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Applicant Date	Armand Morel	Oct 31 2019
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Land Owner (if different)	- Thursday	Date
	Land Owner (if different)	Date

RECEIVED

Staff Action

DEC 2 0 2019

Date received Village of Essex Junction	_	Meeting date:	2/20/2020
Commission /Board Action Approved	Denied	Date:	
Other approvals /conditions		·	
** Fee based on s.f. of improved area per cu	rrent Fee Sched	lule	
Staff Signature	Date		
	Fee **	3/5,00	Fee VEIGNAD DEC 2 0 2019 illage of Essex Junction

RECEIVED

FEB 0 5 2020

Village of Essex Junction

Angie "Jae" Lee and Armand Morel

P.O. Box 102

Jericho, Vermont 05465

February 2, 2020

Community Development Department Village of Essex Junction 2 Lincoln Street Essex Junction, Vermont 05452

Re: 8 Church Street, Essex Junction

In response to Donald Hamlin's letter to Robin Pierce dated January 7, 2020 (Attachment A), we have enclosed the following documents and attached information required for our proposed renovation plans to convert 8 Church Street into a three-unit dwelling comprising one 2-bedroom unit and two 1-bedroom units.

Enclosed Plan Proposals

- 1. Site Plan 1 (prepared by O'Leary-Burke Civil Associates, PLC)
- 2. Site Plan 1A (aerial photograph with topographical lines)
- 3. Floor Plan, Level 1 (prepared by Hinge Architecture)
- 4. Floor Plan, Level 2 (prepared by Hinge Architecture)
- 5. Elevations (2 pages, prepared by Hinge Architecture)

The following information is in response to Mr. Hamlin's comments:

General

- 1) All existing structures, including the fence, shown on Site Plan 1A will remain.
- 2) The connection between the house and the garage, shown on Site Plan 1A and on the Elevations, will remain.
- 3) The attached letter from Terry Hass (*Attachment B*) addresses the adequacy of the existing water and sewage services for the proposed plans.

Grading and Drainage

1) Site Plan 1A depicts the existing topography of the lot. Stormwater runoff for the new impervious area (the proposed extension of the driveway as depicted in Site Plan 1) will follow the slope of the existing driveway toward the back of the lot.

Water and Sewage

- 1) Site Plan 1 depicts the location of the existing water and sewage services, both of which enter from the street side of the property.
- 2) Please see the attached letter from Terry Hass (*Attachment B*).
- 3) Please see the attached letter from Terry Hass (*Attachment B*).

Lighting

1) After evaluating the lighting on the property at night, we find the street lighting to be adequate for safety and security. We do propose to keep the existing recessed lighting in the porch ceiling of each entryway.

If you have any questions or need more information, please contact us by calling 802-343-5932 or by emailing morelconstruction@gmail.com.

Sincerely,

Armand Morel

Morel Construction, LLC

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ATTACHMENTS:

- A) Donald Hamlin's letter to Robin Pierce dated January 7, 2020
- B) Letter from Terry Hass addressing adequacy of water and sewage service

ENCLOSURES:

Plan Proposals: site plans, floor plans, and elevations (6 sheets total)