIP

Date	Revision	By
08-27-2019	ADDED DESIGN INFORMATION FOR HANDY'S PROJECT	NDS

These plans shall only be used for the purpose shown below:

- |   |   |
|---|---|
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| <input type="checkbox"/> Preliminary      | <input type="checkbox"/> Construction   |
| <input checked="" type="checkbox"/> Final | <input type="checkbox"/> Record Drawing |

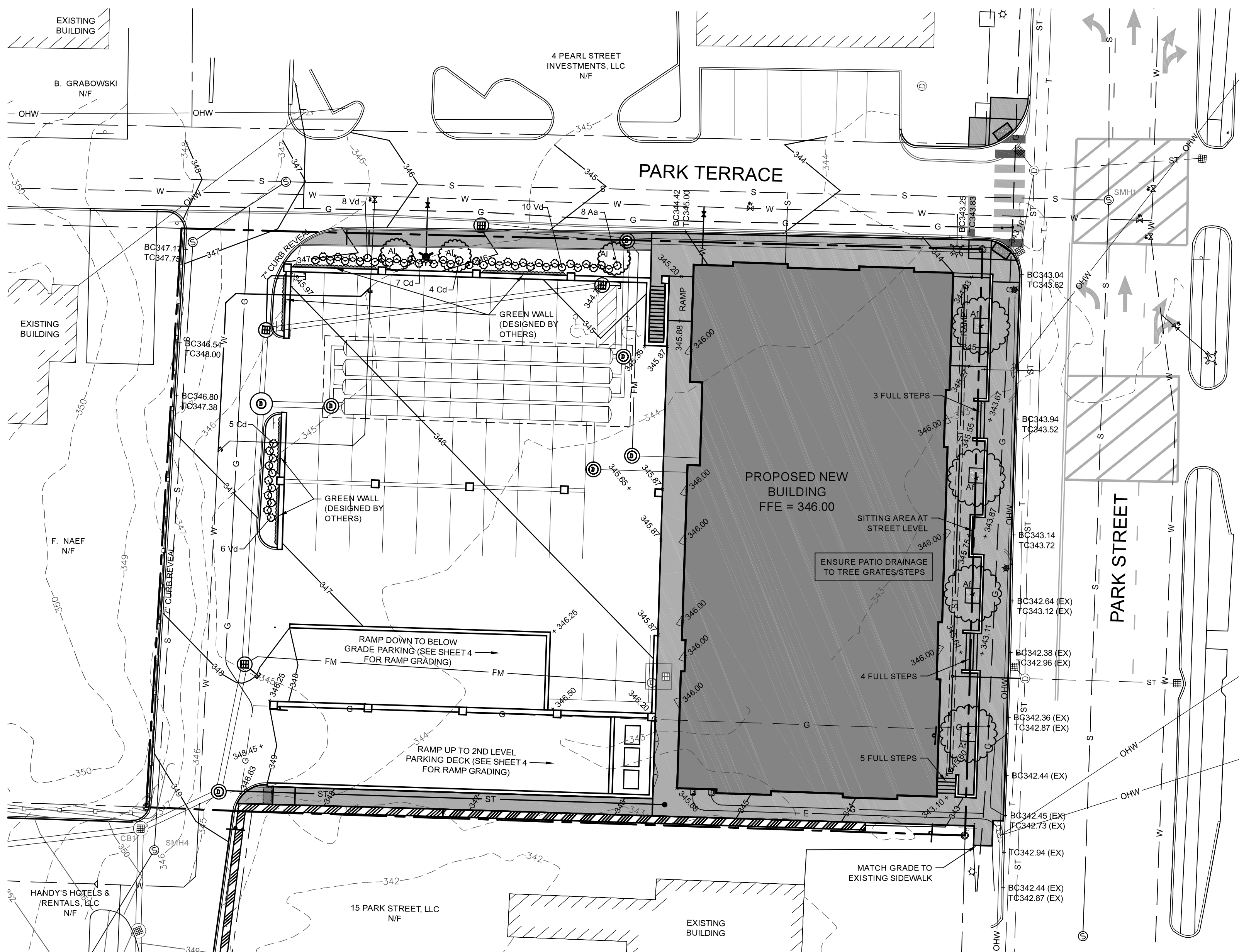
LANDS OF  
**11 PARK STREET, LLC**  
9 & 11 Park Street, Essex Junction, VT

EXISTING CONDITIONS  
PLAN

**Lamoureux & Dickinson**  
Consulting Engineers, Inc.  
14 Morse Drive, Essex, VT 05452  
802-878-4450 www.LDengineering.com

Project No.  
19007  
Survey  
N/A  
Design  
NDS  
Drawn  
DLH  
Checked  
RJD  
Date  
02/15/19  
Scale  
AS NOTED  
Sheet number

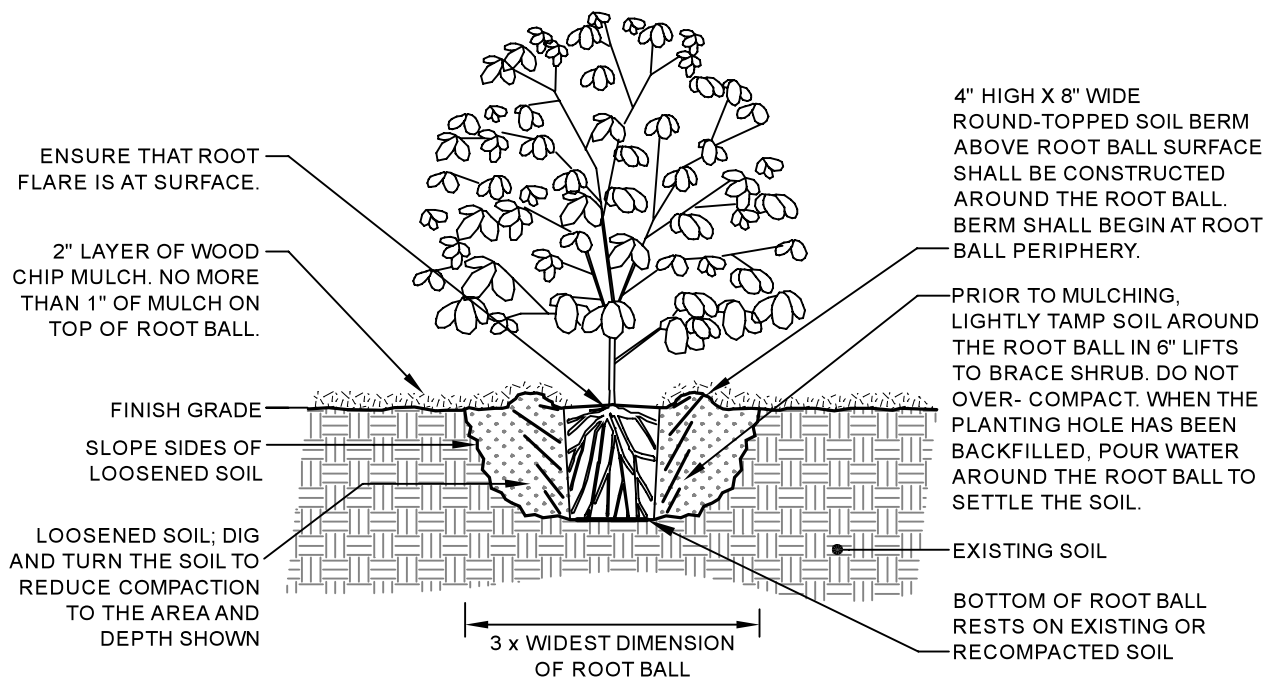




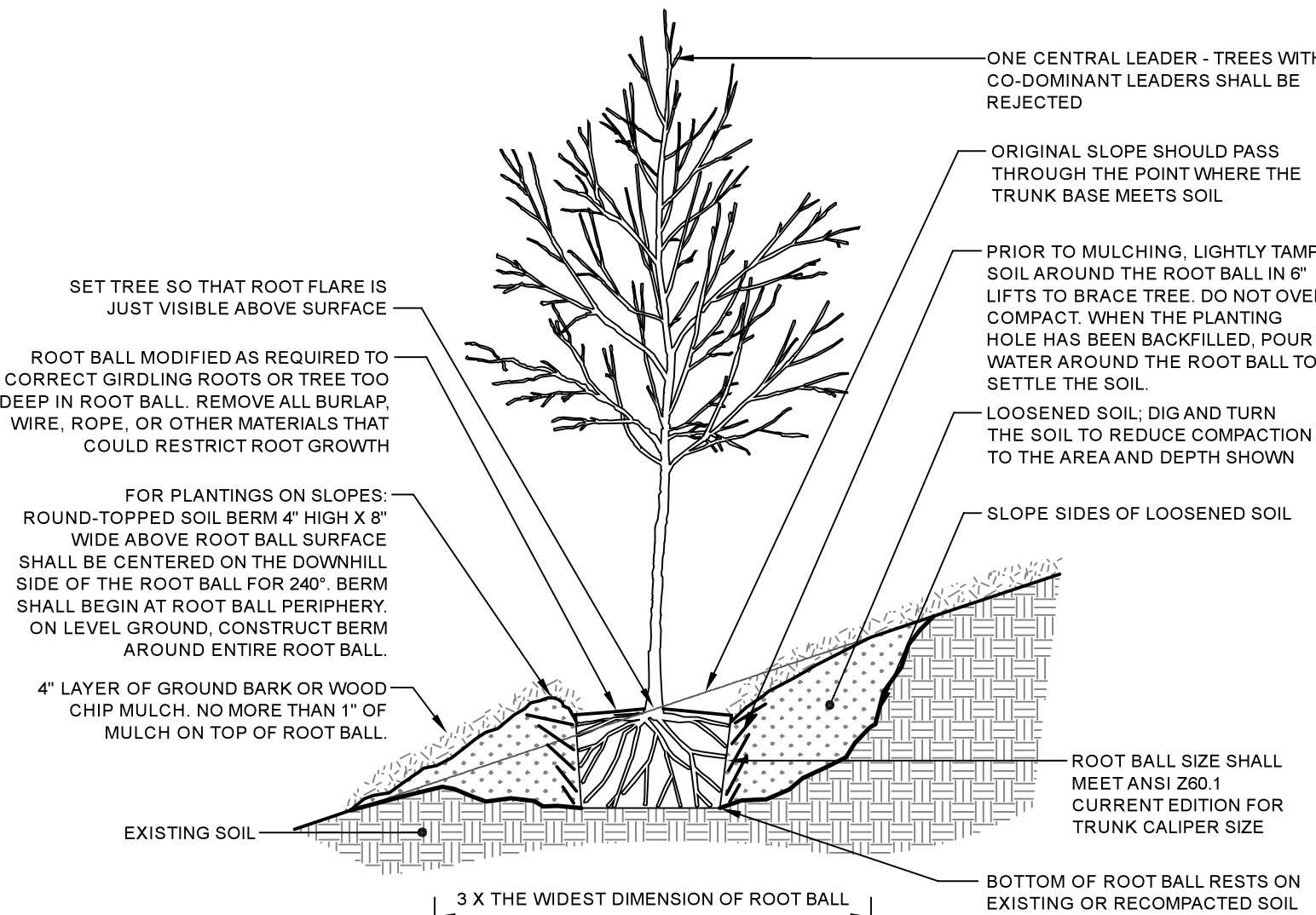
GRADING AND LANDSCAPING LAYOUT  
SCALE: 1" = 20'

### LANDSCAPE SPECIFICATIONS

- CONTRACTOR SHALL STAKE ALL PLANT LOCATIONS AND THE ENGINEER SHALL APPROVE PRIOR TO INSTALLATION.
- CONTRACTOR SHALL NOT BLOCK VEHICLE SIGHT DISTANCES DURING CONSTRUCTION.
- ALL PLANTS THAT ARE TEMPORARILY STORED ON SITE UNTIL READY FOR INSTALLATION SHALL BE PROTECTED FROM THE SUN AND DRYING WINDS. ALL PLANT ROOT BALLS SHALL BE KEPT SHADED AND PROTECTED WITH SOIL, SHREDDED HARDWOOD MULCH OR OTHER ACCEPTABLE MATERIAL, AND REGULARLY WATERED.
- TREES SHALL HAVE A MINIMUM 90% LIVE CROWN RATIO.
- STREET TREES TO ARRIVE FROM NURSERY WITH A MINIMUM 6 FEET / 2 METERS BETWEEN THE ROOT FLARE AND THE FIRST TREE BRANCH.
- TREE PIT AREA SHALL HAVE A MINIMUM 36" DEPTH OF LANDSCAPE PLANTING MIX. SHRUB PLANTING PIT SHALL HAVE A 24" MINIMUM DEPTH. ALL PLANTING PIT AREAS SHALL HAVE THE LANDSCAPE PLANTING MIX SPECIFIED BELOW.
- LANDSCAPE PLANTING MIX SHALL CONSIST OF THE FOLLOWING RATIO: 2/3 PARTS TOPSOIL, 1/3 PART COMPOST. PLANT MIX TO BE TESTED AND APPROVED FOR QUALITY BY THE RESIDENT ENGINEER PRIOR TO INSTALLATION. LANDSCAPE PLANTING MIX SHALL BE INSTALLED IN ALL PLANTING PIT AREAS PRIOR TO PLANT INSTALLATION.
- STAKING SHALL BE REQUIRED ONLY IN SITUATIONS WHERE TREES WILL BE SUBJECTED TO WINDY CONDITIONS AS DETERMINED BY THE RESIDENT ENGINEER. STAKES SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF THE WARRANTY PERIOD.
- AFTER PLANTS HAVE BEEN INSTALLED, MYCORRHIZAL FUNGI SHALL BE APPLIED ACCORDING TO MANUFACTURERS' SPECIFICATIONS. MYCORRHIZAL FUNGI SHALL MEET VTRANS SPECIFICATIONS #755 AND BE APPROVED BY THE RESIDENT ENGINEER PRIOR TO INSTALLATION.



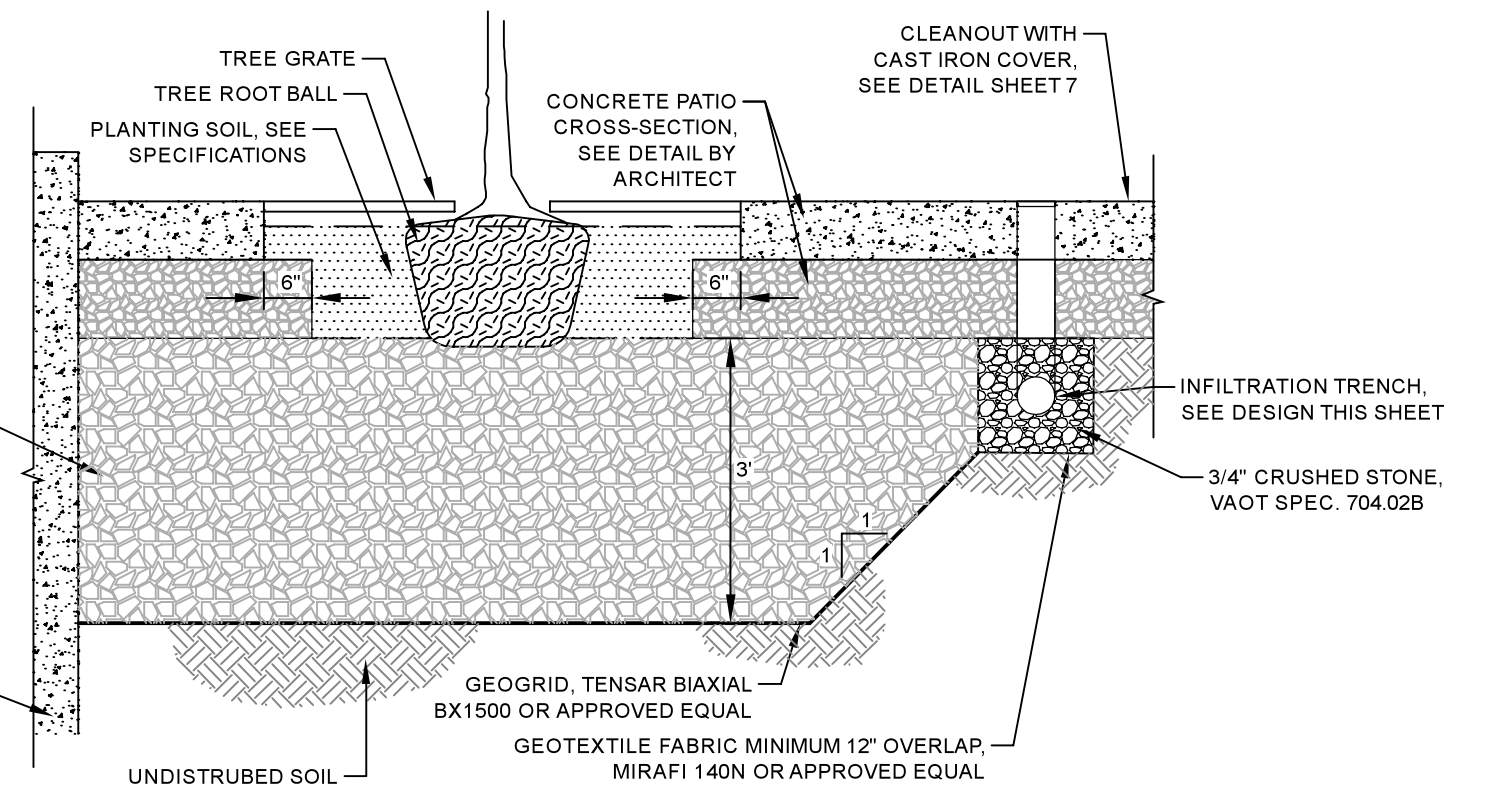
SHRUB PLANTING DETAIL  
NTS



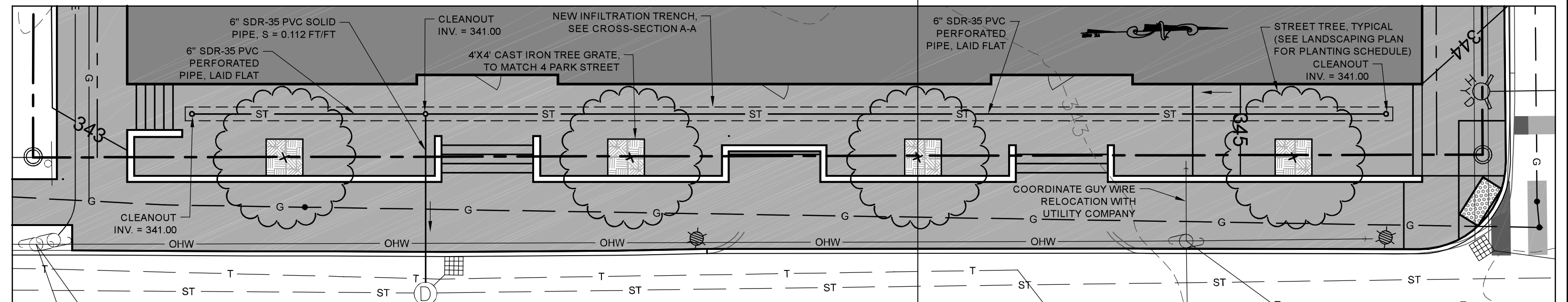
TREE PLANTING DETAIL  
NTS

### LEGEND

- PROJECT BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING OVERHEAD UTILITY, POLE, ANCHOR
- EXISTING GAS MAIN
- EXISTING WATER MAIN, HYDRANT, GATE VALVE
- EXISTING SANITARY SEWER, MANHOLE
- EXISTING STORM SEWER, MANHOLE, CATCH BASIN
- STREET LIGHT
- PROPOSED TREE
- PROPOSED SHRUBS
- BOTTOM OF CURB
- TOP OF CURB



STREET TREE CROSS-SECTION A-A  
NTS

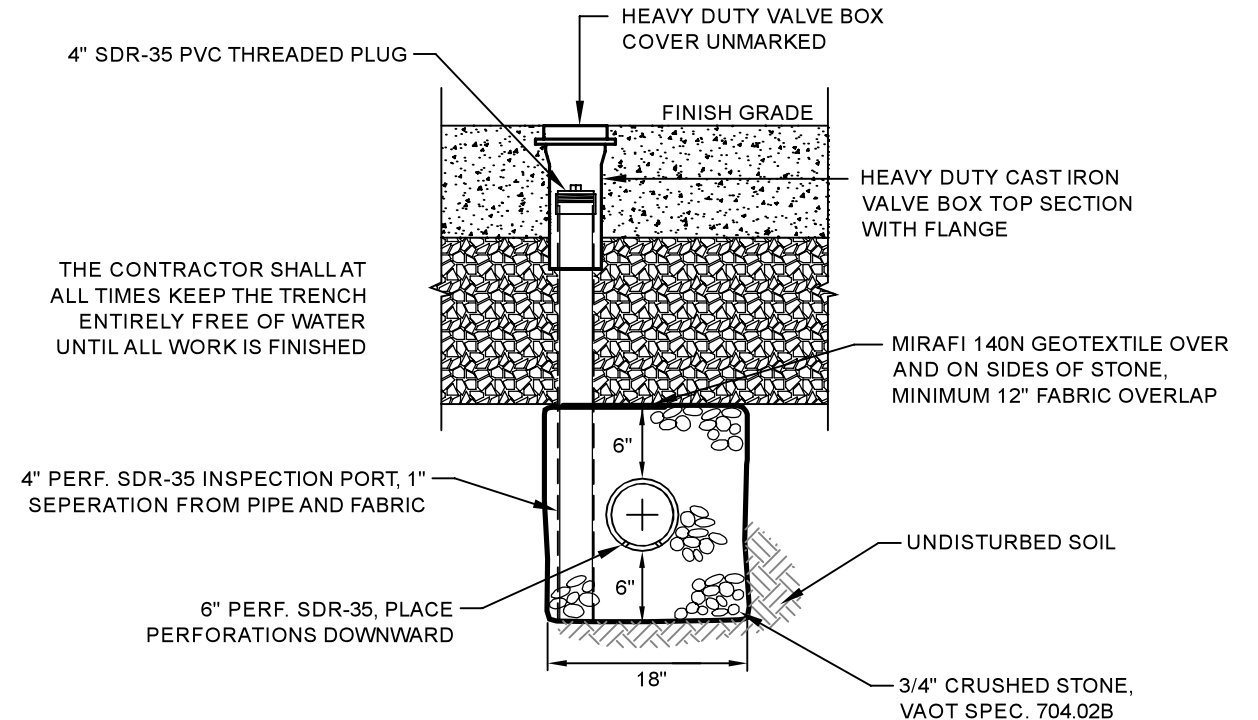


STREET TREE & UNDERDRAIN LAYOUT  
SCALE: 1" = 10'

### PLANTING SCHEDULE

Key	Botanical Name	Common Name	Size	Number	Remarks
<b>Trees</b>					
M	<i>Acer x freemiana</i> "Armstrong"	Armstrong Maple	2 1/2" caliper	4	B&B
Al	<i>Amelanchier laevis</i> "snowcloud"	Serviceberry	2" caliper	3	B&B
All trees shall be single stem. Reject trees with co-dominant leaders.					
<b>Shrubs</b>					
Aa	<i>Aronia arbutifolia</i>	Red Chokeberry	30" Height		
Cd	<i>Callicarpa dichotoma</i>	Purple Beautyberry	18" Height		
Yd	<i>Viburnum Dentatum</i>	Arrowwood Viburnum	24" Height		

INSPECTION PORTS SHALL BE INSTALLED AT 50' INTERVALS ALONG THE LENGTH OF THE INFILTRATION TRENCH



INFILTRATION TRENCH WITH INSPECTION PORT  
NTS

### SPECIFICATIONS FOR PLANTING SOIL

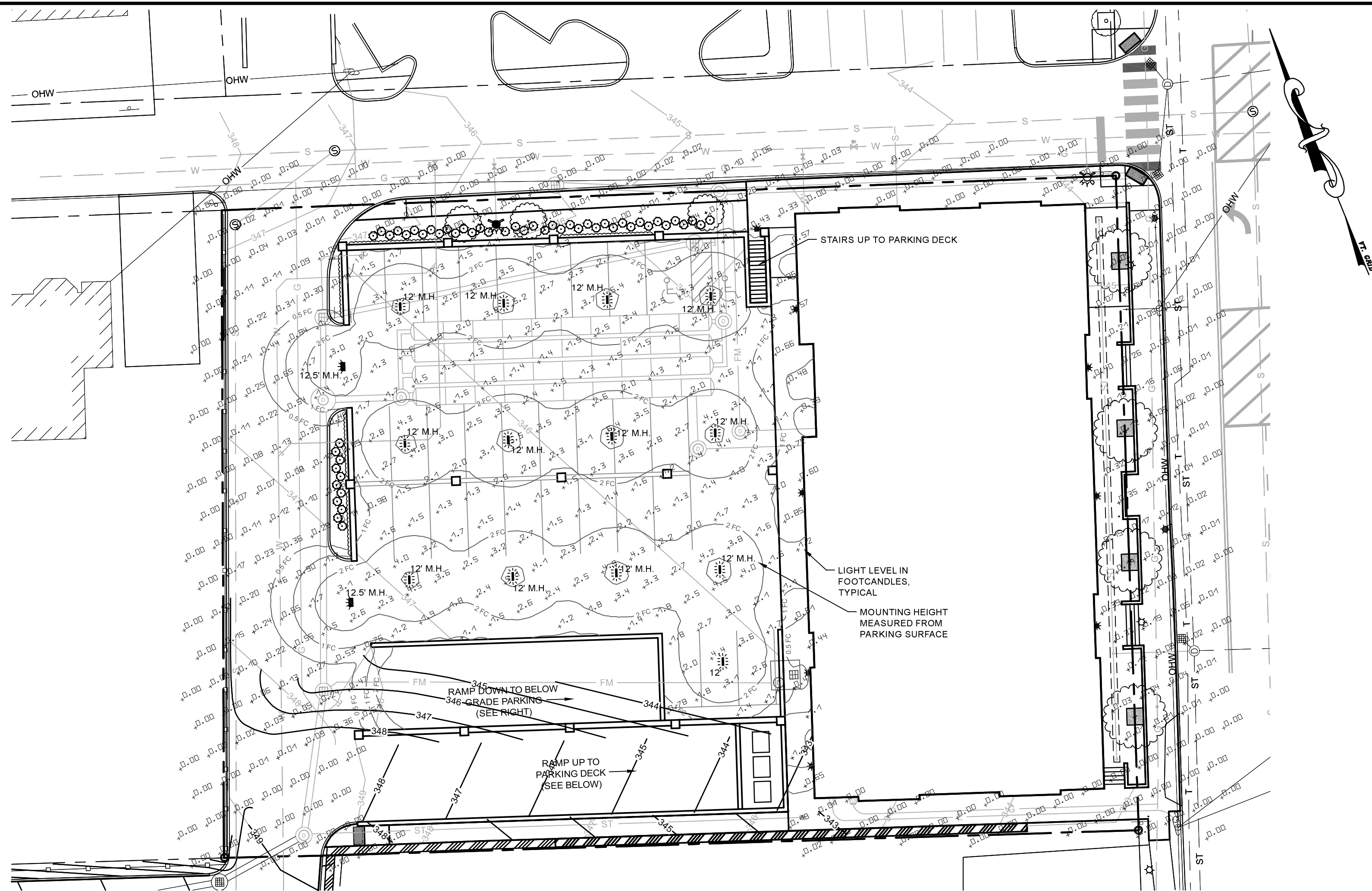
- TOPSOIL SHALL BE OBTAINED FROM NATURALLY WELL DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4 INCHES DEEP. TOPSOIL SHALL NOT BE OBTAINED FROM WETLANDS.
- SOIL FURNISHED BY THE CONTRACTOR SHALL BE REASONABLY FREE FROM ROOTS, HARD CLAY, COARSE GRAVEL, STONES LARGER THAN TWO INCHES IN ANY DIMENSION, NOXIOUS WEEDS, TALL GRASS, BRUSH, STICKS, STUBBLE, AND ANY MATERIALS THAT WOULD BE DETRIMENTAL TO THE PROPER DEVELOPMENT OF VEGETATIVE GROWTH.
- BOTH TOPSOIL AND SUBSOIL SHALL HAVE A TEXTURE OF SANDY LOAM PER THE USDA TEXTURAL TRIANGLE AND CONFORM TO THE FOLLOWING SPECIFICATIONS:

SIEVE NO.	% PASSING
2	100
10	90-100
40	80-90
60	50-70
100	20-40
200	10-40

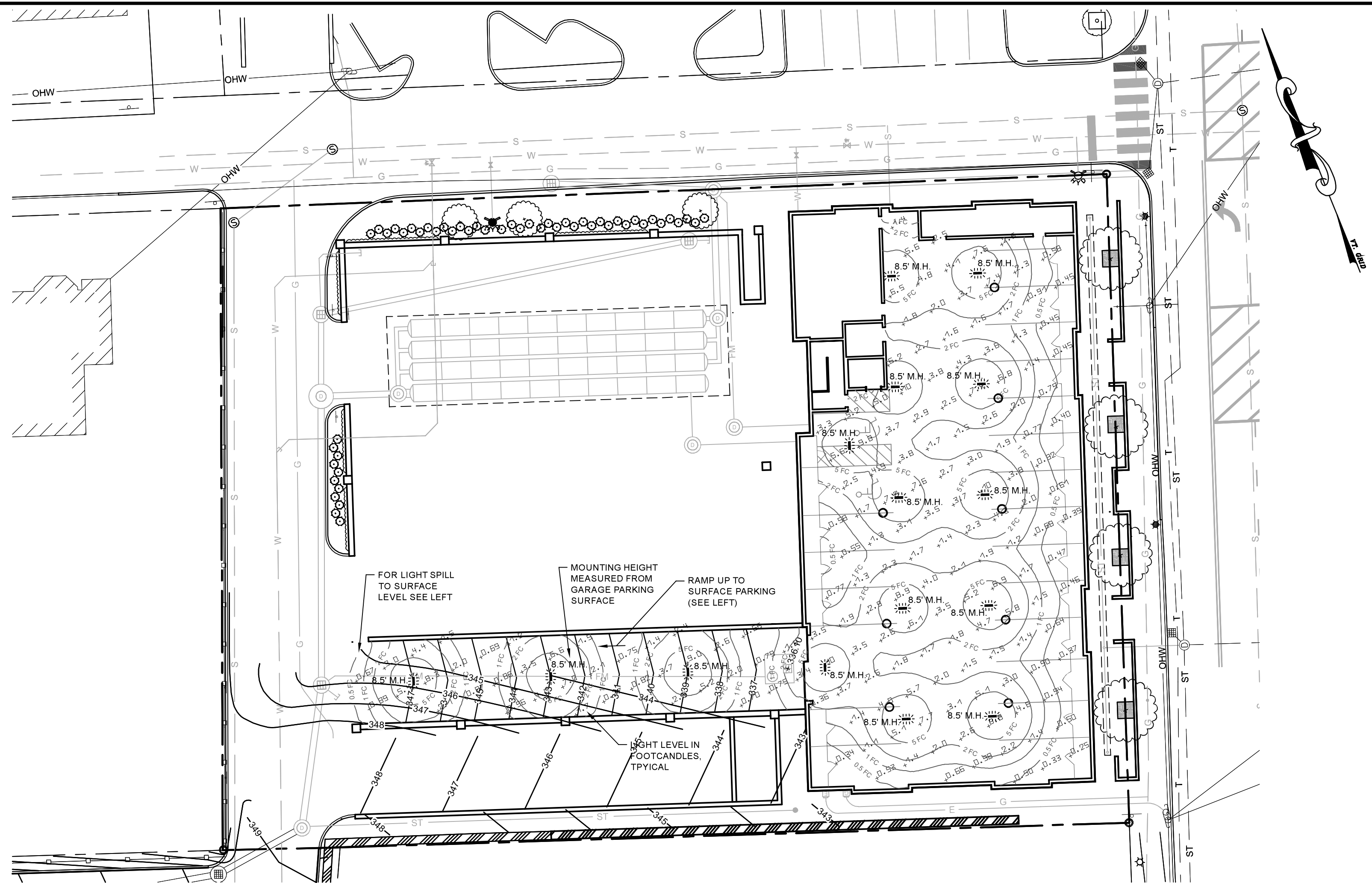
CLAY: LESS THAN 10%  
pH: 5.5 TO 7.0  
ORGANIC MATTER: TOPSOIL: 5-10%, SUBSOIL: LESS THAN 5%
- TO ASSURE THE GROWTH OF PLANTS, THE SOIL MUST NOT BE COMPACTED. ANY AREAS OF INADVERTENTLY COMPACTED SOIL WILL NEED TO BE DECOMPACTED USING A SUBSOILER, CHISEL PLOW, OR BY EXCAVATION AND REPLACEMENT WITH UNCOMPACTED SOIL. DO NOT DRIVE EQUIPMENT ON THE SOIL AFTER IT HAS BEEN PLACED OR DECOMPACTED. FINE GRADING AND PLANTING OF SPECIFIED LANDSCAPING MAY BE DONE USING LOW GROUND PRESSURE EQUIPMENT, IF THIS CAN BE ACHIEVED WITHOUT COMPACTING.
- ALL SOIL INTENDED FOR USE SHALL BE STOCKPILED ON SITE AND MEASURES TAKEN TO ENSURE THE MATERIAL IS CONSISTENT IN QUALITY AFTER SOIL TESTING IS COMPLETED. NO ADDITIONAL MATERIAL MAY BE ADDED TO THE STOCKPILE. A MINIMUM OF TWO SUCCESSFUL REPRESENTATIVE TESTS SHALL BE PROVIDED BY THE CONTRACTOR FROM THE STOCKPILED SOIL. ADDITIONAL TESTING WILL BE REQUIRED FOR ANY NEW OR ADDITIONAL STOCKPILES.
- DO NOT PLACE SOIL MATERIALS IN WET OR MUDDY CONDITIONS. PROTECT THE MATERIALS AS NECESSARY USING TARPS OR MATTING. PROVIDE EROSION CONTROL TO PREVENT TRANSPORT OF SEDIMENT OR DUST AWAY FROM THE STORAGE AREA.
- SOILS WITHIN THE FULL SPECIFIED DEPTH SHALL HAVE A BULK DENSITY NOT EXCEEDING 1.5 g/cm<sup>3</sup>. SOILS SHALL EXHIBIT THE FOLLOWING CONE PENETROMETER READINGS:
  - SURFACE RESISTANCE - LESS THAN 110 PSI (7.7 kg/cm<sup>2</sup>)
  - SUBSURFACE RESISTANCE - LESS THAN 260 PSI (18.3 kg/cm<sup>2</sup>)
- ANY COMPOST THAT IS USED SHALL MEET THE REQUIREMENTS OF THE U.S. COMPOSTING COUNCIL'S "LANDSCAPE ARCHITECTURE / DESIGN SPECIFICATIONS FOR COMPOST USE" SECTION "COMPOST AS A LANDSCAPE BACKFILL MIX COMPONENT". THE ANALYSIS SHALL BE PROVIDED BY THE COMPOST SUPPLIER. BEFORE BEING DELIVERED TO THE SITE, THE SUPPLIER MUST PROVIDE THE FOLLOWING DOCUMENTATION:
  - A STATEMENT THAT THE COMPOST MEETS FEDERAL AND STATE HEALTH AND SAFETY REQUIREMENTS
  - THE SAMPLING AND TESTING METHODOLOGIES SHALL CONFORM WITH THE U.S. COMPOSTING COUNCIL'S "TEST METHOD FOR THE EXAMINATION OF COMPOSTING AND COMPOST"
- SOIL QUALITY AND DEPTH SHALL BE ESTABLISHED TOWARD THE END OF CONSTRUCTION AND, ONCE ESTABLISHED, SHALL BE PROTECTED FROM COMPACTION, EROSION, AND OTHER DETRIMENTAL INFLUENCES THROUGH THE END OF CONSTRUCTION.
- SUBMITTALS REQUIRED:
  - SOIL ANALYSIS, INCLUDING
    - USDA PARTICLE SIZE ANALYSIS FOR PERCENTAGES OF GRAVEL, SAND, SILT, AND CLAY
    - USDA TEXTURE
    - NUTRIENT LEVELS IN PARTS PER MILLION FOR PHOSPHORUS, POTASSIUM, CALCIUM, MAGNESIUM, MANGANESE, IRON, COPPER, AND ZINC
    - PERCENTAGE ORGANIC MATTER
    - pH
    - ELECTRICAL CONDUCTIVITY (TOTAL DISSOLVED SOLIDS)
  - COMPOST ANALYSIS, PER ITEM #6, ABOVE
  - BEFORE DELIVERY OF SOIL MATERIALS TO THE SITE, REPRESENTATIVE SAMPLES SHALL BE SUBMITTED TO THE ENGINEER IN MINIMUM VOLUMES OF 1 GALLON FOR EACH MATERIAL USED. FOR VISUAL INSPECTION ONLY - CONTRACTOR IS SOLELY RESPONSIBLE FOR ASSURING THAT MATERIALS MEET THE SPECIFICATIONS.

10-23-2019	REVISED STREET TREE CROSS-SECTION & ADDED INFILTRATION TRENCH	NDS
09-20-2019	CREATED SHEET	NDS
Date	Revision	By
These plans shall only be used for the purpose shown below:		
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<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Record Drawing	
LANDS OF 11 PARK STREET, LLC 9 & 11 Park Street, Essex Junction, VT		Project No. 19007 Survey N/A Design NDS Drawn DLH Checked RJD Date 02/15/19 Scale AS NOTED Sheet number
PROPOSED GRADING & LANDSCAPING PLAN		3
Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		

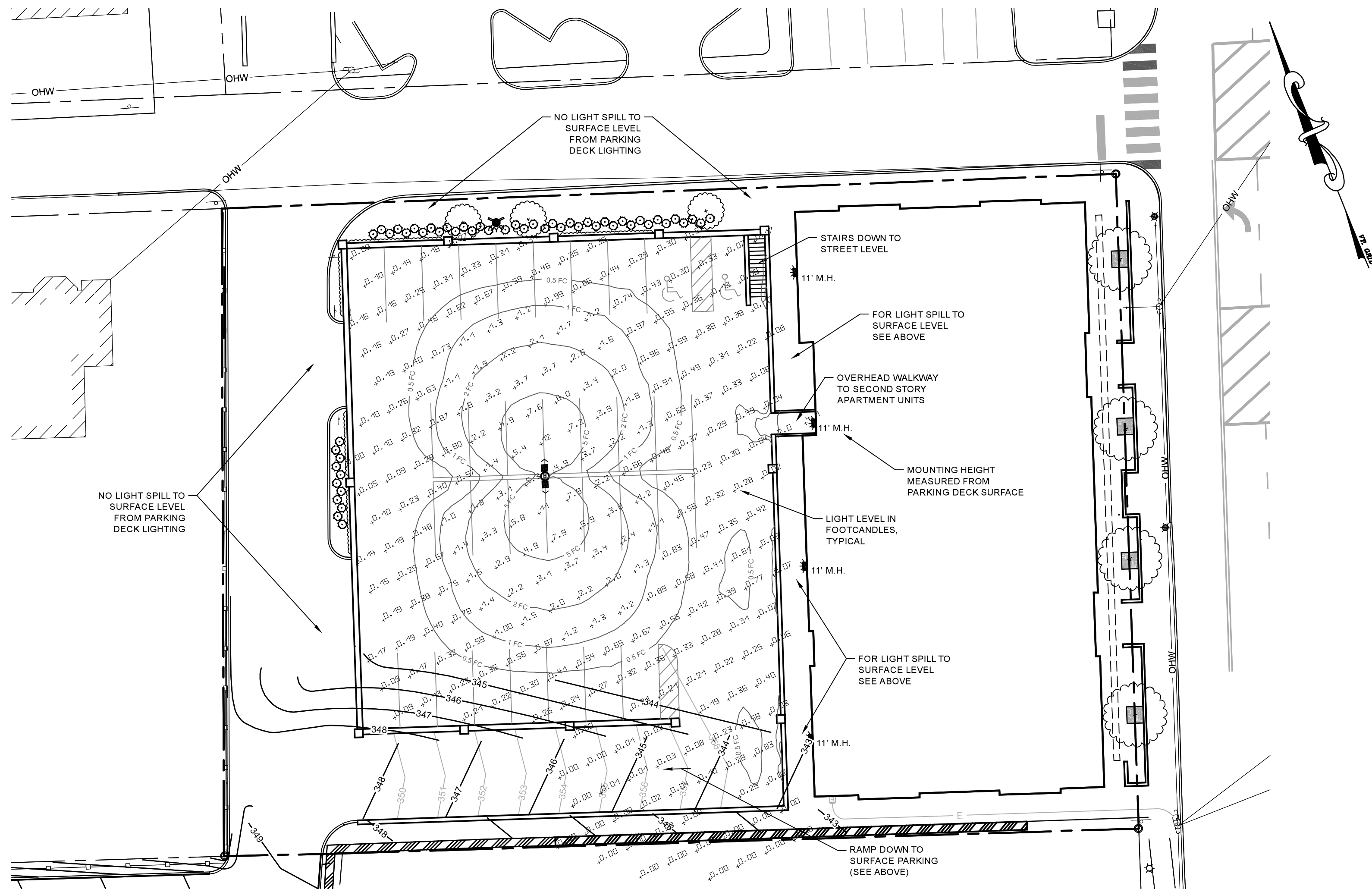




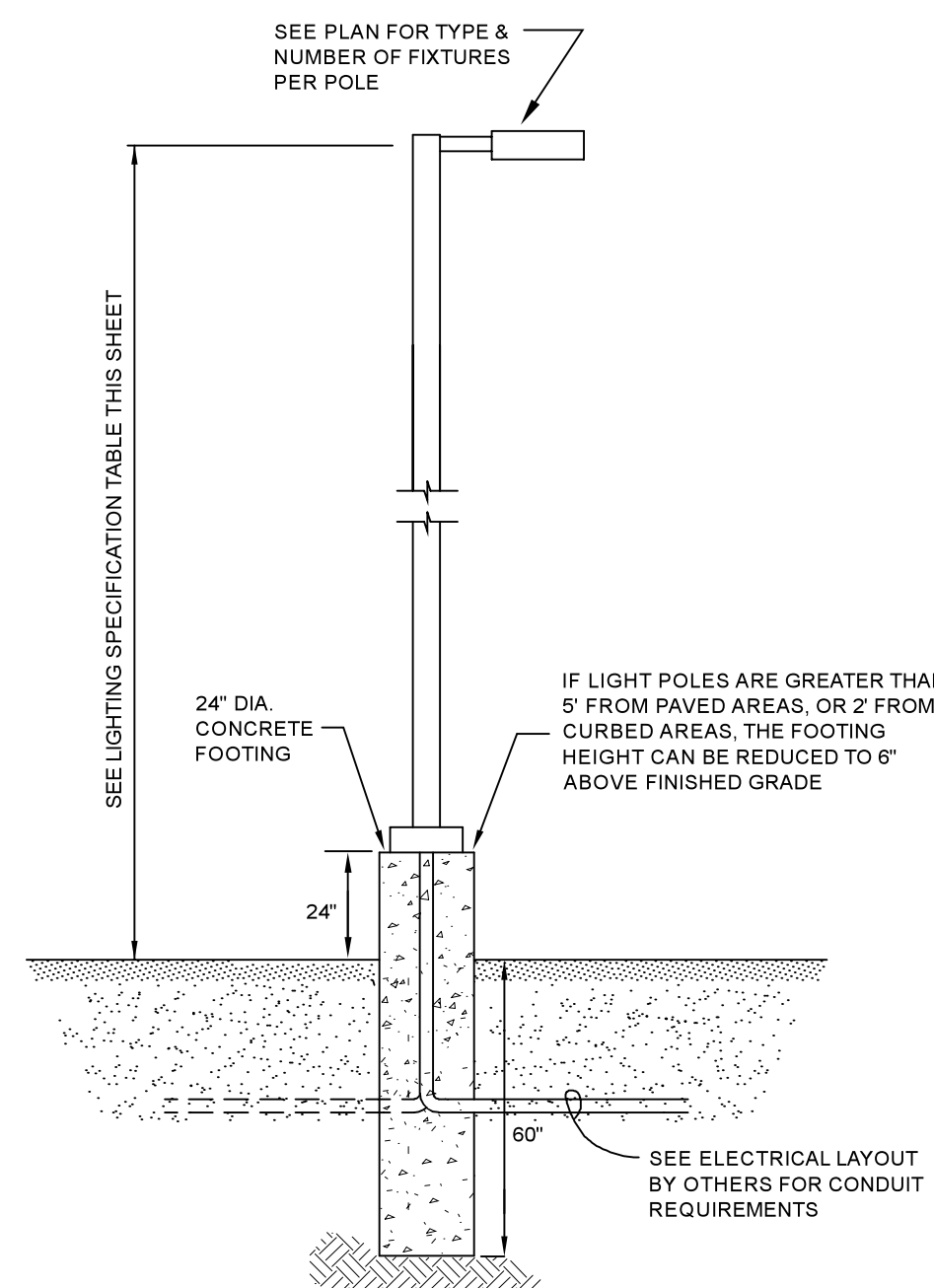
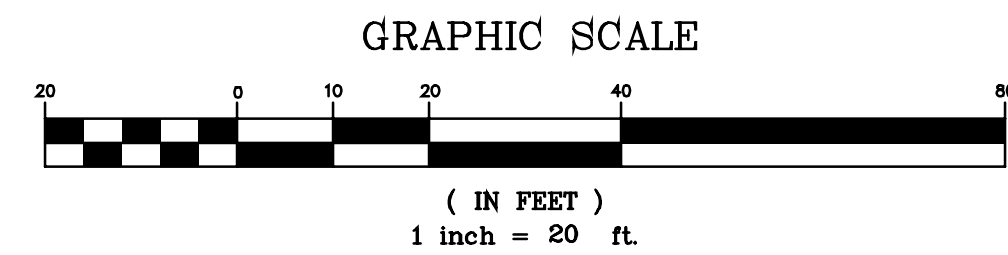
SURFACE PARKING LIGHTING PLAN  
SCALE: 1" = 20'



PARKING GARAGE LIGHTING PLAN  
SCALE: 1" = 20'



PARKING DECK LIGHTING PLAN  
SCALE: 1" = 20'



NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND OWNER'S ELECTRICIAN ON THE POWER SOURCE FOR THE PROPOSED LIGHTING. THE CONTRACTOR'S ELECTRICIAN SHALL SIZE THE NEW CONDUIT AND WIRING FOR THE NEW LIGHTING SYSTEM

POLE MOUNTED LIGHT DETAIL  
NTS

LIGHTING SPECIFICATIONS

LEGEND	DESCRIPTION	DISTRIBUTION TYPE	MOUNTING HEIGHT	INITIAL LUMENS	COUNT
■	ALED-4T-105-N-K	TYPE IV CUTOFF	15'	13,204 LUMENS	2
■	DMW2-L24-2000LM-ACL-MD-40K-80CRI	TYPE IV CUTOFF	AS NOTED	2,612 LUMENS	28
■	WPLED10N	TYPE IV CUTOFF	AS NOTED	1,208 LUMENS	6
■	WPLED5N	TYPE IV CUTOFF	12.5'	155 LUMENS	7

#	SURFACE	MINIMUM	MAXIMUM	AVERAGE	UNIFORMITY RATIO (AVE./MIN.)
1	BELOW GRADE PARKING SURFACE & ACCESS DRIVE	0.25 FC	10 FC	2.90 FC	11.6
2	SURFACE PARKING AREA	0.45 FC	5.5 FC	2.33 FC	5.2
3	PARKING DECK SURFACE AREA	0.07 FC	11 FC	1.17 FC	16.7

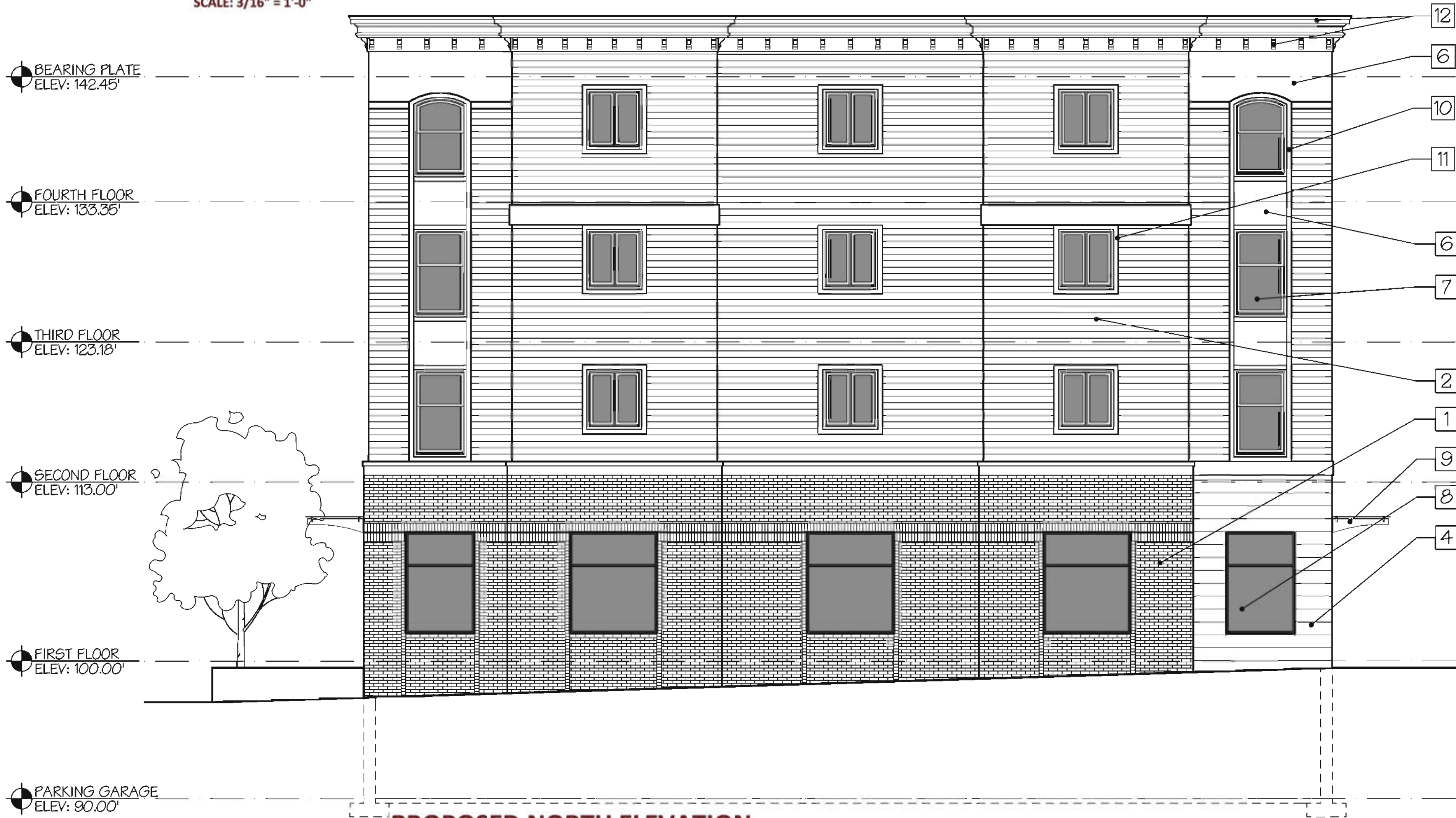
09-20-2019	CREATED SHEET	NDS
Date	Revision	By
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<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Record Drawing	
LANDS OF <b>11 PARK STREET, LLC</b> 9 & 11 Park Street, Essex Junction, VT		Project No. 19007 Survey N/A Design NDS Drawn DLH Checked RJD Date 02/15/19 Scale AS NOTED Sheet number
<b>LIGHTING PLAN &amp; DETAILS</b>		
<b>Lamoureux &amp; Dickinson</b> Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		10





**PROPOSED EAST ELEVATION**

SCALE: 3/16" = 1'-0"




**PROPOSED NORTH ELEVATION**

SCALE: 3/16" = 1'-0"

**EXTERIOR MATERIALS**

- 1 SIDING TYPE-1: BRICK - COURSING AS INDICATED. BELDEN BRICK, EBONY BLACK.
- 2 SIDING TYPE-2: HORIZONTAL LAP SIDING. HARDIEPLANK LAP SIDING SMOOTH. 5" EXPOSURE, COLOR TO BE BRUSHWORK RED.
- 3 SIDING TYPE-6: PANEL SIDING. HARDIPANEL VERTICAL SIDING SMOOTH. COLOR TO BE WATERING CAN.
- 4 SIDING TYPE-4: HORIZONTAL LAP SIDING-3. HARDIEPLANK LAP SIDING BEADED SMOOTH. 7" EXPOSURE, COLOR TO BE IRON GRAY.
- 5 SIDING TYPE-4: NICHHA FIBER CEMENT SIDING, ARCHITECTURAL BLOCK - GRAY
- 6 SIDING TYPE-6: PANEL SIDING. HARDIPANEL VERTICAL SIDING SMOOTH. COLOR TO BE SEAL GRAY.
- 7 WINDOWS: WINDOWS TO BE DOUBLE HUNG OR AWNING TYPE, STYLE AND COLOR AS SELECTED BY ARCHITECT.
- 8 STOREFRONT: ALUMINUM STOREFRONT SYSTEM, COLOR AS SELECTED BY ARCHITECT.
- 9 CANOPY SYSTEM: METAL AND GLASS CANOPY SYSTEM AS SELECTED BY ARCHITECT.
- 10 TRIM TYPE-1: HARDITRIM AT LOCATIONS INDICATED. COLOR TO BE RUBBER MEETS THE ROAD.
- 11 TRIM TYPE-2: HARDITRIM AT LOCATIONS INDICATED. COLOR TO BE WATERING CAN.
- 12 CORNICE AND BRACKETS: AS INDICATED ON EXTERIOR ELEVATIONS. BRACKETS PER EXTERIOR ELEVATIONS (2'-0" O.C. MAX).  
CORNICE: MLD534-12 BY FYRON OR #01-272-12 BY APEX MILLWORK - PAINTED TO MATCH RUBBER MEETS THE ROAD COLOR  
BRACKETS: BKT5X10 BY FYRON OR #50-102 BY APEX MILLWORK - PAINTED TO MATCH SEAL GRAY

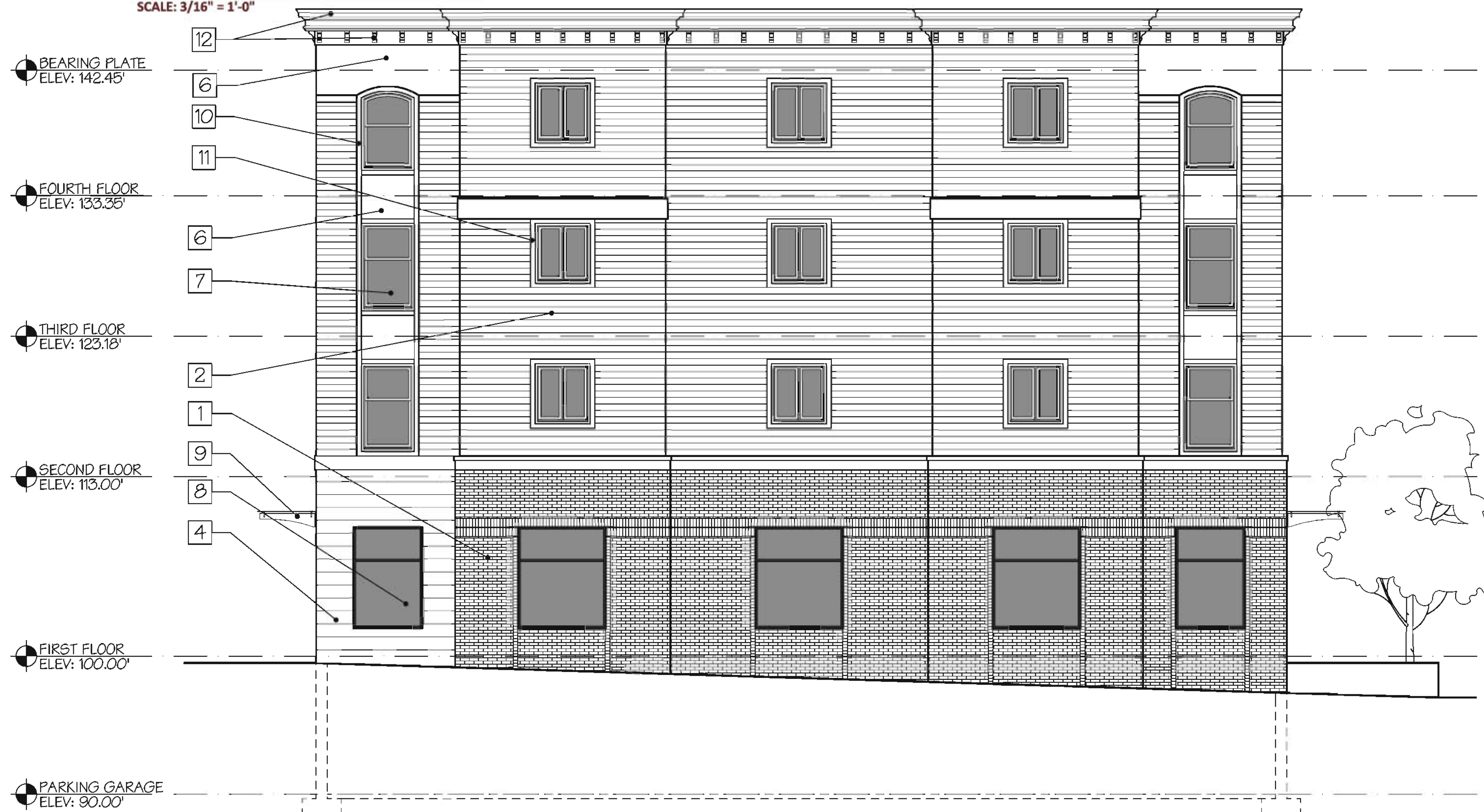
<div>550 Hingham Road Suite 101 South Burlington, VT 05403 802.893.0222 Rabideau-Architect.com</div> <div>Rabideau Architects</div>		VERMONT	
		ESSEX JUNCTION	
		9 AND 11 PARK STREET	
		EXTERIOR ELEVATIONS	
REVISIONS:		DATE:	
CONSTRUCTION / PERMIT SET		09/10/2019	
PRICING / COORDINATION SET		07/03/2019	
REVISED ENTRY LOCATIONS		04/26/2019	
2ND LEVEL CONNECTION ADDED		04/03/2019	





**PROPOSED WEST ELEVATION**

SCALE: 3/16" = 1'-0"



**PROPOSED SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"

**EXTERIOR MATERIALS**

- 1 SIDING TYPE-1: BRICK - COURSING AS INDICATED. BELDEN BRICK, EBONY BLACK.
- 2 SIDING TYPE-2: HORIZONTAL LAP SIDING. HARDIEPLANK LAP SIDING SMOOTH. 5" EXPOSURE, COLOR TO BE BRUSHWORK RED.
- 3 SIDING TYPE-6: PANEL SIDING. HARDIPANEL VERTICAL SIDING SMOOTH. COLOR TO BE WATERING CAN.
- 4 SIDING TYPE-4: HORIZONTAL LAP SIDING-3. HARDIEPLANK LAP SIDING BEADED SMOOTH. 7" EXPOSURE, COLOR TO BE IRON GRAY.
- 5 SIDING TYPE-4: NICHHA FIBER CEMENT SIDING, ARCHITECTURAL BLOCK - GRAY
- 6 SIDING TYPE-6: PANEL SIDING. HARDIPANEL VERTICAL SIDING SMOOTH. COLOR TO BE SEAL GRAY.
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- 12 CORNICE AND BRACKETS: AS INDICATED ON EXTERIOR ELEVATIONS. BRACKETS PER EXTERIOR ELEVATIONS (2'-0" O.C. MAX).  
CORNICE: MLD534-12 BY FYFON OR #01-272-12 BY APEX MILLWORK - PAINTED TO MATCH RUBBER MEETS THE ROAD COLOR  
BRACKETS: BKT5X10 BY FYFON OR #50-102 BY APEX MILLWORK - PAINTED TO MATCH SEAL GRAY

REVISIONS:		DATE:
2ND LEVEL CONNECTION ADDED	04/03/2019	
REVISED ENTRY LOCATIONS	04/26/2019	
PRICING / COORDINATION SET	07/03/2019	
CONSTRUCTION / PERMIT SET	09/10/2019	

**EXTERIOR ELEVATIONS**

**9 AND 11 PARK STREET**

VERMONT

ESSEX JUNCTION

550 Hinesburg Road  
Suite 10  
Essex Junction, VT 05003  
802.888.0222  
Rabideau-Architects.com



**PROJECT #**  
**1607**

**SHEET NUMBER**

**A202**

12/18/2018