

MEMORANDUM

To: Development Review Board
From: Christopher Yuen, Community Development Director
Meeting Date: 02/15/2024
Subject 94 Pearl Street construction update (92-100 Pearl Street Lot)

Issue:

A member of the DRB has requested discussion around the design and construction of the hotel under construction at 94 Pearl Street.

Discussion:

The redevelopment of the 92-100 Pearl Street property has been underway for some time. Few staff, Development Review Board, or Planning Commission members have full continuity of the history of its approval, within a landscape of changing municipal regulations. I have compiled the submitted plans and approvals, for the DRB's discussion regarding the history and status of this project.

It should be noted that:

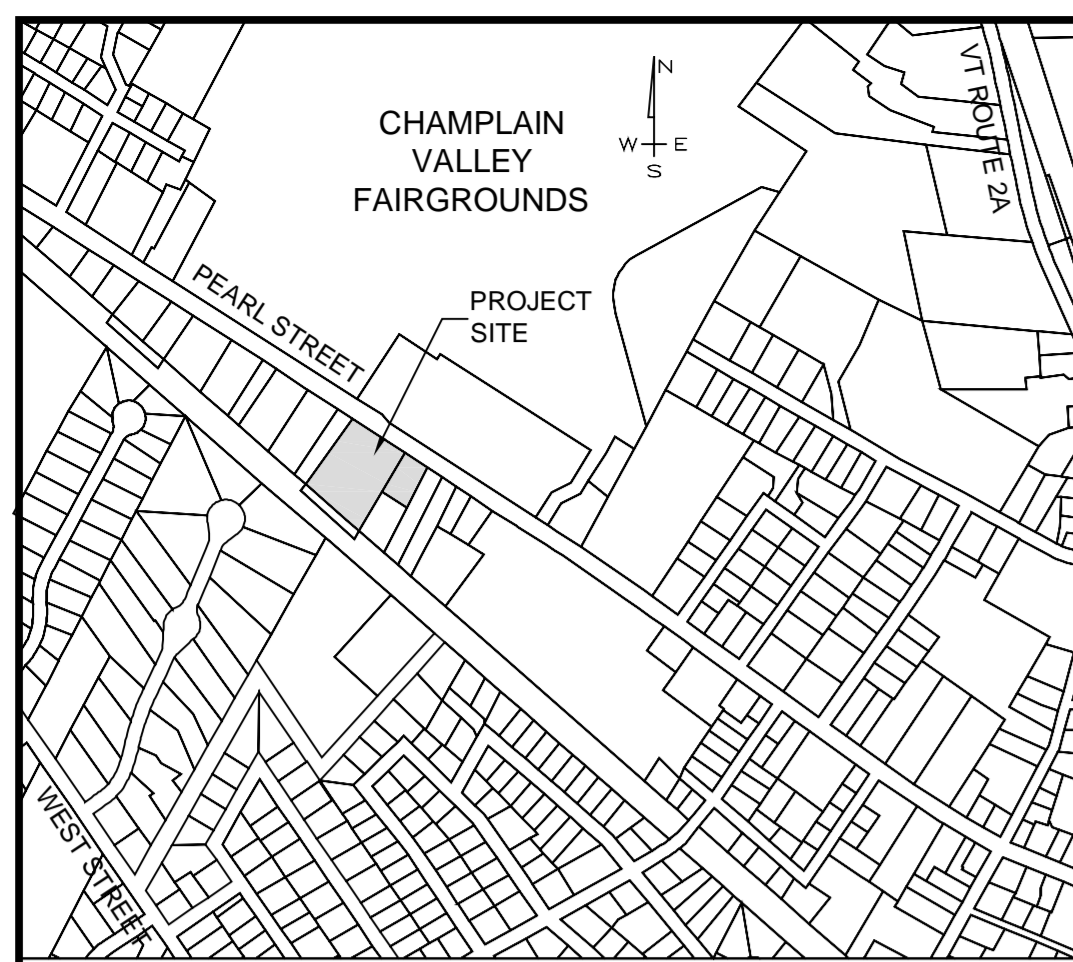
1. This application was approved prior to the addition of the Design Review Overlay District into the Land Development Code. Under current rules, a new application for similar building would come more scrutiny by the DRB for architectural design.
2. The project underwent Act 250 review, with a decision by the State rendered in 2022.
3. The new 2-story commercial building at, now host to a Good Stuff novelty and tobacco store, was originally envisioned to be a restaurant. However, the LDC allows for administrative approval of land use changes in cases where the new land use is of a lower intensity, which requires less parking than the original approved use.
4. The hotel portion of the project was originally presented as a Sleep Inn/ MainStay Suites branded extended-stay hotel. The owner has since announced an intention to adjust the brand to "Handy's Suites". Branding and business operational changes like this are not regulated by the LDC.

Cost

This memo is for information only

Recommendation

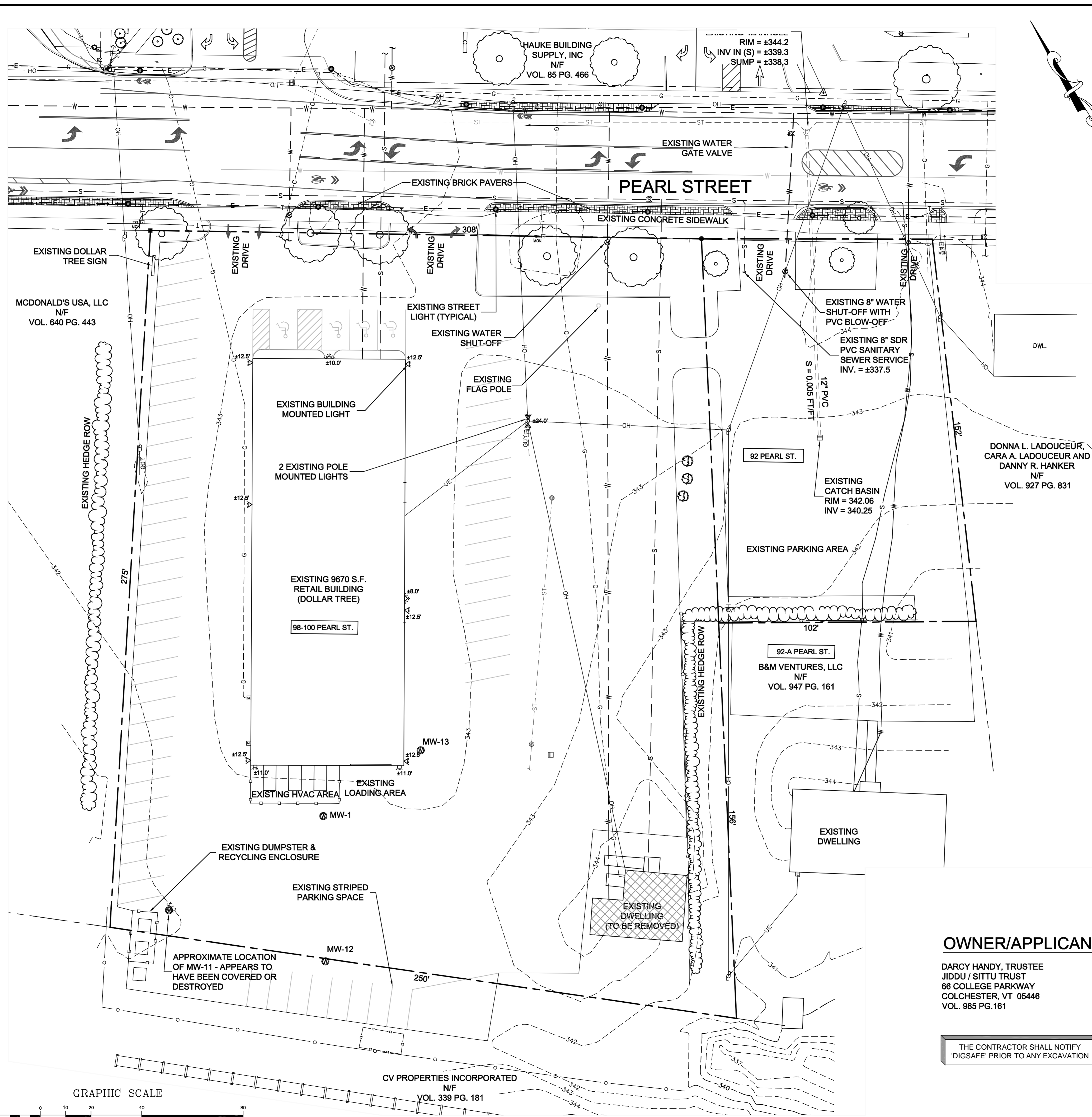
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LOCATION PLAN

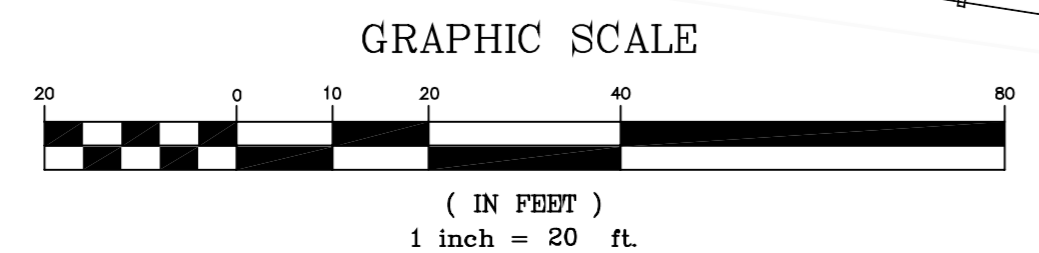
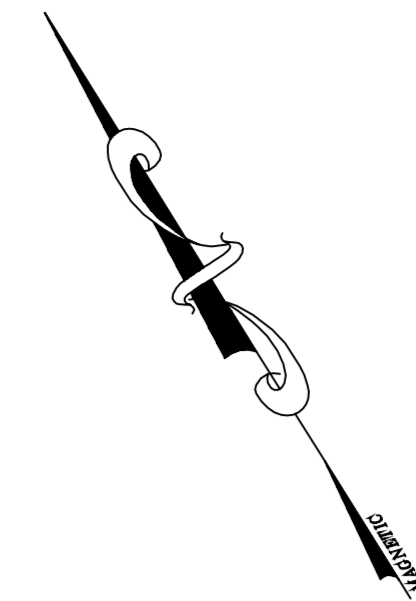
SHEET SET

- SHEET 1 EXISTING CONDITIONS PLAN
- SHEET 2 SITE AND UTILITY PLAN
- SHEET 3 SIGN AND STRIPING PLAN
- SHEET 4 GRADING PLAN
- SHEET 5 LIGHTING PLAN
- SHEET 6 LANDSCAPING PLAN
- SHEET 7 SITE DETAILS & SPECIFICATIONS
- SHEET 8 SEWER AND WATER DETAILS & SPECIFICATIONS
- SHEET 9 STORMWATER DETAILS AND SPECIFICATIONS
- SHEET 10 LANDSCAPING DETAILS AND SPECIFICATIONS
- SHEET 11 EROSION PREVENTION AND SEDIMENT CONTROL DETAILS
- SHEET ST-1 STORMWATER LAYOUT PLAN
- SHEET ST-2 POST-CONSTRUCTION SOIL DEPTH & QUALITY TREATMENT PLAN



LEGEND

- EXISTING PROJECT BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING GROUND CONTOUR
- EXISTING TREE LINE
- EXISTING UTILITY POLE AND OVERHEAD WIRE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING CATCH BASIN AND STORM PIPE
- EXISTING STREET TREES
- EXISTING SOLID WHITE LINE
- EXISTING SOLID YELLOW LINE
- EXISTING DASHED YELLOW LINE
- EXISTING LIGHTING FIXTURE AND MOUNTING HEIGHT
- GROUNDWATER MONITORING WELL



OWNER/APPLICANT

DARCY HANDY, TRUSTEE
 JIDDU / SITTU TRUST
 66 COLLEGE PARKWAY
 COLCHESTER, VT 05446
 VOL. 985 PG.161

THE CONTRACTOR SHALL NOTIFY 'DIGSAFE' PRIOR TO ANY EXCAVATION

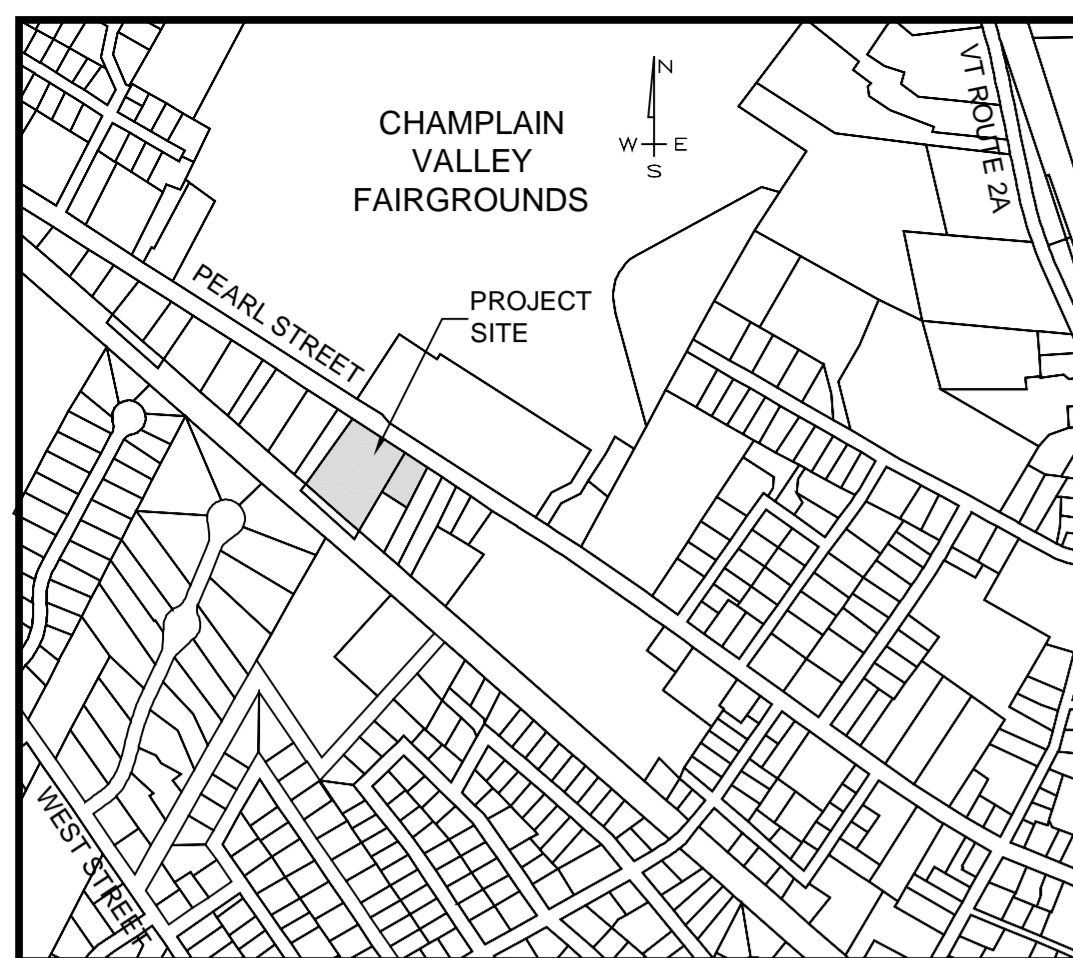
3-29-18	ADDED LOCATION OF 92-A WATER AND SEWER SERVICES	DLH
9-29-17	UPDATED LOCATION OF NEWLY INSTALLED SEWER SERVICE	DLH
7-27-17	UPDATED EXISTING PARKING SPACES, ADDED NEWLY INSTALLED WATER AND SEWER SERVICES	DLH
Date	Revision	By

These plans shall only be used for the purpose shown below:

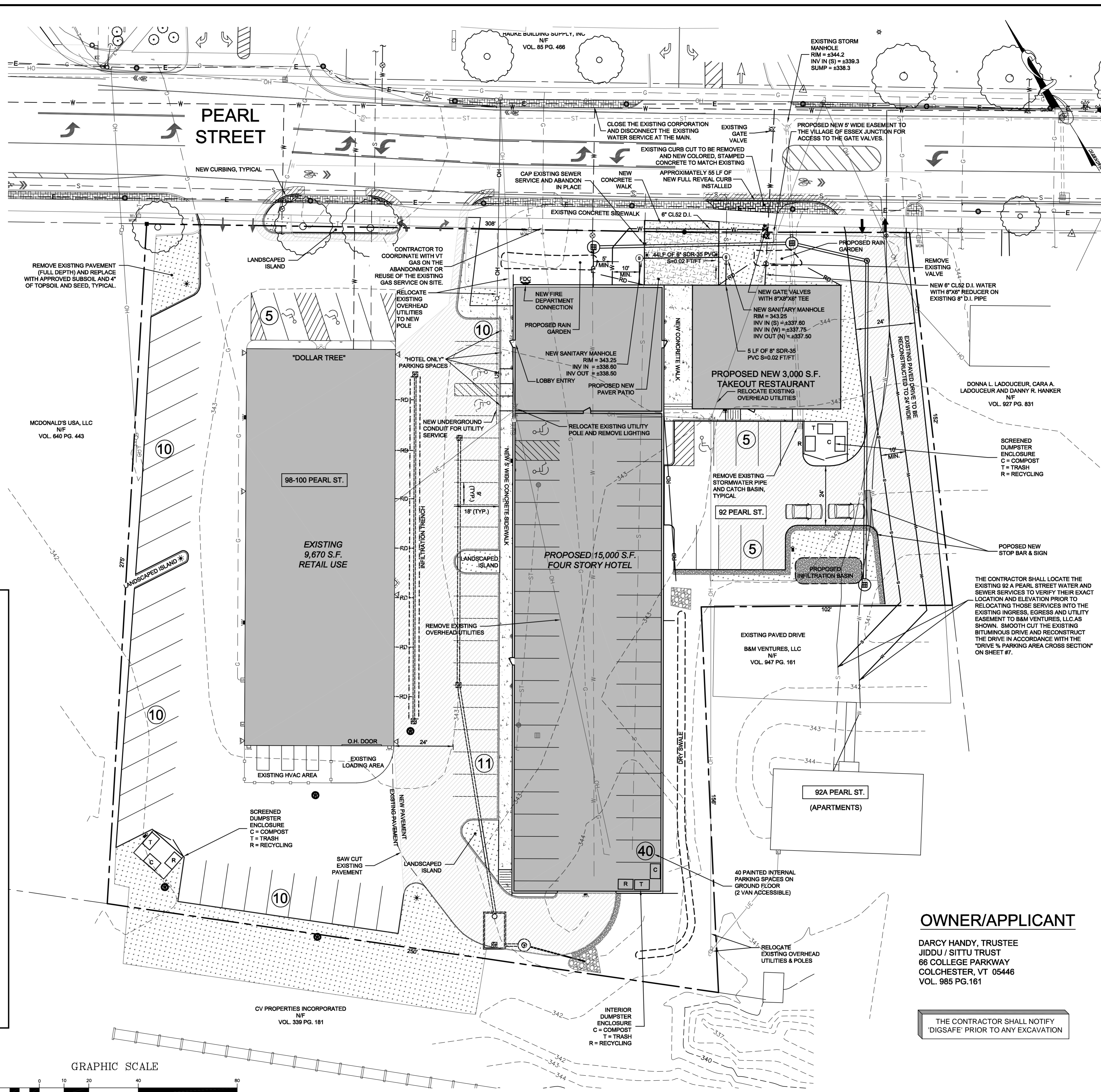
<input checked="" type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction
<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing

LANDS OF JIDDU / SITTU TRUST		Project No. 17012
PEARL STREET CENTER		Survey KMR
92-100 PEARL STREET	ESSEX JUNCTION, VT	Design DLH
EXISTING CONDITIONS SITE PLAN		Drawn DLH
		Checked DJG/ABR
		Date 02-14-17
		Scale AS NOTED
		Sheet number

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LOCATION PLAN



LEGEND

- EXISTING PROJECT BOUNDARY
- - - ABUTTING PROPERTY LINE
- - - 343 EXISTING GROUND CONTOUR
- - - OH EXISTING TREE LINE
- - - OH EXISTING UTILITY POLE AND OVERHEAD WIRE
- - - S EXISTING SEWER LINE
- - - W EXISTING WATER LINE
- - - S-W EXISTING CATCH BASIN AND STORM PIPE
- - - S-O PROPOSED SANITARY SERVICE AND MANHOLE
- - - W-O PROPOSED WATER SERVICE AND GATE VALVE
- - - OH-OE PROPOSED OVERHEAD UTILITIES, UTILITY POLE & UNDERGROUND ELECTRIC
- - - S-O PROPOSED CATCH BASIN, STORM PIPE & STORM MANHOLE
- - - RD RD PROPOSED ROOF DRAINS
- - - PROPOSED STORMWATER TREATMENT AREA
- - - REDEVELOPED PAVEMENT AREA
- - - PROPOSED TOPSOIL AND LAWN AREA (SEE SHEET ST-2 FOR SPECIFICATIONS)
- - - STONE OUTFALL/SPILLWAY
- * PROPOSED LIGHT FIXTURE
- EXISTING STREET TREES
- CONTINUOUS PARKING SPACES

UTILITY RELOCATION NOTE:
EXISTING ELECTRIC AND TELECOMMUNICATION CONDUITS, CABLES AND UTILITY POLES ARE TO BE RELOCATED AS NOTED. THE DEVELOPER SHALL COORDINATE WITH THE VILLAGE AND THE UTILITIES ON THE TIMING AND CONSTRUCTION OF THE NEW ELECTRIC AND TELECOMMUNICATION CONDUITS, CABLES AND UTILITY POLES.

- NOTES:**
- THE CONTRACTOR SHALL COORDINATE THE HORIZONTAL LOCATION OF THE WATER, SEWER, FOOTING DRAIN, AND ROOF DRAIN SERVICE CONNECTIONS TO THE BUILDINGS WITH THE DEVELOPER AND ARCHITECTURAL PLANS.
 - THE CONTRACTOR SHALL COORDINATE WITH THE VILLAGE OF ESSEX JUNCTION ON THE ABANDONMENT-IN-PLACE OF EXISTING WATER AND SEWER SERVICES. THIS WORK SHALL BE CONDUCTED WITHIN THE PRESENCE OF AN AUTHORIZED REPRESENTATIVE OF THE VILLAGE OF ESSEX JUNCTION.
 - COORDINATE THE LOCATION OF THE SIDEWALK ENTRANCES TO EACH BUILDING WITH THE OWNER. UNLESS STEPS ARE PROPOSED, THE MAXIMUM SLOPE ON ANY SIDEWALK SHALL BE LESS THAN 5%.
 - ALL PIPE SLOPES ARE IN FEET / FEET.
 - PRIOR TO SITE CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE THE EXISTING SANITARY SEWER STUB LEADING TOWARDS THE PROPOSED RESTAURANT TO VERIFY ITS LOCATION AND GRADE, AND NOTIFY THE ENGINEER IF DIFFERENT THAN SHOWN ON THIS PLAN.

PROJECT STATISTICS

ZONING DISTRICT - TRANSIT ORIENTED DEVELOPMENT (TOD)

PARCEL ID - 1035013000

PARCEL AREA - 1.89 ACRES (82,179 S.F.)

DIMENSIONAL REQUIREMENTS:	REQUIRED	PROVIDED
LOT AREA	5,000 S.F.	82,179 S.F.
FRONT SETBACK	0 FT (25' MAXIMUM)	25 FT ±
SIDE SETBACK	0 FT	15 FT ±
REAR SETBACK	0 FT	27 FT ±

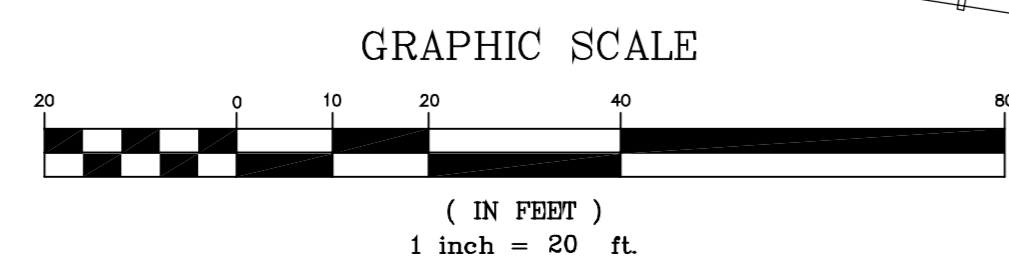
LOT COVERAGE:	EXISTING	PROPOSED
BUILDING COVERAGE	12.9%	33.7%
TOTAL LOT COVERAGE (100% MAX)	84.7%	81.9%

USE:
EXISTING - COMMERCIAL
PROPOSED - COMMERCIAL (RETAIL/RESTAURANT/HOTEL)

UTILITIES:
WATER/WASTEWATER - MUNICIPAL SERVICES.
ELECTRIC, TELEPHONE AND CABLE TELEVISIONS SERVICES TO BE UNDERGROUND.

PARKING REQUIREMENTS (PER VILLAGE LAND DEV. CODE)

LODGING - 1 SPACE / UNIT X 100 UNITS	= 100 SPACES
RETAIL 2.5 SPACES PER 1,000 G.S.F. RETAIL X 9,670 S.F.	= 25 SPACES
FAST FOOD MIN. 6 SP. S PER 1,000 S.F. OF CUSTOMER AREA X 1,000 S.F. MAXIMUM 10 SPACES PER 1,000 S.F. OF CUSTOMER AREA	= 6 SPACES
TOTAL SPACES REQUIRED	= 131 SPACES
TOTAL SPACES REQUIRED BY SHARED PARKING CALCULATION	= 105 SPACES
TOTAL SPACES PROVIDED	= 44 SPACES
LODGING (HOTEL) - 4 DEDICATED OUTSIDE, 40 SP. INSIDE BUILDING)	
RETAIL, HOTEL AND RESTAURANT (65 SHARED)	= 53 SPACES
TOTAL PROVIDED	= 106 SPACES



3-29-18	ADDED LOCATION OF EXISTING 92A PEARL STREET WATER AND SER SERVICES AND NOTE ABOUT THEIR RELOCATION	DLH
12-1-17	REVISED SITE LAYOUT & NOTES	NDS
9-29-17	REVISED SITE LAYOUT	DLH
7-27-17	REVISED SITE LAYOUT	DLH
Date	Revision	By

These plans shall only be used for the purpose shown below:

- Sketch/Concept
- Preliminary
- Final Local Review
- Act 250 Review
- Construction
- Record Drawing

LANDS OF JIDDU / SITTU TRUST
PEARL STREET CENTER
92-100 PEARL STREET ESSEX JUNCTION, VT

Design DLH
Drawn DLH
Checked DJG/ABR

Date 02-14-17
Scale AS NOTED

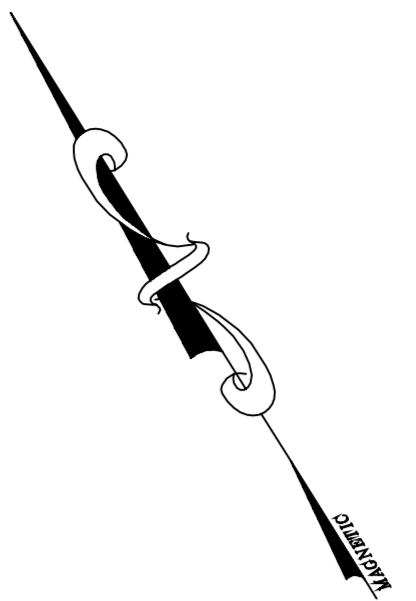
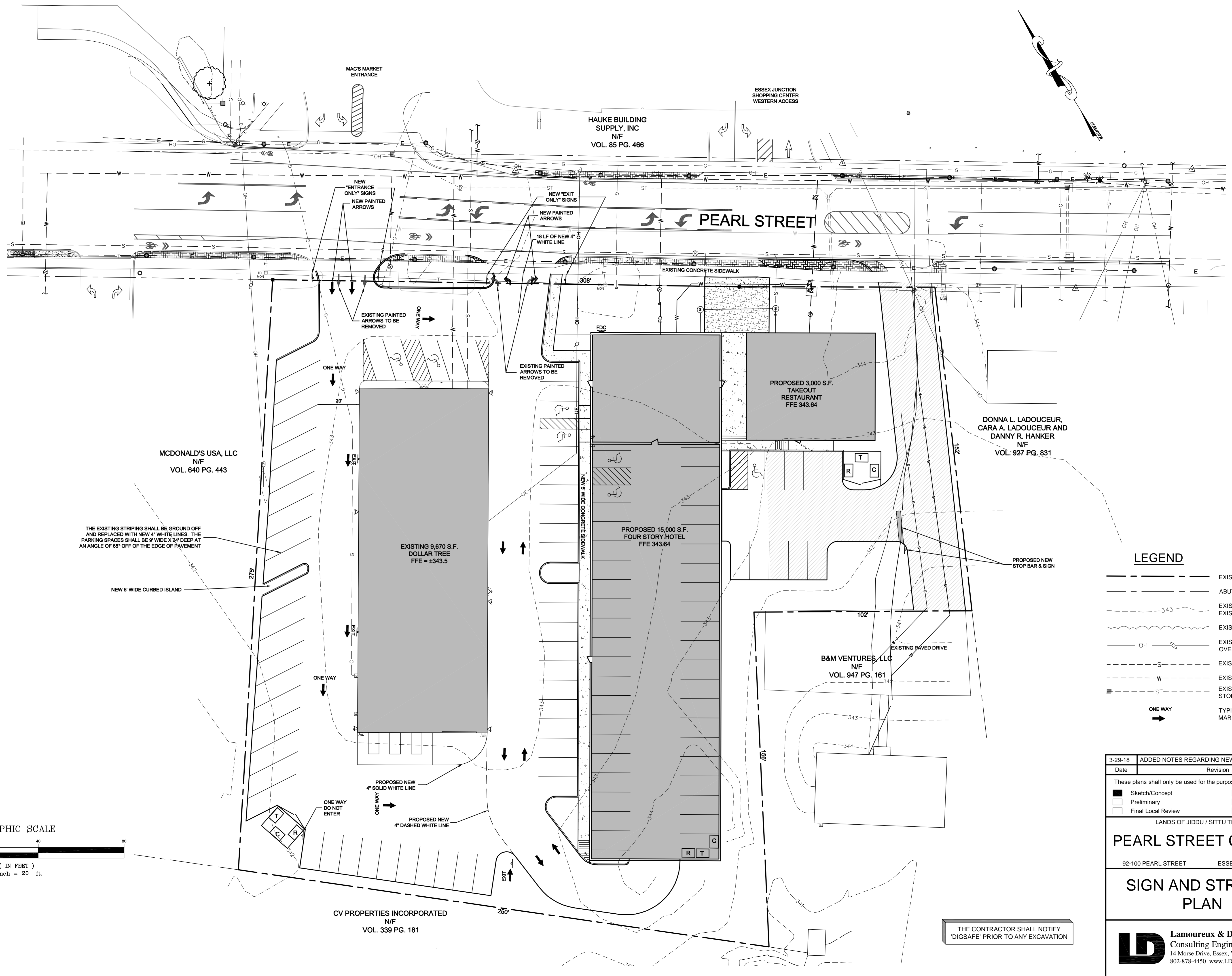
Sheet number

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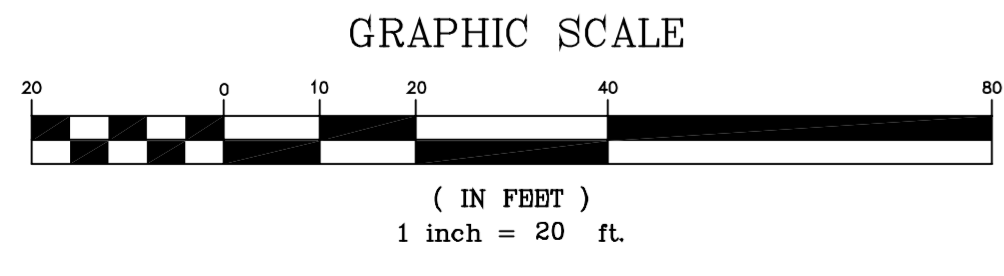
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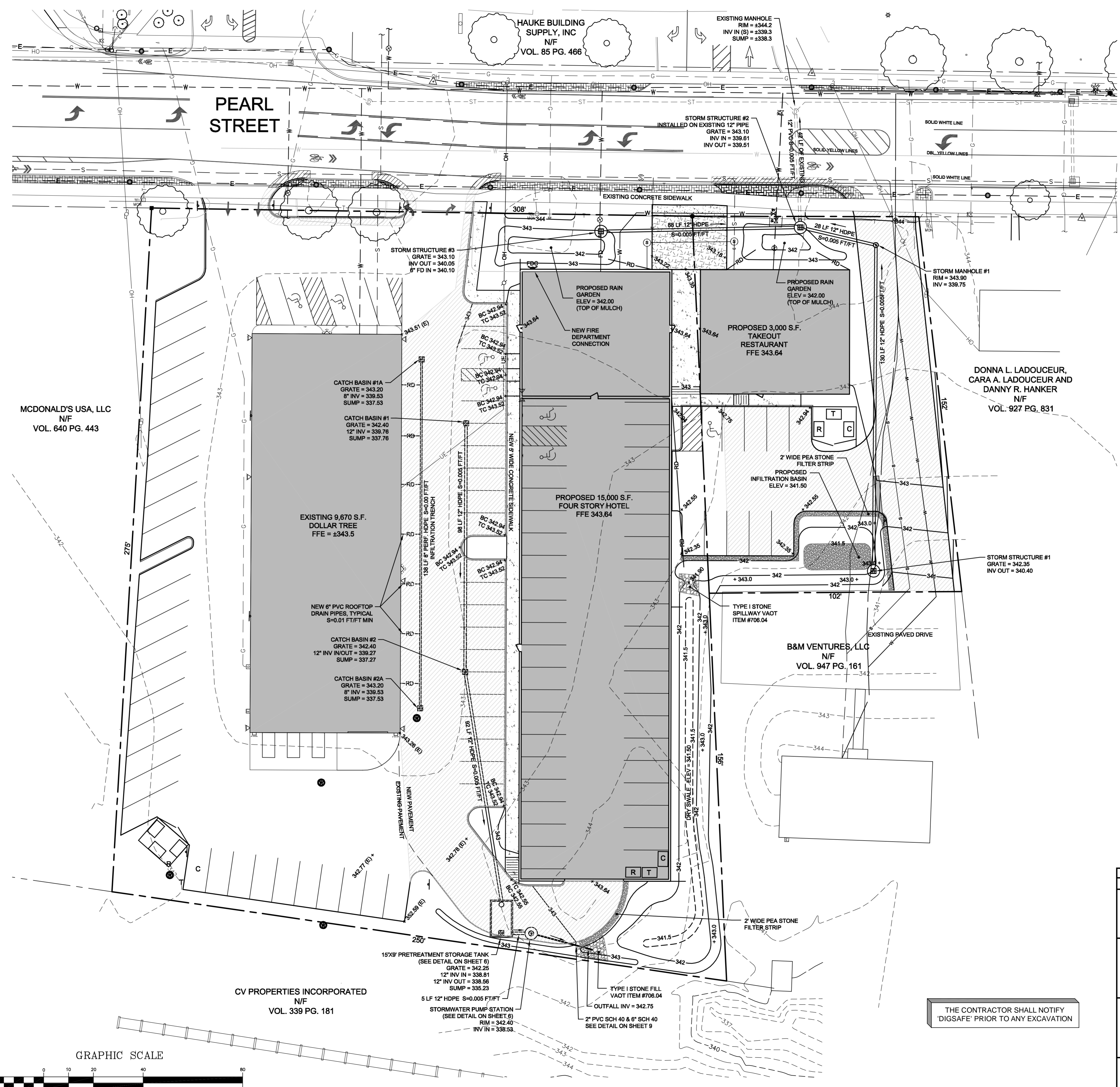
LEGEND

	EXISTING PROJECT BOUNDARY
	ABUTTING PROPERTY LINE
	EXISTING GROUND CONTOUR AND EXISTING SPOT GRADE
	EXISTING TREE LINE
	EXISTING UTILITY POLE AND OVERHEAD WIRE
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING CATCH BASIN AND STORM PIPE
	TYPICAL NEW WHITE PAINT MARKINGS



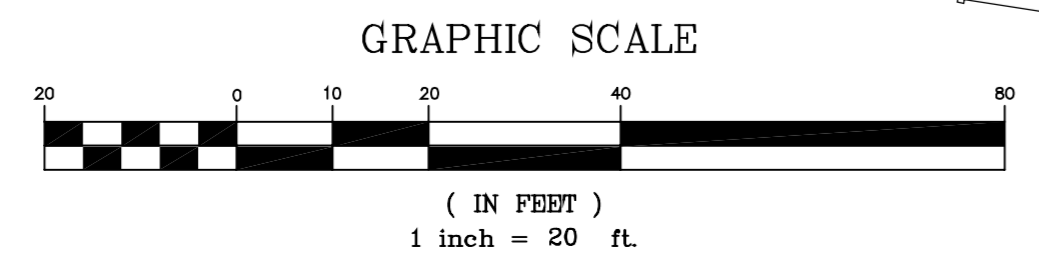
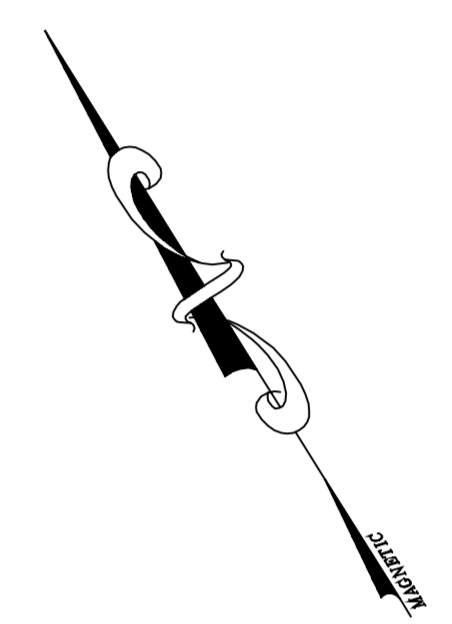
3-29-18	ADDED NOTES REGARDING NEW PAVEMENT MARKINGS	DLH
Date	Revision	By
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92-100 PEARL STREET	ESSEX JUNCTION, VT	Design DLH
SIGN AND STRIPING PLAN		Drawn DLH
		Checked DJG/ABR
		Date 02-14-17
		Scale AS NOTED
		Sheet number 3

THE CONTRACTOR SHALL NOTIFY 'DIGSAFE' PRIOR TO ANY EXCAVATION



LEGEND

	EXISTING PROJECT BOUNDARY
	ABUTTING PROPERTY LINE
	EXISTING GROUND CONTOUR AND EXISTING SPOT GRADE
	EXISTING TREE LINE
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	PROPOSED CONTOUR AND SPOT GRADE
	PROPOSED CATCH BASIN, STORM PIPE & STORM MANHOLE
	PROPOSED ROOF DRAINS
	STONE OUTFALL/SPILLWAY



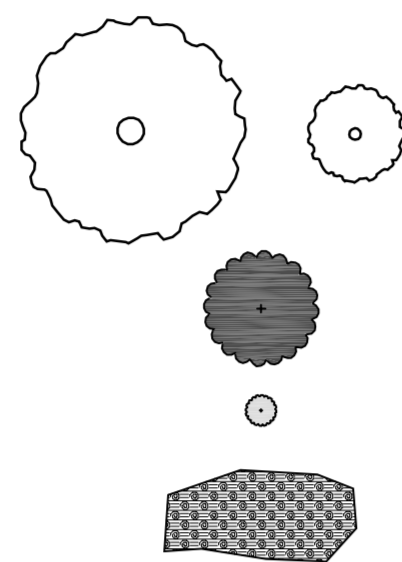
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12/1/17	GRADING PLAN CREATED	NDS
Date	Revision	By
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LANDS OF JIDDU / SITTU TRUST		Project No. 17012
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GRADING PLAN		Drawn DLH
		Checked DJG/ABR
		Date 02-14-17
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		Sheet number
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LEGEND

- EXISTING PROJECT BOUNDARY
- - - ABUTTING PROPERTY LINE
- - - 34.3 EXISTING GROUND CONTOUR
- - - EXISTING TREE LINE
- OH EXISTING UTILITY POLE AND OVERHEAD WIRE
- - - S EXISTING SEWER LINE
- - - W EXISTING WATER LINE
- - - ST EXISTING CATCH BASIN AND STORM PIPE



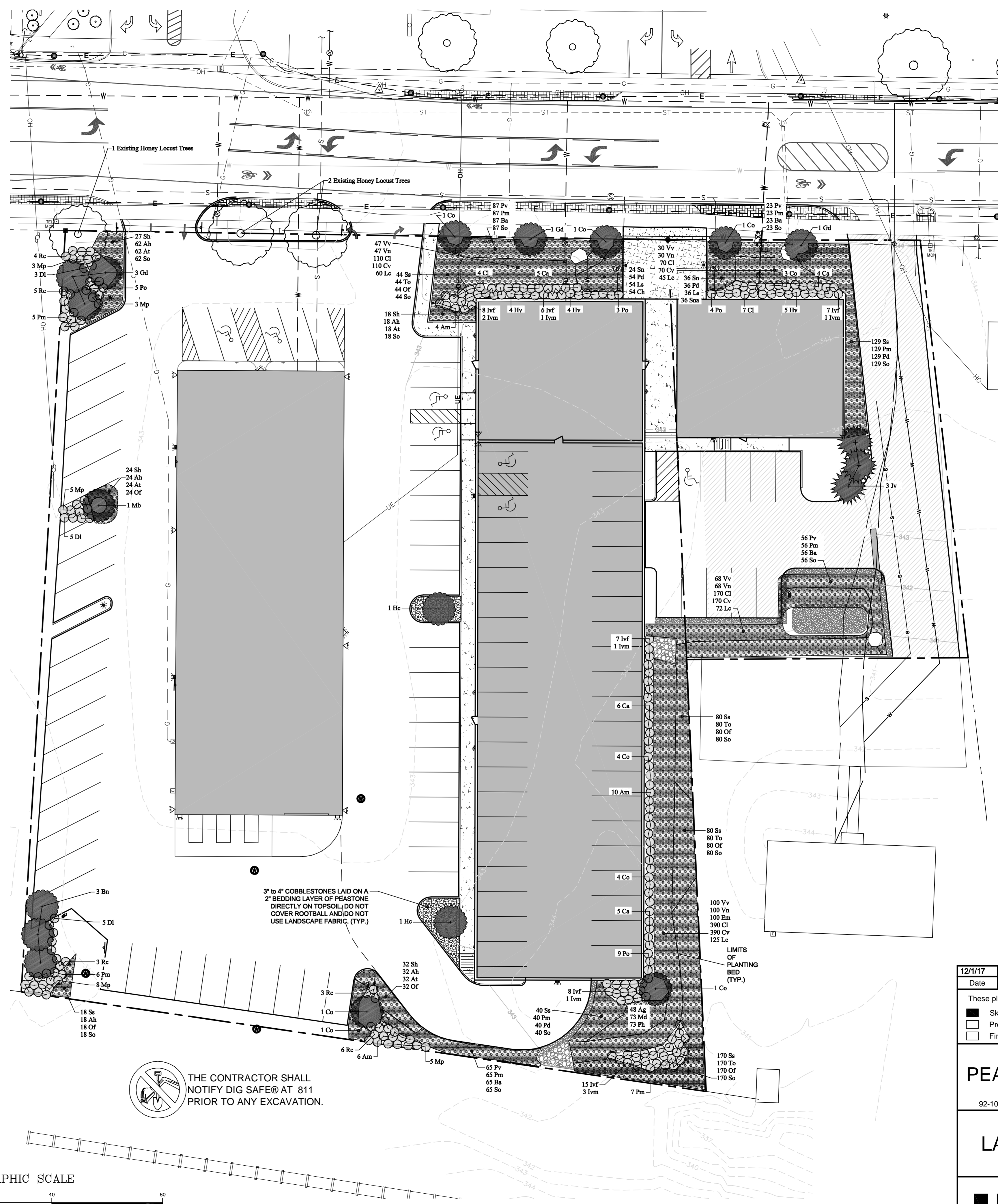
LANDSCAPE SPECIFICATIONS

1. CONTRACTOR SHALL STAKE ALL PLANT LOCATIONS AND THE ENGINEER SHALL APPROVE PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL NOT BLOCK VEHICLE SIGHT DISTANCES DURING CONSTRUCTION.
3. ALL PLANTS THAT ARE TEMPORARILY STORED ON SITE UNTIL READY FOR INSTALLATION SHALL BE PROTECTED FROM THE SUN AND DRYING WINDS. ALL PLANT ROOT BALLS SHALL BE KEPT SHADED AND PROTECTED WITH SOIL, SHREDED HARDWOOD MULCH OR OTHER ACCEPTABLE MATERIAL AND REGULARLY WATERED.
4. TREES SHALL HAVE A MINIMUM 90% LIVE CROWN RATIO.
5. STREET TREES TO ARRIVE FROM NURSERY WITH A MINIMUM 6 FEET / 2 METERS BETWEEN THE FINISH GRADE AND THE FIRST TREE BRANCH.
6. TREE PIT AREA SHALL HAVE A MINIMUM 36" DEPTH OF LANDSCAPE PLANTING MIX. SHRUB PLANTING PIT SHALL HAVE A 24" MINIMUM DEPTH. ALL PLANTING PIT AREAS SHALL HAVE THE LANDSCAPE PLANTING MIX SPECIFIED BELOW.
7. LANDSCAPE PLANTING MIX SHALL CONSIST OF THE FOLLOWING RATIO: 2/3 PARTS TOPSOIL, 1/3 PART COMPOST. PLANT MIX TO BE TESTED AND APPROVED FOR QUALITY BY THE RESIDENT ENGINEER PRIOR TO INSTALLATION. LANDSCAPE PLANTING MIX SHALL BE INSTALLED IN ALL PLANTING PIT AREAS PRIOR TO PLANT INSTALLATION.
8. STAKING SHALL BE REQUIRED ONLY IN SITUATIONS WHERE TREES WILL BE SUBJECTED TO WINDY CONDITIONS AS DETERMINED BY THE RESIDENT ENGINEER. STAKES SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF THE WARRANTY PERIOD.
9. AFTER PLANTS HAVE BEEN INSTALLED, MYCORRHIZAL FUNGI SHALL BE APPLIED ACCORDING TO MANUFACTURERS' SPECIFICATIONS. MYCORRHIZAL FUNGI SHALL MEET VTRANS SPECIFICATIONS #755 AND BE APPROVED BY THE RESIDENT ENGINEER PRIOR TO INSTALLATION.

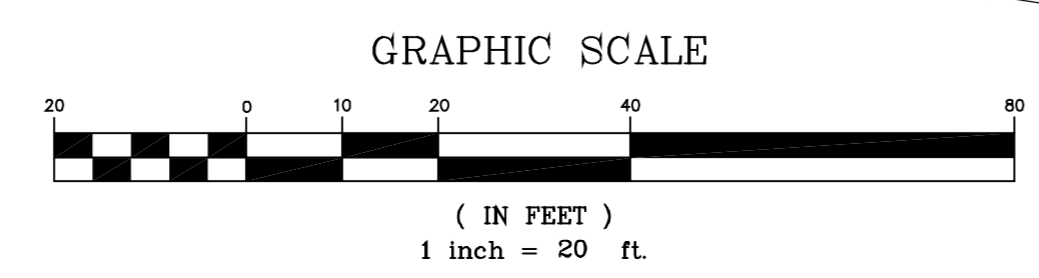
PLANTING SCHEDULE

Key	Botanical Name	Common Name	Size	Remarks
Trees				
Bn	<i>Betula nigra</i> 'Heritage'	River Birch	2" to 2 1/2" caliper	B&B, container, single stem
Co	<i>Celtis occidentalis</i> 'Prairie Pride'	Common Hackberry	2" to 2 1/2" caliper	B&B, container
Hc	<i>Halesia carolina</i>	Carolina Silverbell	1 1/2" to 2" caliper	B&B, container
Gd	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	2" to 2 1/2" caliper	B&B, container
Jv	<i>Juniperus virginiana</i> 'Canaertii'	Red Cedar	2" to 2 1/2" caliper	B&B, container
Mb	<i>Malus baccata</i> 'Jackii'	Siberian Crabapple	2" to 2 1/2" caliper	B&B, container
Shrubs				
Am	<i>Aronia melanocarpa</i> 'Viking'	Black Chokeberry	18" to 24" Height	Container
Ca	<i>Cornus amomum</i>	Silky Dogwood	18" to 24" Height	Container
Cl	<i>Clethra alnifolia</i> 'Ruby Spice'	Summersweet	18" to 24" Height	Container
Co	<i>Cephalanthus occidentalis</i>	Buttonbush	18" to 24" Height	Container
Di	<i>Dierilla lonicera</i>	Northern Bush Honeysuckle	18" to 24" Height	Container
Hv	<i>Hamamelis virginiana</i>	Witchhazel	18" to 24" Height	Container
Ivf	<i>Ilex verticillata</i> 'Winter Red'	Winterberry (female)	18" to 24" Height	Container
Ivm	<i>Ilex verticillata</i> 'Southern Gentleman'	Winterberry (male)	18" to 24" Height	Container
Mp	<i>Morella pensylvanica</i>	Northern Bayberry	18" to 24" Height	Container
Pm	<i>Prunus maritima</i>	Beach Plum	18" to 24" Height	Container
Po	<i>Physocarpus opulifolia</i> 'Center Glow'	Common Ninebark	18" to 24" Height	Container
Re	<i>Rhus copallinum</i> 'Prairie Flame'	Winged Sumac	18" to 24" Height	Container
Herbaceous				
Ag	<i>Andropogon gerardii</i> 'Red October'	Big Bluestem		Plant 12" on center
Ah	<i>Amsonia hubrichtii</i>	Threadleaf Bluestar		Plant 12" on center
At	<i>Asclepias tuberosa</i>	Butterfly Milkweed		Plant 12" on center
Ba	<i>Baptisia australis</i>	Blue False Indigo		Plant 24" on center
Ch	<i>Chasmanthium latifolium</i>	Northern Sea Oats		Plant 12" on center
Cl	<i>Carex lurida</i>	Sailow Sedge		Plant 12" on center
Cv	<i>Carex vulpinoidea</i>	Fox Sedge		Plant 24" on center
Em	<i>Eutrochium maculatum</i> 'Gateway'	Spotted Joe Pye Weed		Plant 24" on center
Lc	<i>Lobelia cardinalis</i>	Cardinal Flower		Plant 12" on center
Ls	<i>Liatris spicata</i>	Dense Blazing Star	Use fully rooted, 2" square by 5" deep landscape plugs as supplied by North Creek Nurseries, Landenberg, PA, Prairie Moon Nursery, Winona, MN, or equal.	Plant 12" on center
Md	<i>Monarda didyma</i> 'Jacob Cline'	Beesbalm		Plant 12" on center
Of	<i>Oenothera fruticosa</i>	Sandrops		Plant 12" on center
Pd	<i>Penstemon digitalis</i>	Fogglow Beardtongue		Plant 12" on center
Ph	<i>Physostegia virginiana</i>	Obedient Plant		Plant 12" on center
Pm	<i>Pycnanthemum muticum</i>	Clustered Mountain-mint		Plant 12" on center
Pv	<i>Panicum virgatum</i> 'Northwind'	Switchgrass		Plant 24" on center
Sh	<i>Sporobolus heterlepis</i>	Prairie Dropseed		Plant 24" on center
Sb	<i>Sorghastrum nutans</i> 'Sisou Blue'	Indiangrass		Plant 24" on center
Sna	<i>Symphoricarum novae-angliae</i>	New England Aster		Plant 12" on center
So	<i>Symphoricarum oblongifolium</i> 'Ravens Favorite'	Aromatic Aster		Plant 12" on center
Ss	<i>Schizachyrium scariosum</i> 'Standing Ovation'	Little Bluestem		Plant 12" on center
To	<i>Tradescantia ohiensis</i>	Ohio Spiderwort		Plant 12" on center
Va	<i>Vernonia noveboracensis</i>	New York Ironweed		Plant 24" on center
Vv	<i>Veronicastrum virginicum</i>	Culver's Root		Plant 24" on center

NOTES:
 1. PLANTING AREAS OVERLAP BECAUSE THEY ARE BASED ON ROOT BALL DIAMETER, NOT CROWN DIAMETER. SHRUBS AND HERBACEOUS PLANTS ARE TO BE PLANTED NO CLOSER THAN 5 FT TO TREE STEMS. HERBACEOUS PLANTS ARE TO BE PLANTED NO CLOSER THAN 1 FT TO SHRUB STEMS. IN NO CASE SHALL ROOT BALLS OF TREES AND SHRUBS BE DISTURBED BY SUBSEQUENT PLANTINGS.



THE CONTRACTOR SHALL NOTIFY DIG SAFE® AT 811 PRIOR TO ANY EXCAVATION.



12/1/17	LANDSCAPE SHEET CREATED	NDS
Date	Revision	By
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LANDS OF JIDDU / SITTU TRUST		
PEARL STREET CENTER		
92-100 PEARL STREET ESSEX JUNCTION, VT		
LANDSCAPING PLAN		
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Trudel Consulting Engineers
478 Blair Park Rd
Williston, VT 05495
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Waite Design & Engineering
US-7
Milton, VT 05468
802-238-5646

Thomas Engineering
PO BOX 1420
Waitsfield, VT 05673
802-343-4673

Kirick Eng Assoc. P.C.
5399 Williston Road #103
Williston, VT 05495
802-655-5731

No.	Description	Date
1	BUILDING PERMIT	1/20/2023
2	FOR CONSTRUCTION	4/19/2023

Gabe Handy

Handy Suites
92-100 Pearl Street

LEVEL 1 PLAN

Project number: 2022002
Date: 19 April 2023
Drawn by: DLG
Checked by: DLG
Project Phase: For Construction

A101

Scale: As indicated

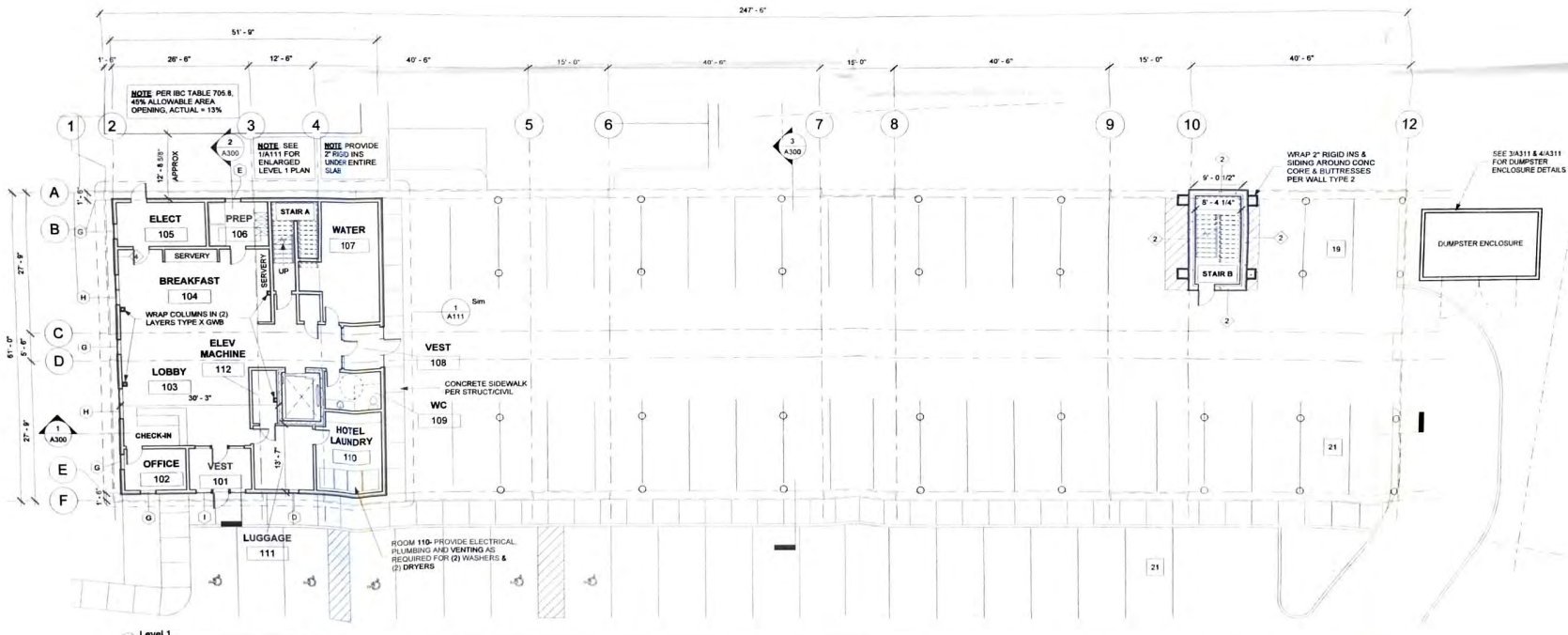
NOTE:
- IN BATHS PROVIDE BLOCKING AS REQUIRED FOR FUTURE GRAB BARS
- IN KITCHENS PROVIDE BLOCKING AS REQUIRED FOR UPPER AND LOWER CABINETS
- IN BATHS PROVIDE MOISTURE RESISTANT GWB BEHIND ALL TUBS. PROVIDE GWB BEFORE TUB INSTALLATION
- ALL CLOSETS 2'-0" DEPTH UNO
- ALL WATER CLOSETS 1'-6" FROM ADJACENT WALL OR TUB UNO
- DOOR OPENINGS LOCATED 6" FROM ADJACENT FACE OF STUD UNO
- ALL GUARDRAILS 42" HIGH. ALL HANDRAILS 36" HIGH
- ALL CHAIRS TO BE 2-HR RATED CONSTRUCTION

PARKING	
GROUND FLOOR COVERED -	40
EXTERIOR -	56
TOTAL -	96
ADA PARKING -	4

UNITS	
ROOMS -	97
SUITES -	48

FLOOR 1 - LOBBY, MECH -		3,059 SF
FLOOR 2 -	32 UNITS -	15,104 SF
FLOOR 3 -	32 UNITS -	15,104 SF
FLOOR 4 -	33 UNITS -	15,104 SF
TOTAL -	97 UNITS -	48,371 SF

HANDICAP UNITS - 6	
HEARING UNITS -	9



1 Level 1
3/32" = 1'-0"



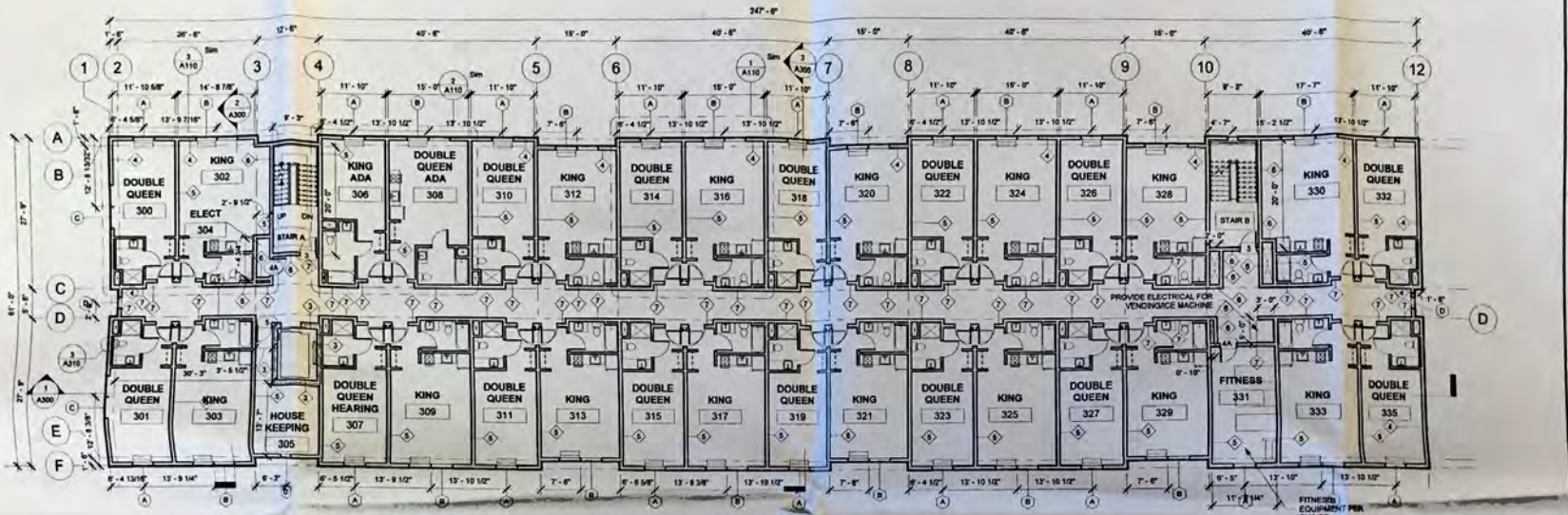
Trudel Consulting Engineers
478 Blair Park Rd
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802-879-6331

Waite Design & Engineering
US-7
Milton, VT 05468
802-238-5646

Thomas Engineering
PO BOX 1420
Waitsfield, VT 05673
802-343-4673

Kirck Eng Assoc, P.C.
5399 Williston Road #103
Williston, VT 05495
802-655-5731

NOTE:
- IN BATHS PROVIDE BLOCKING AS REQUIRED FOR FUTURE GRANITE BARS
- IN KITCHENS PROVIDE BLOCKING AS REQUIRED FOR UPPER AND LOWER CABINETS
- IN BATHS PROVIDE MOISTURE RESISTANT GWB BEHIND ALL TUBS. PROVIDE GWB BEFORE TUB INSTALLATION
- ALL CLOSETS 2'-0" DEPTH UNO
- ALL WHITE CLOSETS 1'-0" FROM ADJACENT WALL OR TUB UNO
- DOOR OPENINGS LOCATED 6" FROM ADJACENT FACE OF STUD UNO
- ALL GUARDRAILS 42" HIGH. ALL HANDRAILS 38" HIGH
- ALL CHIMNEYS TO BE 2-HR RATED CONSTRUCTION
- WHERE WC LOCATED ALONG EXTERIOR WALL ADD 2X4 STUD TO EXTERIOR WALL ASSEMBLY, PER DETAIL 30416



2 Level 3
3/32" = 1'-0"



1 Level 2
3/32" = 1'-0"

No.	Description	Date
1	BUILDING PERMIT	10/20/23
2	FOR CONSTRUCTION	4/18/2023

Gabe Handy
Handy Suites
92-100 Pearl Street

LEVEL 2 & 3 PLANS

Project number: 2022002
Date: 19 April 2023
Drawn by: DLG
Checked by: DLG
Project Phase: For Construction

A102
Scale: 3/32" = 1'-0"



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Williston, VT 05495
802-655-5731

No	Description	Date
1	BUILDING PERMIT	1/30/2023
2	FOR CONSTRUCTION	4/19/2023

Gabe Handy

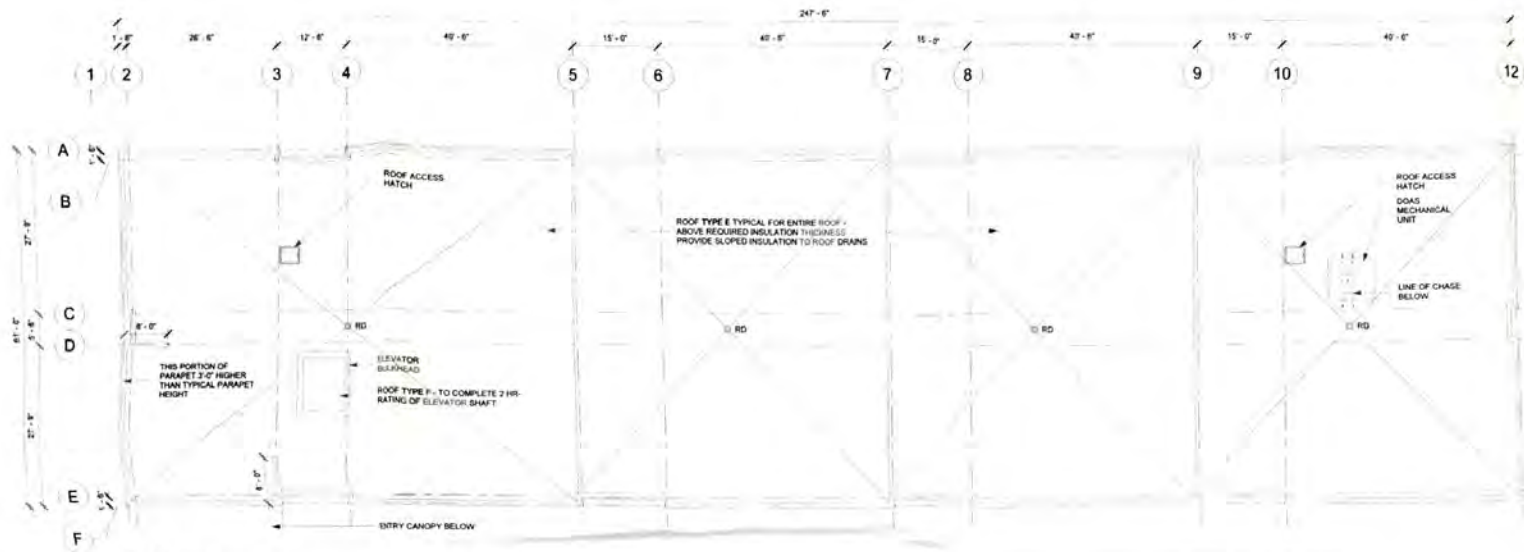
Handy Suites
92-100 Pearl Street
LEVEL 4 & ROOF
PLANS

Project Number: 2022002
Date: 19 April 2023
Drawn by: DLG
Checked by: DLG
Project Phase: For Construction

A103

Scale: 3/32" = 1'-0"

NOTE:
- IN BATHS PROVIDE BLOCKING AS REQUIRED FOR FUTURE GRAB BARS
- IN KITCHENS PROVIDE BLOCKING AS REQUIRED FOR UPPER AND LOWER CABINETS
- IN BATHS PROVIDE MOISTURE RESISTANT GWB BEHIND ALL TUBS. PROVIDE GWB BEFORE TUB INSTALLATION
- ALL CLOSETS 2'-0" DEPTH UNO
- ALL WATER CLOSETS 1'-6" FROM ADJACENT WALL OR TUB/INO
- DOOR OPENINGS LOCATED 8" FROM ADJACENT FACE OF STUD UNO
- ALL GUARDRAILS 42" HIGH ALL HANDRAILS 36" HIGH
- ALL CHAMBS TO BE 3-HR RATED CONSTRUCTION
- WHERE WC LOCATED ALONG EXTERIOR WALL ADD 2X4 STUD TO EXTERIOR WALL ASSEMBLY PER DETAIL 34310



2 Roof
3/32" = 1'-0"



1 Level 4
3/32" = 1'-0"

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No.	Description	Date
1	BUILDING PERMIT	1/30/2023
2	FOR CONSTRUCTION	4/19/2023

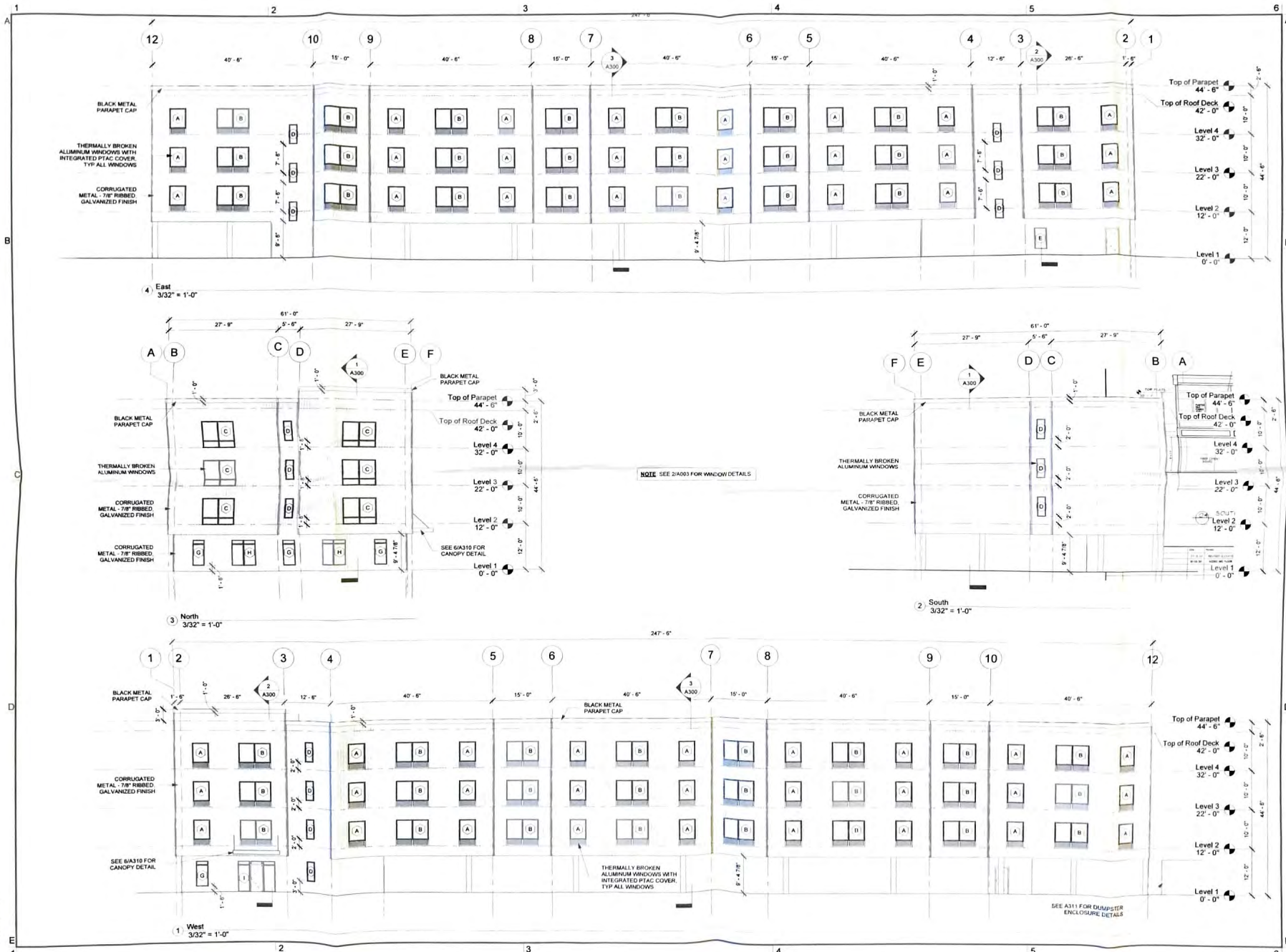
Gabe Handy
Handy Suites
92-100 Pearl Street

ELEVATIONS

Project number 2022002
Date 19 April 2023
Drawn by DLG
Checked by DLG
Project Phase For Construction

A200

Scale 3/32" = 1'-0"



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No.	Description	Date
1	BUILDING PERMIT	1/30/2023
2	FOR CONSTRUCTION	4/19/2023

Gabe Handy

Handy Suites
92-100 Pearl Street

3D VIEWS

Project number 2022002
Date 19 April 2023
Drawn by D.G.
Checked by D.G.
Project Phase For Construction

A500

Scale



4 View to Northwest



5 View to Southwest 2



3 View to Northeast



1 View to Southeast



NO PARKING

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