

# Development Application

SP# 1.2020

Planned Development: Minor _____	Minimal _____	Major _____
Conceptual _____	Preliminary _____	Final _____
Site Plan: Minor _____	Major _____	Conceptual _____
Subdivision: Sketch _____	Preliminary _____	Final _____
Variance: _____		Conditional Use: _____

Property description (address) for application 8 Church Street, Essex Jct., VT

## General Information

Applicant Armand Morel Day Phone# 802-343-5932

Address P.O. Box 102 Jericho, VT 05465

Owner of Record (attach affidavit if not applicant)

Name Armand Morel Day Phone# 802-343-5932

Address \_\_\_\_\_

## Applicant's agents

Name \_\_\_\_\_ Day Phone# \_\_\_\_\_

Address \_\_\_\_\_

## Property information

Zoning District MF3 Current Use Residential Tax Map# 29 Lot# 76 Lot size sf .36

## Other Information

Street frontage (public or private) 78.6' feet Proposed number of stories & height \_\_\_\_\_

Estimated completion date \_\_\_\_\_ Landscape cost \_\_\_\_\_

Proposed Parking Spaces 6 Required spaces 6

Lot coverage (include all structures and impervious surface)

Existing (sq ft.) 4175 plus proposed (sq ft.) 708 equals 4883 total sq. ft. divided by 15,203 lot s.f. equals 28.7 percent lot coverage

Submit two (2) full size copies, a PDF copy, GIS and supportive documentation required by the Code and the appropriate completed checklist for initial review by Staff. After Staff determines the application is complete attach two (2) full size copies and eight (8) 18" x 24" copies of your proposal, forty-five (45) days prior to a scheduled meeting. Applications that are not complete cannot be accepted for review.

Briefly describe your proposal (attach separate sheet if necessary) I would like to divide the current building at 8 Church St into 3 units

2 units 1st floor 1 unit 2nd floor

Describe all waiver requests (if applicable) \_\_\_\_\_

I certify that the information on this application is true and correct. I agree to abide by all the rules and regulations as specified in the land development code and any conditions placed upon approval of this application. In accordance with the Essex Junction Trustees Policy for Funding Engineer Plan Review and Inspections, the applicant by signing this form agrees to pay for the actual cost of engineering plan review and construction inspections by the Village Engineer.

Armand Morel  
Applicant

Oct. 31, 2019  
Date

Land Owner (if different)

Date

**RECEIVED**

**Staff Action**

**DEC 20 2019**

Date received Village of Essex Junction

Meeting date: 2/20/2020

Commission /Board Action    Approved \_\_\_\_\_ Denied \_\_\_\_\_ Date: \_\_\_\_\_

Other approvals /conditions \_\_\_\_\_

**\*\* Fee based on s.f. of improved area per current Fee Schedule**

\_\_\_\_\_  
Staff Signature

\_\_\_\_\_  
Date

Fee Amount _____
**
# 315.00

Fee Verified _____
<b>PAID</b>
DEC 20 2019
Village of Essex Junction

RECEIVED

FEB 05 2020

Village of Essex Junction

Angie "Jae" Lee and Armand Morel  
P.O. Box 102  
Jericho, Vermont 05465

February 2, 2020

Community Development Department  
Village of Essex Junction  
2 Lincoln Street  
Essex Junction, Vermont 05452

Re: **8 Church Street, Essex Junction**

In response to Donald Hamlin's letter to Robin Pierce dated January 7, 2020 (*Attachment A*), we have enclosed the following documents and attached information required for our proposed renovation plans to convert 8 Church Street into a three-unit dwelling comprising one 2-bedroom unit and two 1-bedroom units.

Enclosed Plan Proposals

1. Site Plan 1 (prepared by O'Leary-Burke Civil Associates, PLC)
2. Site Plan 1A (aerial photograph with topographical lines)
3. Floor Plan, Level 1 (prepared by Hinge Architecture)
4. Floor Plan, Level 2 (prepared by Hinge Architecture)
5. Elevations (2 pages, prepared by Hinge Architecture)

The following information is in response to Mr. Hamlin's comments:

General

- 1) All existing structures, including the fence, shown on Site Plan 1A will remain.
- 2) The connection between the house and the garage, shown on Site Plan 1A and on the Elevations, will remain.
- 3) The attached letter from Terry Hass (*Attachment B*) addresses the adequacy of the existing water and sewage services for the proposed plans.

Grading and Drainage

- 1) Site Plan 1A depicts the existing topography of the lot. Stormwater runoff for the new impervious area (the proposed extension of the driveway as depicted in Site Plan 1) will follow the slope of the existing driveway toward the back of the lot.

Water and Sewage

- 1) Site Plan 1 depicts the location of the existing water and sewage services, both of which enter from the street side of the property.
- 2) Please see the attached letter from Terry Hass (*Attachment B*).
- 3) Please see the attached letter from Terry Hass (*Attachment B*).

**Lighting**

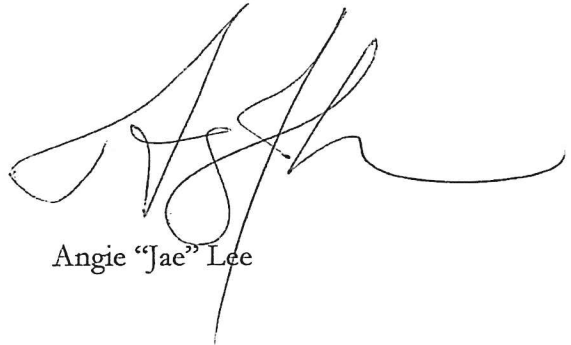
- 1) After evaluating the lighting on the property at night, we find the street lighting to be adequate for safety and security. We do propose to keep the existing recessed lighting in the porch ceiling of each entryway.

If you have any questions or need more information, please contact us by calling 802-343-5932 or by emailing [morelconstruction@gmail.com](mailto:morelconstruction@gmail.com).

Sincerely,



Armand Morel  
Morel Construction, LLC



Angie "Jae" Lee

**ATTACHMENTS:**

- A) Donald Hamlin's letter to Robin Pierce dated January 7, 2020
- B) Letter from Terry Hass addressing adequacy of water and sewage service

**ENCLOSURES:**

Plan Proposals: site plans, floor plans, and elevations (6 sheets total)