

Staff Report

To: Development Review Board (DRB)
From: Christopher Yuen, Community Development Director
Meeting Date: 02/15/2024
Subject: 2 Lincoln St. (Lincoln Hall) Renovations Design Review

EXISTING CONDITIONS AND GENERAL INFORMATION

Project Location: 2 Lincoln Street
Project Area Size: 82,328 sq.ft.
Lot Frontage: 520 sq. ft.
Existing Land Use: Municipal Office
Surrounding Land Use: Residential; Commercial
Zoning District: Village Center (VC)
Minimum Lot Size: 5,000 sq.ft. (0.11 acres)
Lot Coverage: No change

Project Description:

The City of Essex Junction is preparing plans to renovate a building at 2 Lincoln Street (Lincoln Hall). The planned renovations are focused on upgrades to the interior of the building, such as adding an elevator and changing the layout of the municipal office space. The LDC does not require a permit for interior changes to existing structures, in cases where land use is not being changed. However, the Lincoln Hall renovations include some minor changes to the exterior of the building- particularly the addition of a ~100 sq ft entrance vestibule space at the entrance from the parking lot; the removal of a fire escape stairway, and the addition of HVAC equipment near the location of the existing backup generators. Exterior modifications to building in the Village Center Zoning District, are subject to review by the DRB, to ensure they meet the Design Review and Historic Preservation requirements.

Section 604.E: Village Center (VC) District

E. Design Review and Historic Preservation

Design review is required by [the DRB] for any proposed construction, reconstruction, demolition or exterior alteration (including a change of color) of any building in the district.

1. Purpose.

“The purpose of this section is to protect those buildings listed or eligible for the State or Federal Register of Historic Places while accommodating new and appropriate infill and redevelopment supporting increased density and multi-modal development. ...New buildings and modifications to existing ones shall be subject to design review.”

The addition of an entrance vestibule, the removal of exterior stairways, and the addition of exterior HVAC equipment is a modification and is therefore subject to design review.

2. Applicability:

“The design review standards are applicable to all development proposals within the Village Center District.

The historic preservation design standards with respect to alterations, additions or redevelopment of existing historic structures as defined in Section 604.E.4.B of this Code are applicable to all buildings listed or eligible for the State or National Register of Historic Places. Documentation from the State Division of Historic Preservation documenting a building’s eligibility for the State or National Register of Historic Places.”

Design review standards apply because Lincoln Hall is located within the Village Center Zoning District. Historic Preservation standards apply because Lincoln Hall is included in Map 2 (Historic Sites and Districts) of the Comprehensive Plan, indicating that it has been determined to be listed or eligible for the State or National Register of Historic Places.

3. The DRB may deny approval of a proposed development or modification of a structure if it determines that the intent of this Section has not been met.

Section 604.E.4.a states:

(i) The relationship of building mass and architectural detail to open space and to the relative size of a person shall be reviewed by the Development Review Board in this District.

(ii) The predominant direction of structural shape, of placement of openings and architectural details at the front façade shall be harmonious with the core principles of a designated Village Center District.

(iii) Buildings shall generally have no setback from the street and be at least two stories in height and maximum four stories to create a consistent street edge and sense of enclosure. Additional building setback to provide for an expansion of the sidewalk or active pedestrian space such as sidewalk cafes or display areas may be allowed and in some cases encouraged.

(iv) Bicycle paths which connect neighborhoods shall be constructed in accordance with planned facilities mapped in the Comprehensive Plan on Map 6: Non-Motorized

Transportation, or in conformity to a Bicycle Plan as approved by the Development Review Board.

The proposed exterior changes are not visible from the 5 Corners intersection, or anywhere along the street frontage. Staff notes that the proposed addition of the entrance vestibule is consistent with the style of the existing building.

Section 604.E.4.b states:

(ii) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

(iii) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken

(iv) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

(v) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

(vi) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

(ix) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

(x) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Lincoln Hall has undergone many changes over time. The new additions are not expected to destroy any historic material that characterizes the property that still exist.

Historic Sites and Structures Survey

Lincoln Hall is listed in the Vermont Register of Historic Places. An Individual Structure Survey Form detailing historic architectural characteristics and the historical significance of the location is attached.

Photographs of the site

Lincoln Hall, 1900



A site plan, and photographs of the existing building, and of the proposed changes, are included in the attached plan set.

Recommendation

Staff recommends the DRB approve the proposed changes to the exterior of Lincoln Hall, at 2 Lincoln Street, if it determines that the requirements of Section 604.E are met.

Recommended Motion

I move that the Development Review Board approve the proposed exterior changes to Lincoln Hall at 2 Lincoln Street in accordance with the design review and historic preservation review criteria outlined in Section 604.E of the Land Development Code.

Listed on State Register
VT ACHP
Date: 4/9/80

STATE OF VERMONT
Division for Historic Preservation
Montpelier, VT 05602

HISTORIC SITES & STRUCTURES SURVEY
Individual Structure Survey Form

SURVEY NUMBER:
0405-78

NEGATIVE FILE NUMBER:
77-A-103

UTM REFERENCES:
Zone/Easting/Northing
18/650880/4927900

U.S.G.S. QUAD. MAP:
7.5 Essex Junction

PRESENT FORMAL NAME:
Lincoln Hall

ORIGINAL FORMAL NAME:
Stevens House

PRESENT USE: Offices

ORIGINAL USE: Tavern

ARCHITECT/ENGINEER:
Unknown

BUILDER/CONTRACTOR:
Abram Stevens

PHYSICAL CONDITION OF STRUCTURE:
Excellent Good
Fair Poor

STYLE: Federal/Greek Revival

DATE BUILT: c.1820/c.1860

COUNTY: Chittenden
TOWN: Essex Junction
LOCATION: 1 Pearl Street, corner of
Pearl and Lincoln Streets

COMMON NAME:
Lincoln Hall

FUNCTIONAL TYPE: Tavern
OWNER: Essex Junction Village
ADDRESS: 1 Pearl Street
Essex Junction, VT 05401

ACCESSIBILITY TO PUBLIC:
Yes No Restricted

LEVEL OF SIGNIFICANCE:
Local State National

GENERAL DESCRIPTION:

Structural System

1. Foundation: Stone Brick Concrete Concrete Block
2. Wall Structure
 - a. Wood Frame: Post & Beam Balloon
 - b. Load Bearing Masonry: Brick Stone Concrete Concrete Block
 - c. Iron d. Steel e. Other:
3. Wall Covering: Clapboard Board & Batten Wood Shingle Shiplap Novelty Asbestos Shingle Sheet Metal Aluminum Asphalt Shingle Brick Veneer Stone Veneer Bonding Pattern: Other:
4. Roof Structure
 - a. Truss: Wood Iron Steel Concrete
 - b. Other:
5. Roof Covering: Slate Wood Shingle Asphalt Shingle Sheet Metal Built Up Rolled Tile Other:
6. Engineering Structure:
7. Other:

Appendages: Porches Towers Cupolas Dormers Chimneys Sheds Ells Wings Bay Window Other:

Roof Style: Gable Hip Shed Flat Mansard Gambrel Jerkinhead Saw Tooth With Monitor With Bellcast With Parapet With False Front Other:

Number of Stories: 2

Number of Bays: 5 x 2

Approximate Dimensions: 22 x 18

Entrance Location: Eaves front,
centers

THREAT TO STRUCTURE:
No Threat Zoning Roads
Development Deterioration
Alteration Other:

LOCAL ATTITUDES:
Positive Negative
Mixed Other:

ADDITIONAL ARCHITECTURAL OR STRUCTURAL DESCRIPTION:

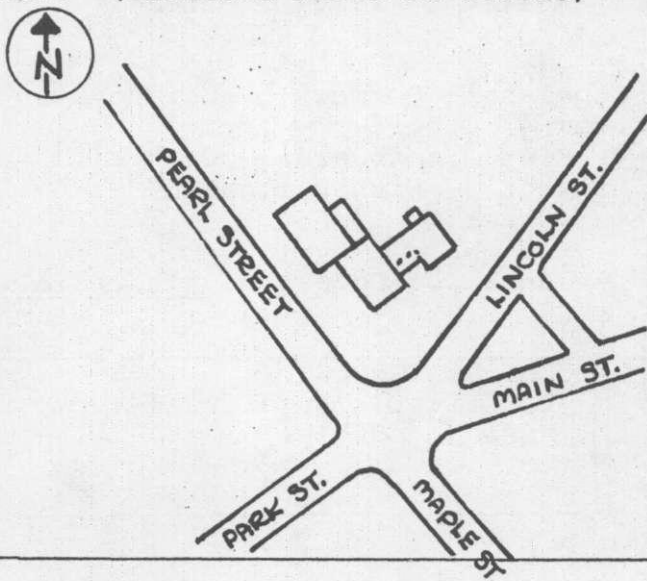
The gable roof, eaves front, brick common bond tavern with projecting box cornice and returns rests upon a stone foundation. 6/6 sash windows on the first story and 12/12 sash windows with brick splayed lintels on the second story fenestrate the facade. A front center paneled door flanked by 3/4 side-lights and pilasters is below a semi-elliptical radiating muntin transom with brick segmental arch. Double, interior, corbel capped, gabled end chimneys flank semi-circular, radiating muntin peak windows. Attached to the north facade (c.1840) is a 2-story, 5 x 2 bay, gable roof, eaves front, clapboard house with projecting box cornice, returns, plain entablature, corner pilasters and sill board on a stone foundation. 6/6 sash windows with plain surrounds and lip molded lintels fenestrate the facade. A projecting denticular cornice and molded entablature are above a paneled door flanked by 3/4 sidelights and pilasters. To the rear is a 2-story, clapboard shed. A modern, two story, 6 x 3 bay, flat roof, brick common bond wing with projecting box cornice and block motif frieze extends from the east facade of the original brick structure. Recessed brick segmental arch entries, 12/12, 6/6 and 2/2 sash windows open the facade. To the rear stands a one story brick utility enclosure.

STATEMENT OF SIGNIFICANCE:

A gambrel roof house, Essex Junction's first, was torn down on this site c.1820 to make room for Abram Steven's brick, 2-story tavern. Located at the busy intersection of turnpikes leading in four directions of the compass, Stevens passed on a thriving business to his son, Albert. After 1858, the clapboard wing was added and the tavern became The Junction House, a hotel catering to a need created by the developing railroad. Passing through multiple owners, the structure was sold in 1911 to the village of Essex Junction and used for a variety of municipal purposes. Then after 1963 the brick, flat roof wing was added for more office space.

REFERENCES: Beer's Atlas, 1869 The History of the Town of Essex - ed.
 Frank R. Bent, 1963 Look Around Essex and Williston, Vermont -
 Chittenden County Historical Society, 1973.

MAP: (Indicate North in Circle)



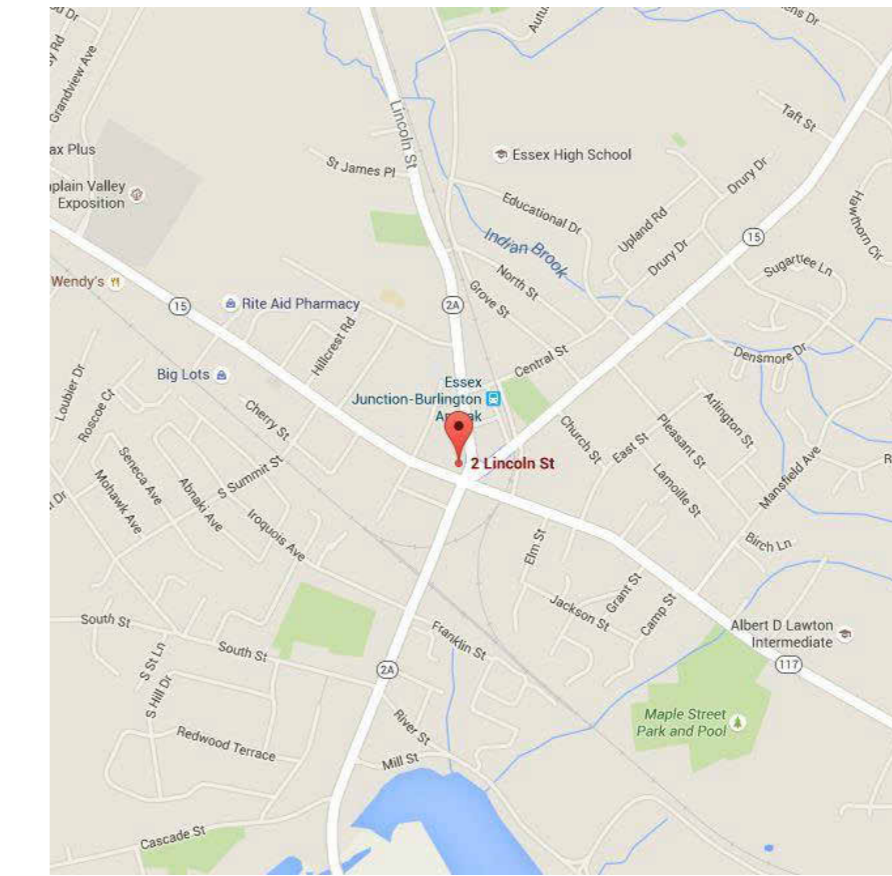
SURROUNDING ENVIRONMENT:
 Open Land Woodland
 Scattered Buildings
 Moderately Built Up
 Densely Built Up
 Residential Commercial
 Agricultural Industrial
 Roadside Strip Development
 Other:

RECORDED BY:
 Karen Czaikowski
 ORGANIZATION:
 Vt. Div. for Historic Preservation
 DATE RECORDED: 4/9/84



0405-78

LINCOLN HALL ESSEX JUNCTION MUNICIPAL OFFICES



LOCATION MAP



PROJECT LOCATION:

**2 Lincoln Street
Essex Junction, VT 05452**

Owner

City of Essex Junction
2 Lincoln Street
Essex Junction, VT 05452
P: (802) 878-6944

Architect

Scott + Partners, Inc., Architects
7 Carmichael Street
Essex Junction, VT 05452
P: (802) 879-5153
E: jba@scottpartners.com

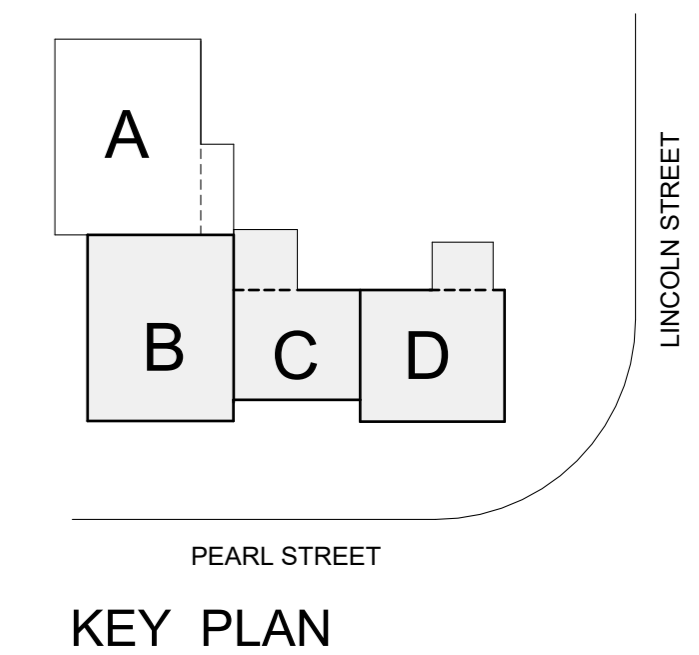


DRAWING LIST:

- C-1 EXISTING CONDITIONS PLAN
- C-2 DEMOLITION PLAN
- C-3 PROPOSED SITE PLAN
- P1 PERMIT
- P2 EXTERIOR ELEVATIONS

ALTERNATE LIST:

- ALTERNATE #1:**
DEDUCT - ROOM 219 TEEN CENTER KITCHENETTE CABINETS, BASE AND WALL, KITCHEN COUNTER. PLUMBING FIT UP REMAINS. ELECTRICAL FIT UP REMAINS; OUTLETS FOR FUTURE EQUIPMENT, OVEN, REFRIGERATOR.
- ALTERNATE #2:**
ADD CARPET TO TEEN ACTIVITY CENTER ROOM 217
- ALTERNATE #3:**
ADD MECHANICAL ZONE FOR AIR CONDITIONING/HEATING TO THE TEEN CENTER AREAS; KITCHENETTE 219, ACTIVITY ROOM 217, ART ROOM 227. THE EXISTING RADIATION WILL REMAIN IN PLACE.
- ALTERNATE #4:**
DEDUCT WOOD VAULT CEILING IN LOBBY 101.
- ALTERNATE #5:**
DEDUCT EXTERIOR WINDOW A IN LOBBY 101.
- ALTERNATE #6:**
DEDUCT VESTIBULE 100 AND ALL RELATED SCOPE.



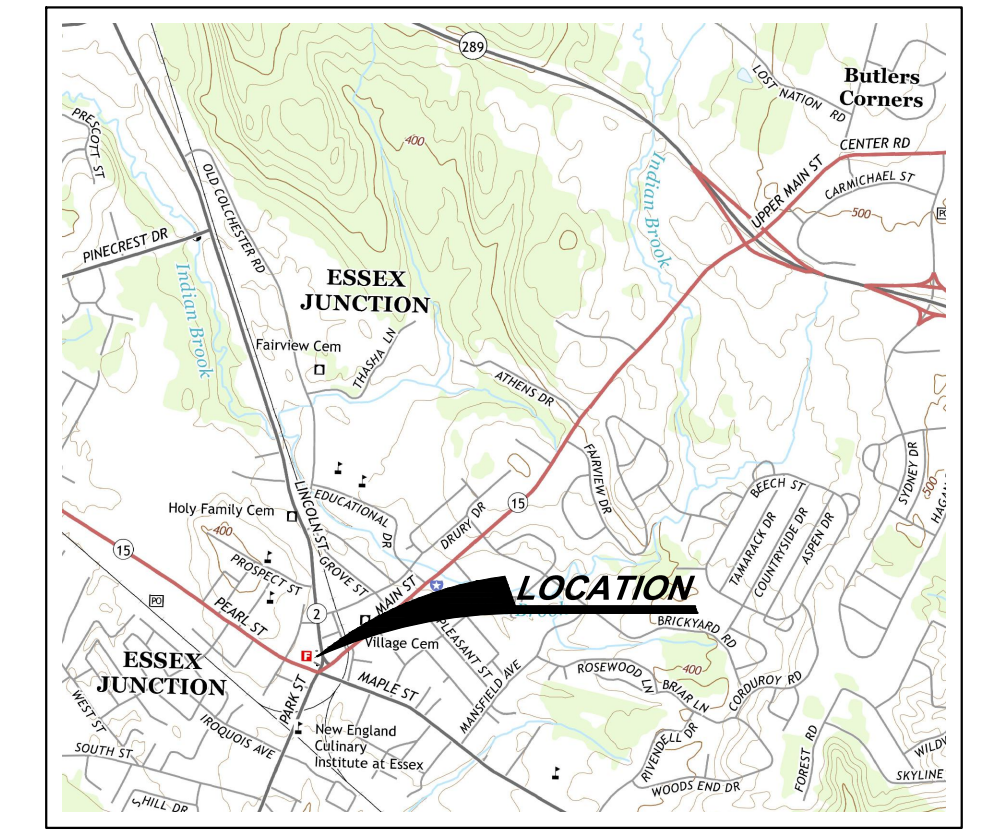
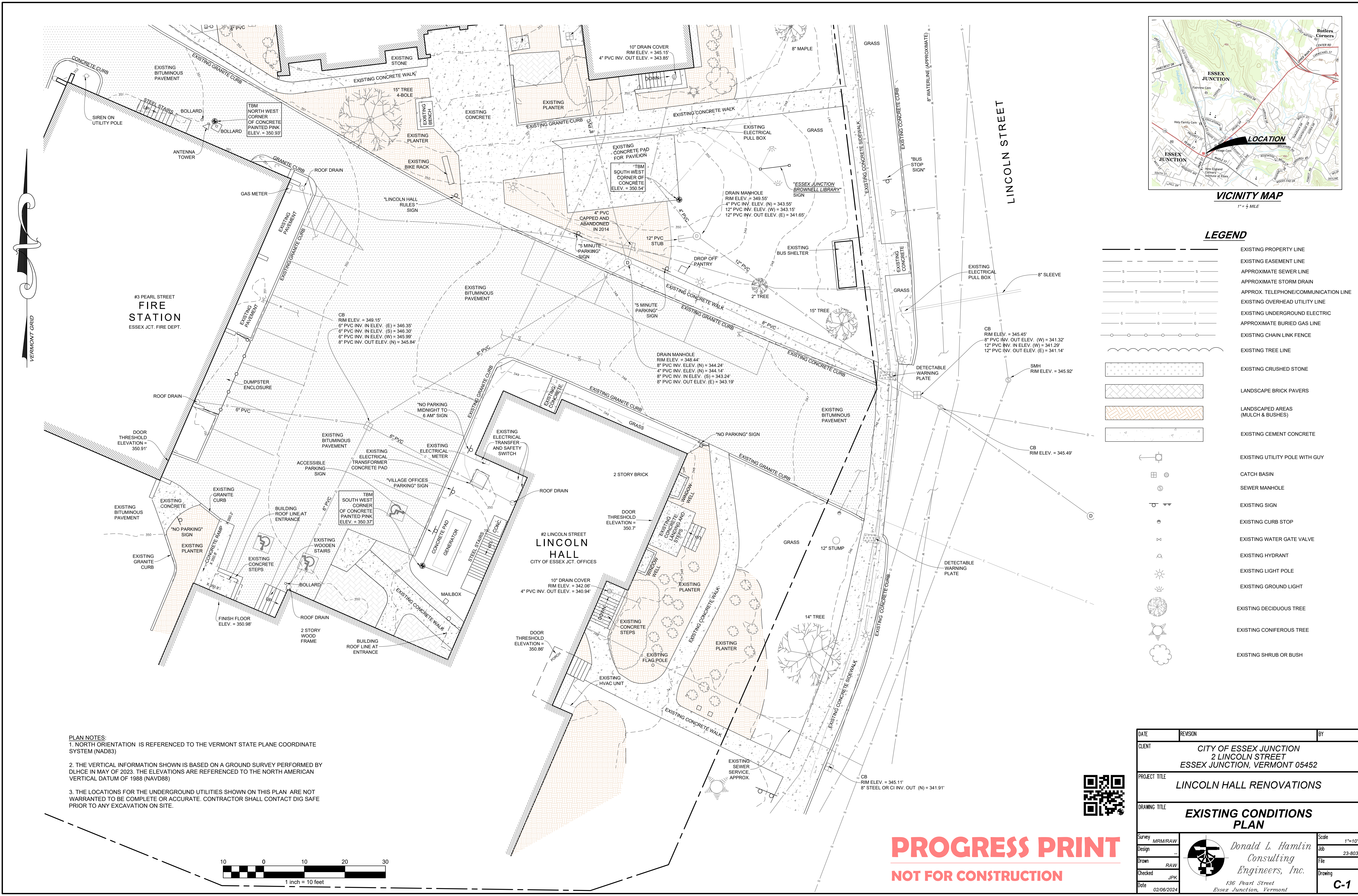
LINCOLN HALL

COVER SHEET
02/09/2024

PERMIT SET 02/09/2024



7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
P: 802.879.5153
F: 802.872.2764
SCOTTPARTNERS.COM

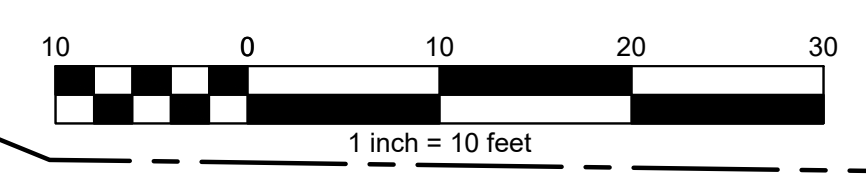


VICINITY MAP
1" = 1/2 MILE

LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - - - APPROXIMATE SEWER LINE
- - - - - APPROXIMATE STORM DRAIN
- - - - - APPROX. TELEPHONE/COMMUNICATION LINE
- - - - - EXISTING OVERHEAD UTILITY LINE
- - - - - EXISTING UNDERGROUND ELECTRIC
- - - - - APPROXIMATE BURIED GAS LINE
- - - - - EXISTING CHAIN LINK FENCE
- - - - - EXISTING TREE LINE
- [Pattern] EXISTING CRUSHED STONE
- [Pattern] LANDSCAPE BRICK PAVERS
- [Pattern] LANDSCAPED AREAS (MULCH & BUSHES)
- [Pattern] EXISTING CEMENT CONCRETE
- [Symbol] EXISTING UTILITY POLE WITH GUY
- [Symbol] CATCH BASIN
- [Symbol] SEWER MANHOLE
- [Symbol] EXISTING SIGN
- [Symbol] EXISTING CURB STOP
- [Symbol] EXISTING WATER GATE VALVE
- [Symbol] EXISTING HYDRANT
- [Symbol] EXISTING LIGHT POLE
- [Symbol] EXISTING GROUND LIGHT
- [Symbol] EXISTING DECIDUOUS TREE
- [Symbol] EXISTING CONIFEROUS TREE
- [Symbol] EXISTING SHRUB OR BUSH

PLAN NOTES:
 1. NORTH ORIENTATION IS REFERENCED TO THE VERMONT STATE PLANE COORDINATE SYSTEM (NAD83)
 2. THE VERTICAL INFORMATION SHOWN IS BASED ON A GROUND SURVEY PERFORMED BY DLHCE IN MAY OF 2023. THE ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
 3. THE LOCATIONS FOR THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE NOT WARRANTED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL CONTACT DIG SAFE PRIOR TO ANY EXCAVATION ON SITE.



PROGRESS PRINT
NOT FOR CONSTRUCTION

DATE	REVISION	BY
CLIENT	CITY OF ESSEX JUNCTION 2 LINCOLN STREET ESSEX JUNCTION, VERMONT 05452	
PROJECT TITLE	LINCOLN HALL RENOVATIONS	
DRAWING TITLE	EXISTING CONDITIONS PLAN	
Survey MRM/RAW	Donald L. Hamlin Consulting Engineers, Inc. 136 Pearl Street Essex Junction, Vermont	Scale 1"=10'
Design		Job 23-803
Drawn RAW		File
Checked JPK		Drawing
Date 02/08/2024		



THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-344-7233 PRIOR TO ANY EXCAVATION AT LOCATIONS WHICH MAY BE IN THE IMMEDIATE VICINITY OF UNDERGROUND UTILITIES.

WARNING: FATALLY TOXIC GASES MAY BE PRESENT IN UNDERGROUND PIPING SYSTEMS AND WASTE SYSTEM STRUCTURES.

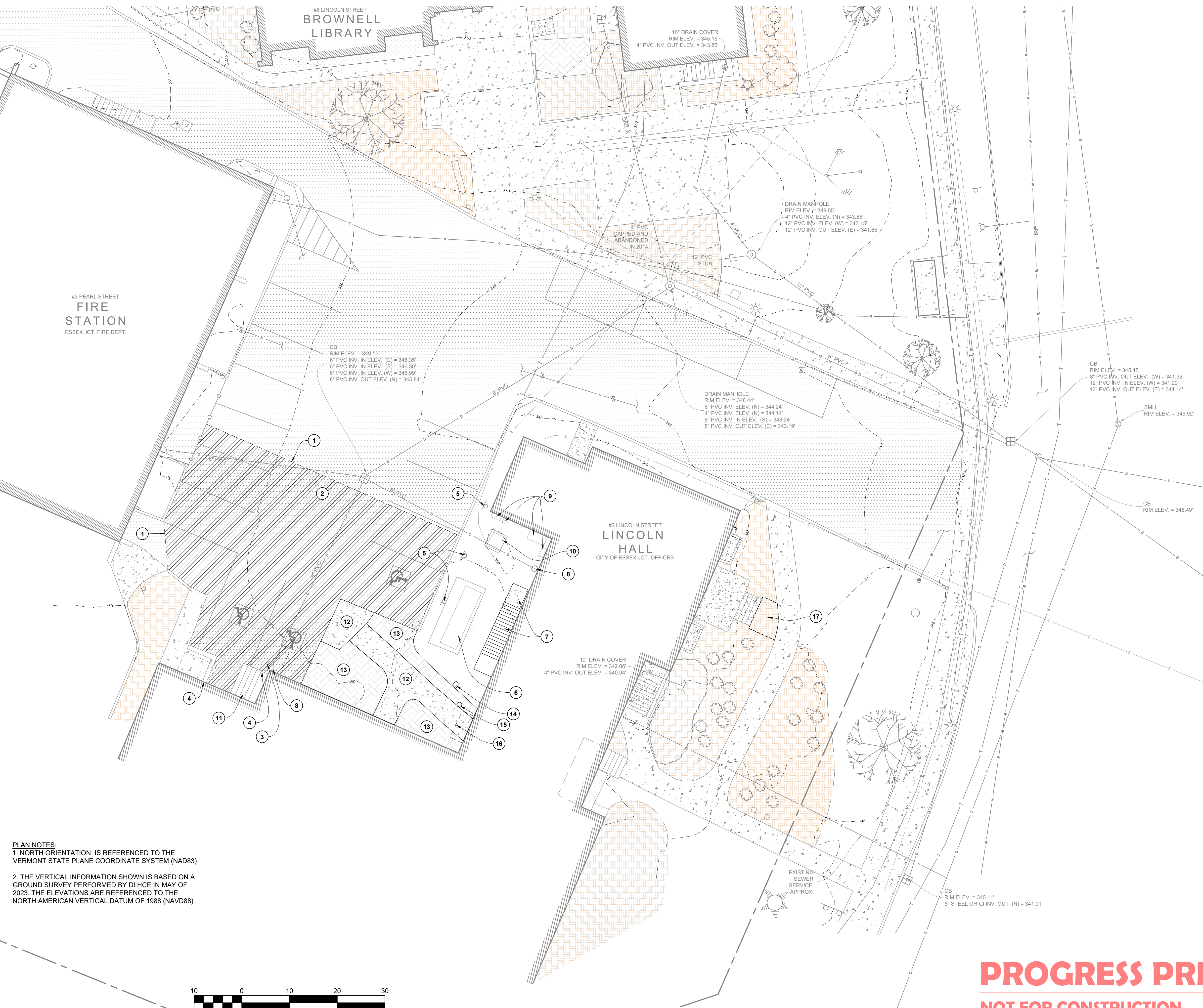
- GENERAL NOTES:**
- EXISTING FEATURES, APPROXIMATE PROPERTY LINE LOCATIONS, AND EASEMENT LOCATIONS DEPICTED ON THIS PLAN ARE BASED ON THE FOLLOWING:
 - FIELD SURVEY PERFORMED BY DONALD L. HAMLIN CONSULTING ENGINEERS, INC. DURING MAY, 2023
 - TAX MAP INFORMATION PROVIDED BY THE STATE OF VERMONT OPEN GEODATA PORTAL.
 - DIGITAL IMAGERY PROVIDED BY THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION.
 - CONTOURS SHOWN ON THIS PLAN ARE BASED ON THE FOLLOWING:
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 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONSTRUCTION IN ACCORDANCE WITH THE "LOW RISK SITE HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL", LATEST EDITION, AS PUBLISHED BY THE VERMONT DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

ALL AREAS OF DISTURBANCE SHALL BE STABILIZED WITHIN 7 CALENDAR DAYS OF INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE IN THE AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY, UNLESS WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS; OR THE WORK IS BEING PERFORMED IN A SELF-CONTAINED EXCAVATION WITH A DEPTH OF 2 FEET OR GREATER (i.e. HOUSE FOUNDATION, UTILITY TRENCHES).

ALL AREAS OF DISTURBANCE SHALL HAVE PERMANENT STABILIZATION WITHIN 48 HOURS OF REACHING FINAL GRADE.

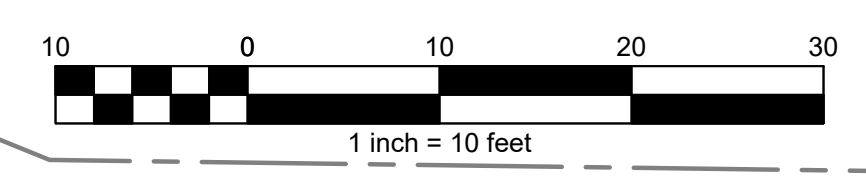
DEMOLITION NOTES

- SAW CUT EXISTING PAVEMENT.
- EXISTING PAVEMENT TO BE REMOVED.
- EXISTING BOLLARD TO REMAIN
- EXISTING SIGN TO BE REMOVED.
- EXISTING SIGN TO REMAIN.
- EXISTING EMERGENCY GENERATOR TO REMAIN.
- EXISTING EXTERIOR STAIRS AND CONCRETE PAD TO BE REMOVED.
- EXISTING ROOF DRAIN TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT ON BUILDING EXTERIOR TO BE RELOCATED, SEE ELECTRICAL PLANS.
- EXISTING TRANSFORMER TO REMAIN.
- EXISTING STAIRS TO REMAIN.
- EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- EXISTING STAMPED CONCRETE TO BE REMOVED.
- EXISTING MAILBOX TO BE REMOVED AND RESET. COORDINATE WITH OWNER ON FINAL LOCATION.
- EXISTING DOOR ACTUATOR TO BE REMOVED.
- EXISTING ROOF OVER DOORWAY TO BE REMOVED, SEE ARCHITECTURAL PLANS.
- REMOVE EXISTING MULCH AND EXCAVATE SOIL AS NEEDED FOR NEW SIDEWALK, SEE SITE PLAN.



PLAN NOTES:

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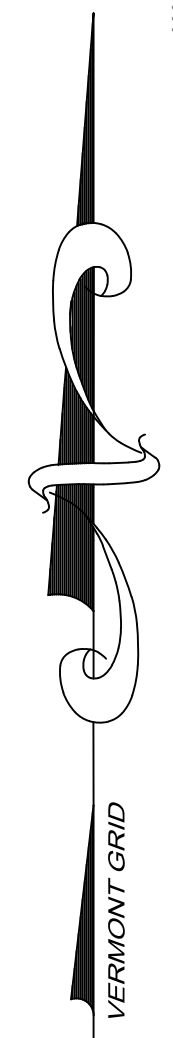


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Drawn	RAW/JPK	File
Checked		Drawing
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Donald L. Hamlin
Consulting Engineers, Inc.
136 Pearl Street
Essex Junction, Vermont



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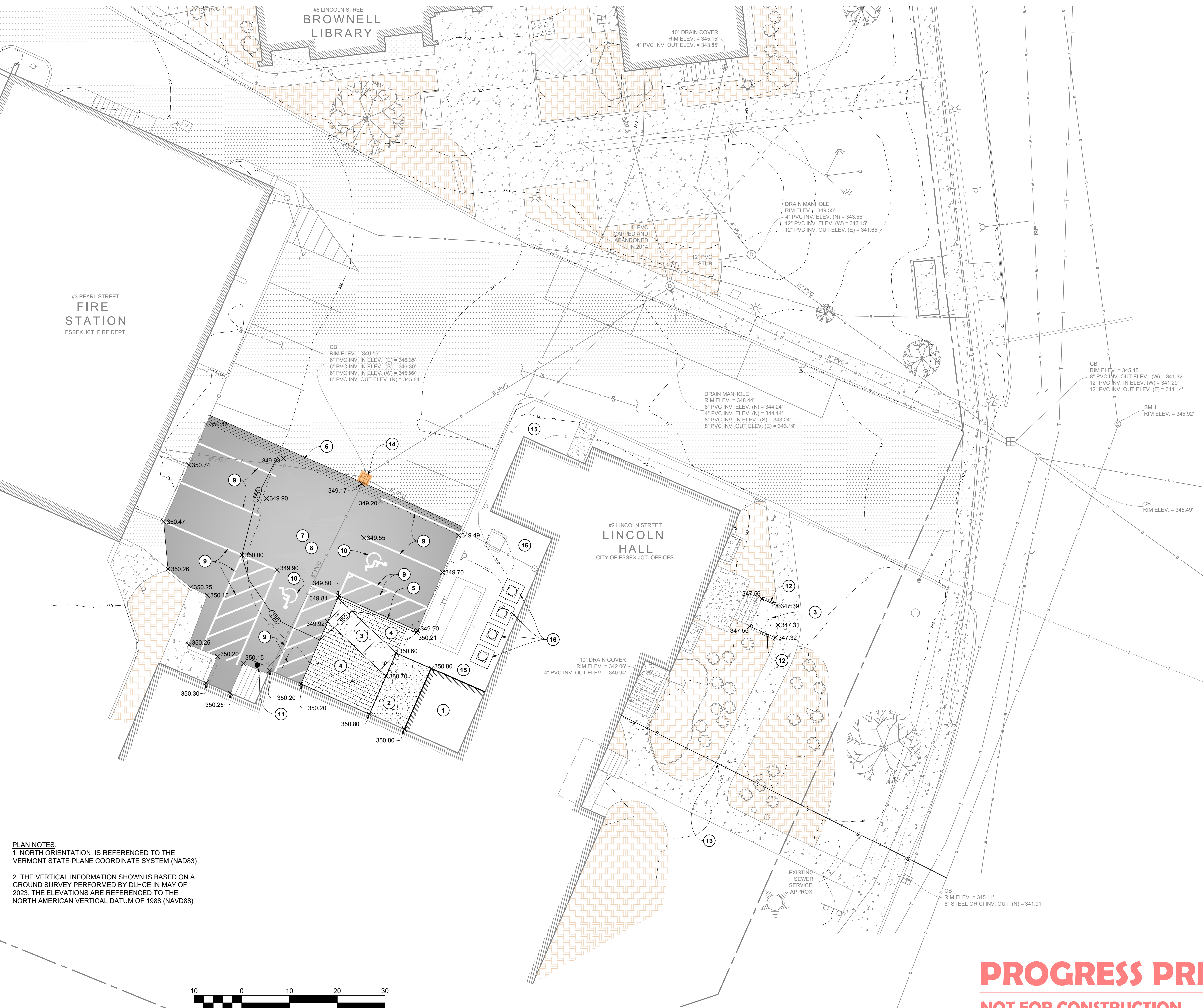
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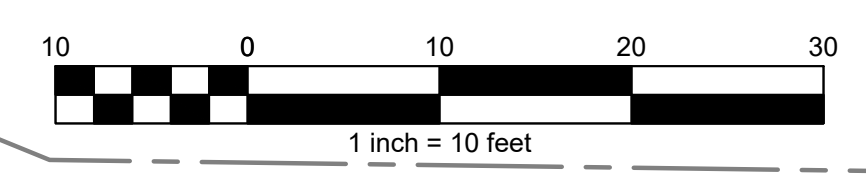
CONSTRUCTION NOTES

- NEW BUILDING ADDITION, SEE STRUCTURAL PLANS.
- NEW EXTERIOR SLAB, SEE STRUCTURAL PLANS.
- NEW CEMENT CONCRETE SIDEWALK.
- NEW STAMPED CEMENT CONCRETE.
- NEW VERTICAL GRANITE CURB.
- GRIND EXISTING PAVEMENT, 1-1/2" DEPTH, 24" WIDE.
- REGRADE EXISTING SUBBASE AS NEEDED TO ACHIEVE FINAL GRADES. IMPORT/EXPORT NEW GRAVEL AS NEEDED.
- INSTALL NEW 2" TYPE II BITUMINOUS CONCRETE PAVEMENT BASE COURSE AND NEW 1-1/2" TYPE IV BITUMINOUS CONCRETE PAVEMENT WEARING COURSE.
- NEW 4" PAINTED WHITE LINE MARKING.
- NEW PAINTED WHITE SYMBOL MARKING.
- NEW VAN ACCESSIBLE PARKING SIGN.
- NEW MULCH TO MATCH EXISTING.
- EXISTING SEWER SERVICE TO BE SLIPLINED FROM BUILDING TO SERVICE CONNECTION AT SEWER MAIN. NO EXCAVATION ALLOWED IN ROADWAY.
- INSTALL AND MAINTAIN TEMPORARY INLET PROTECTION DURING CONSTRUCTION.
- INSTALL NEW TOPSOIL (4" DEPTH MINIMUM), SEED, AND MULCH.
- NEW HVAC SYSTEM CONDENSERS, SEE MEP PLANS.



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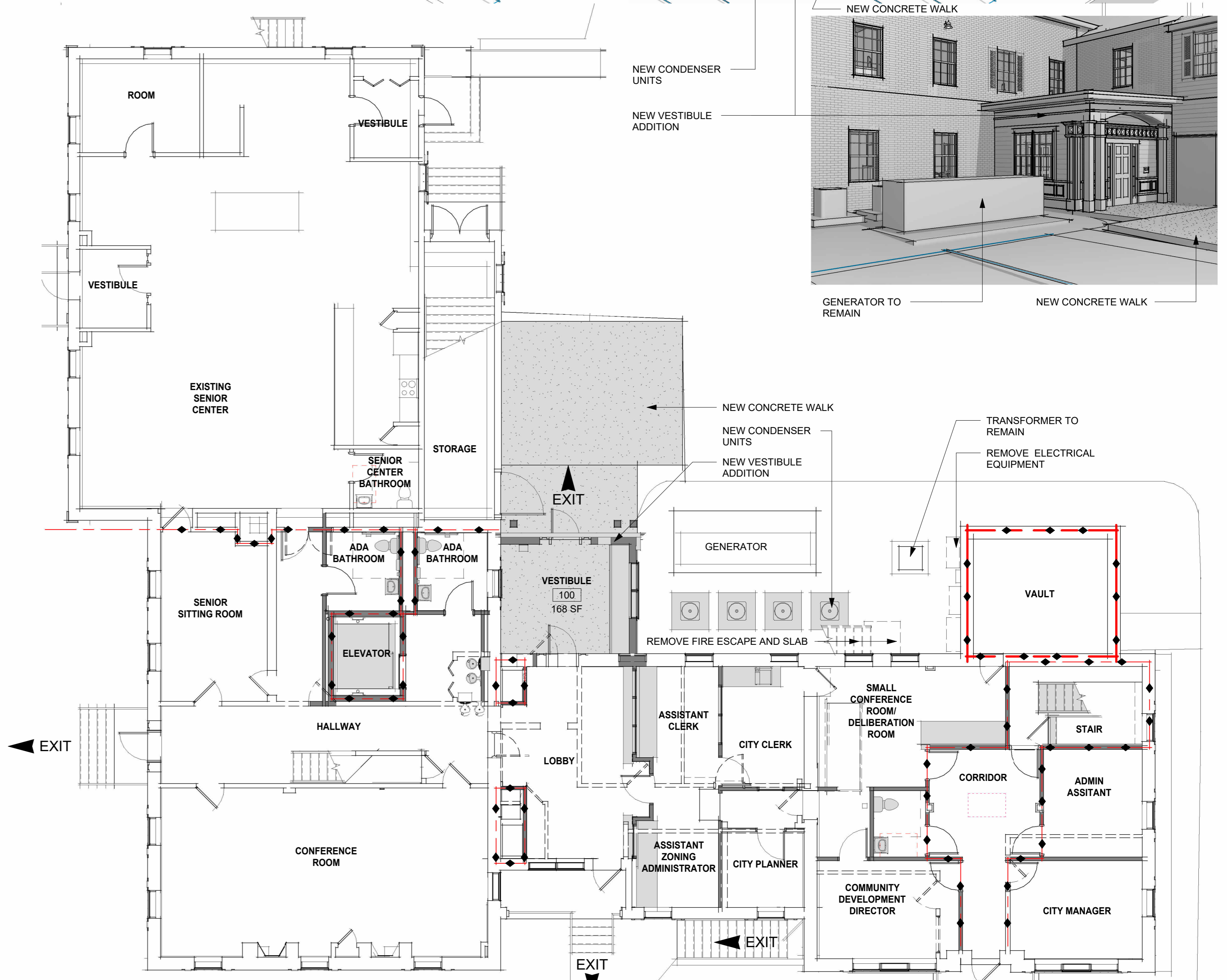
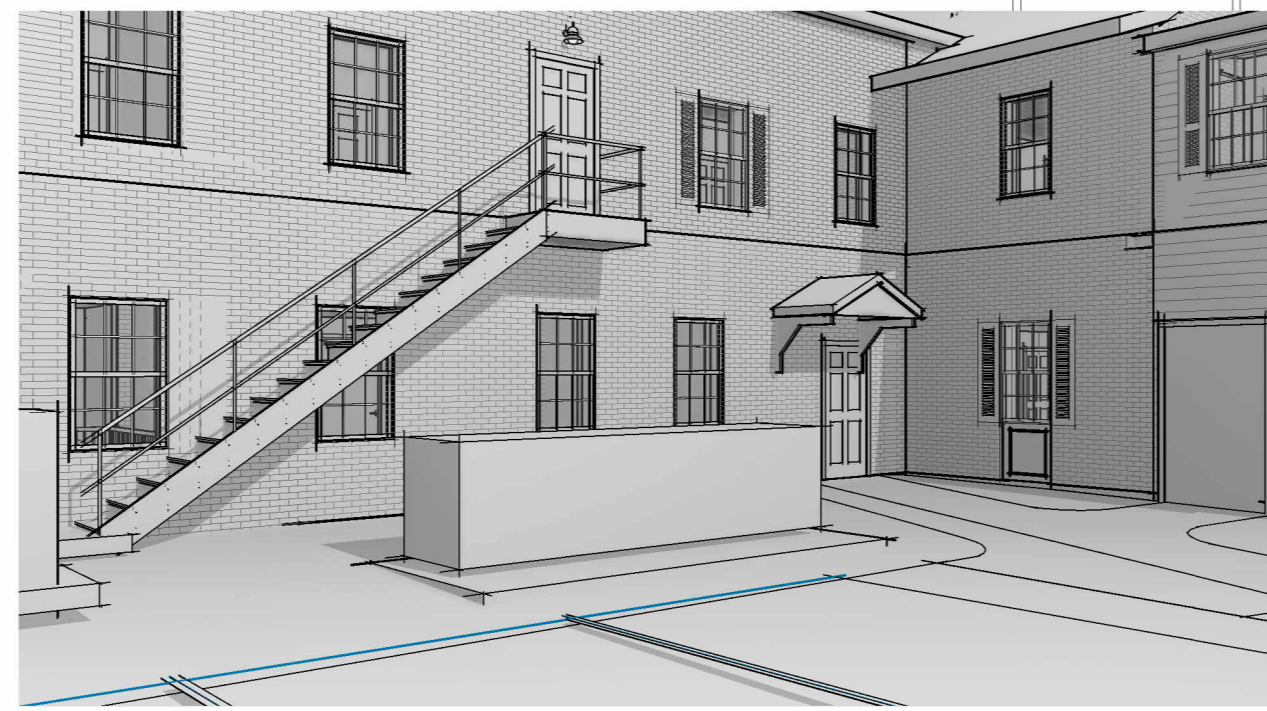
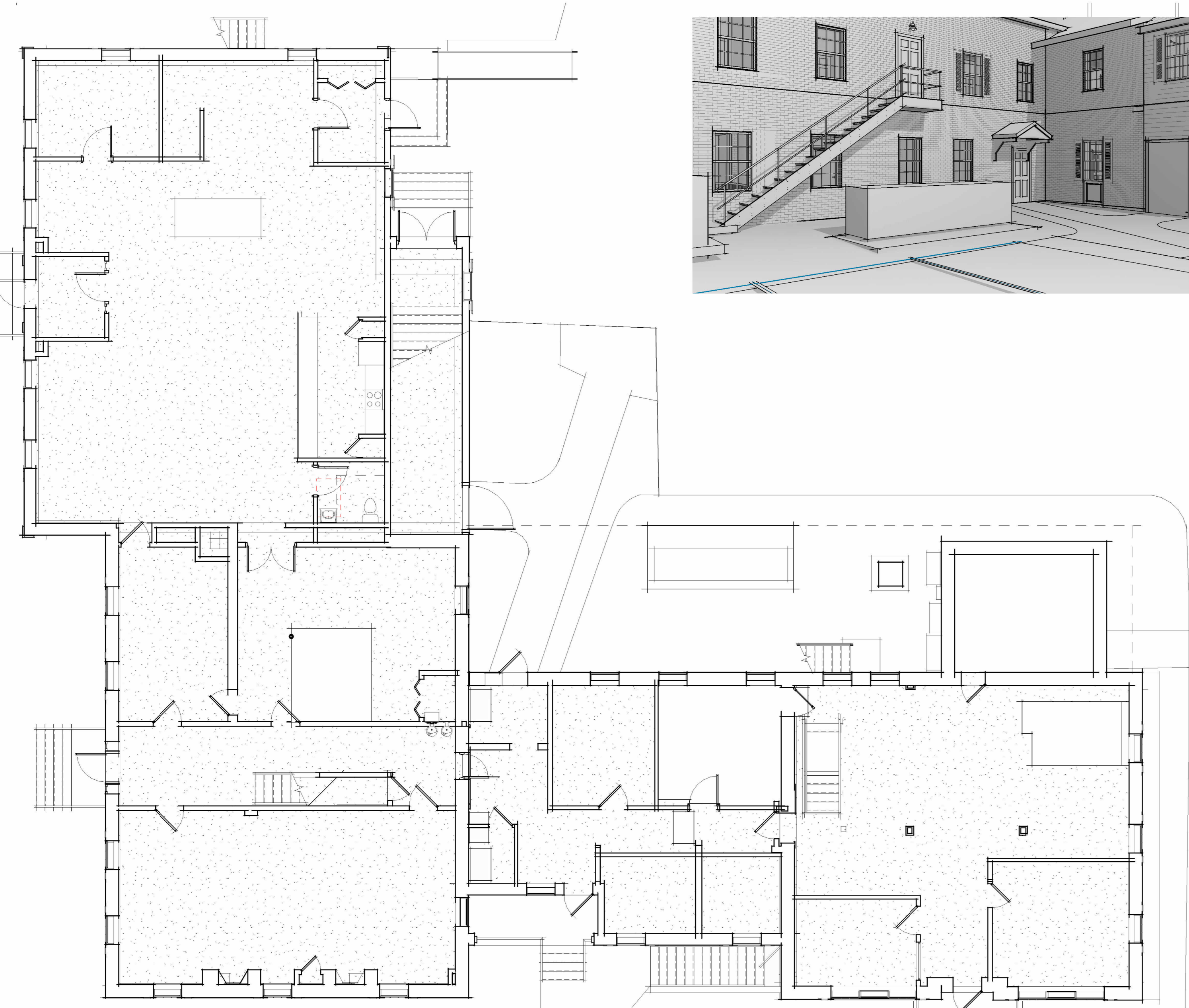
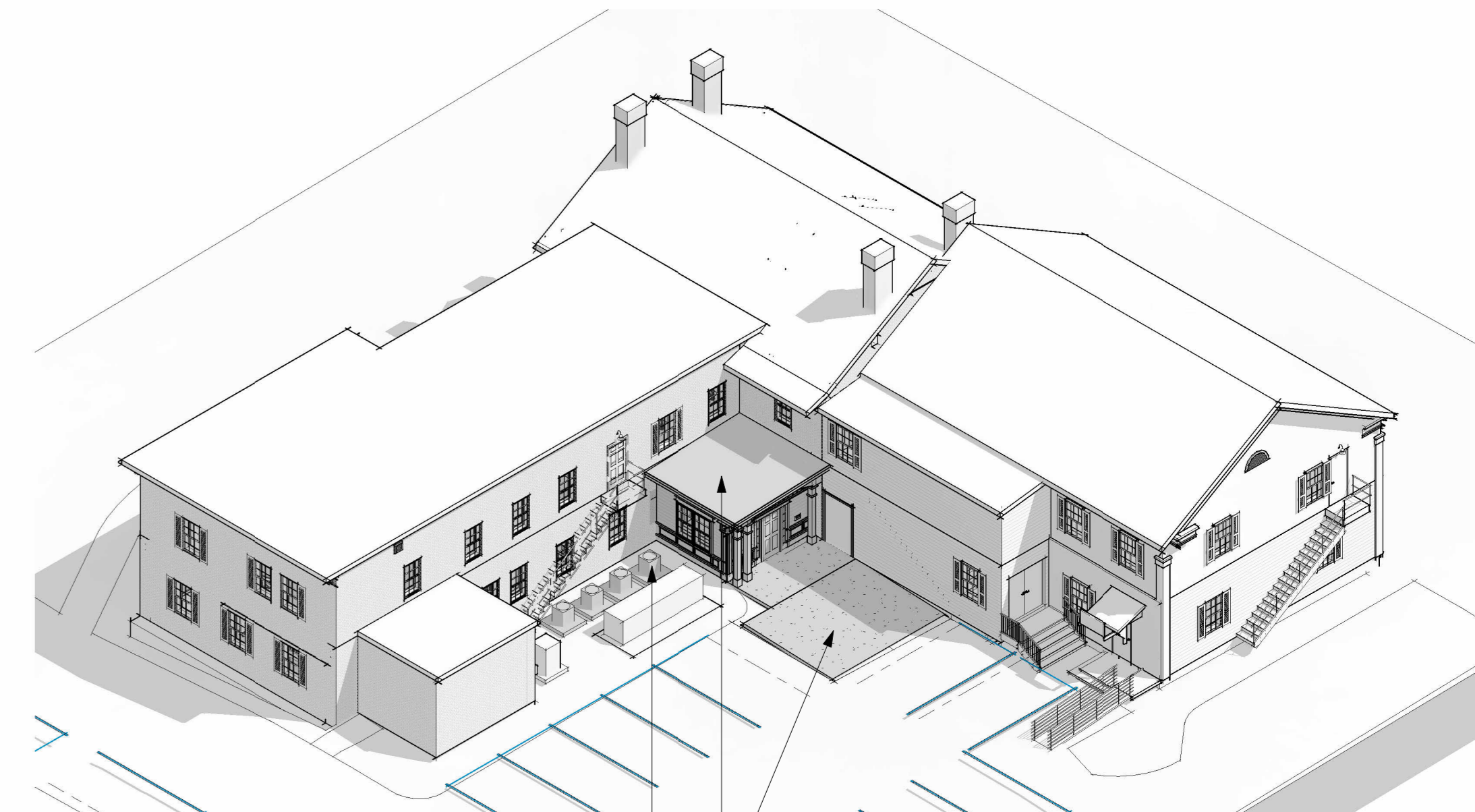
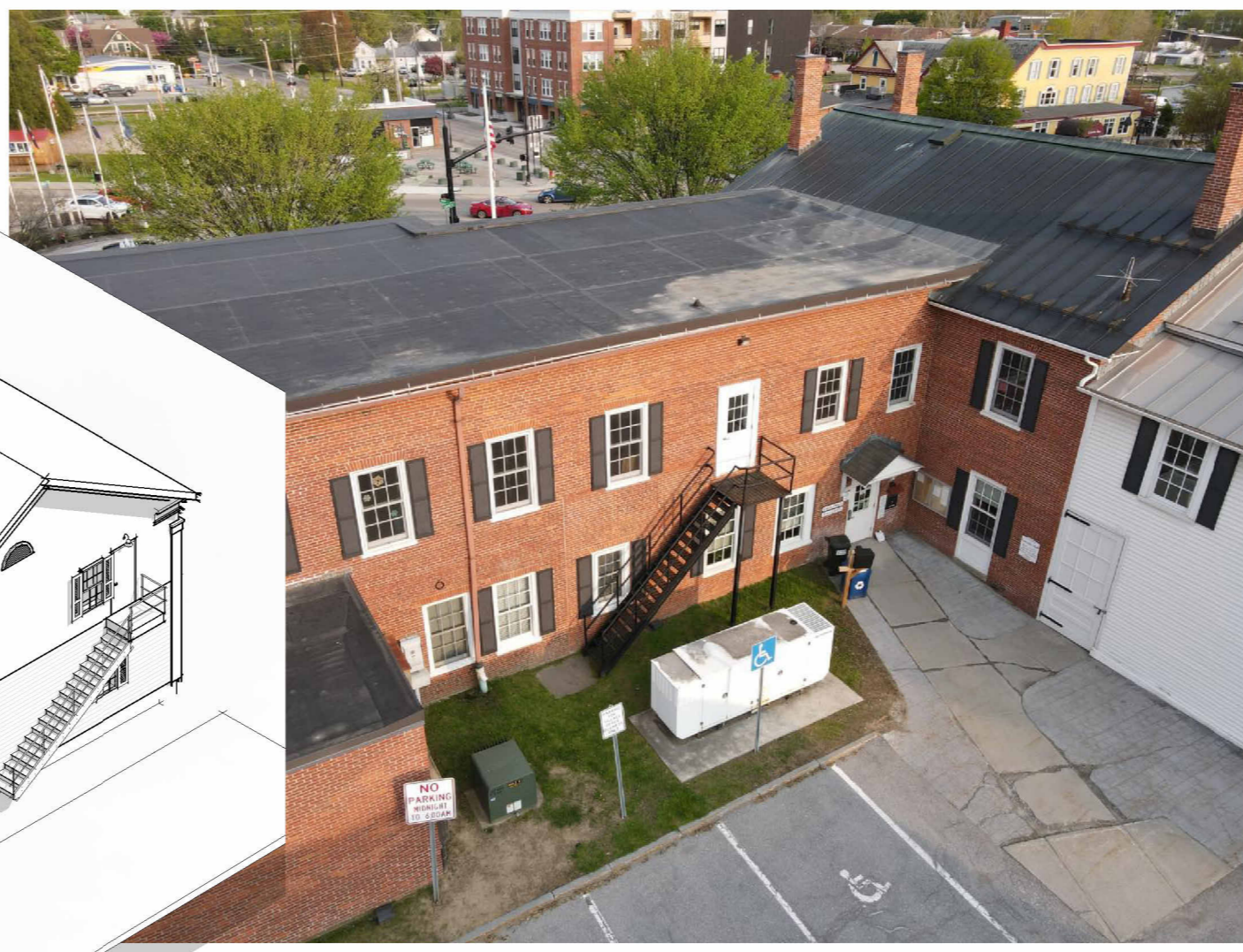
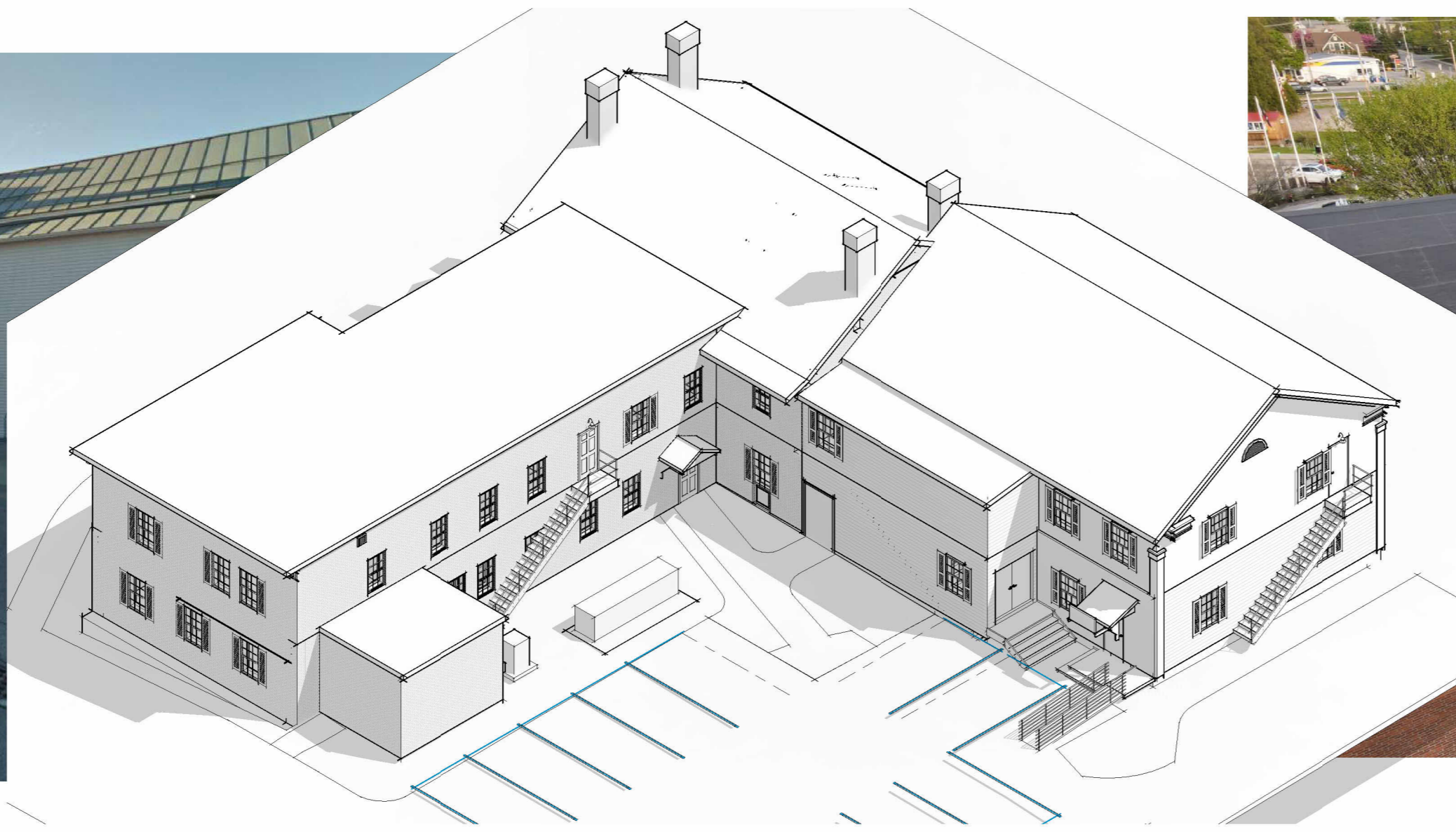


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NOT FOR CONSTRUCTION



DATE	REVISION	BY
CLIENT	CITY OF ESSEX JUNCTION 2 LINCOLN STREET ESSEX JUNCTION, VERMONT 05452	
PROJECT TITLE	LINCOLN HALL RENOVATIONS	
DRAWING TITLE	PROPOSED SITE PLAN	
Survey	MRM/RAW	Scale 1"=10'
Design	JPK	Job 23-803
Drawn	RAW/JPK	File
Checked		Drawing
Date	02/08/2024	C-3

Donald L. Hamlin
Consulting
Engineers, Inc.
136 Pearl Street
Essex Junction, Vermont



EXISTING
1/8" = 1'-0"

LINCOLN HALL

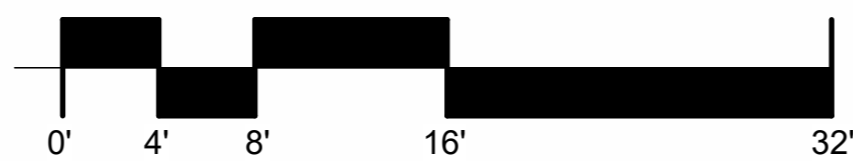
PROPOSED ENTRY
1/8" = 1'-0"

NEW VESTIBULE

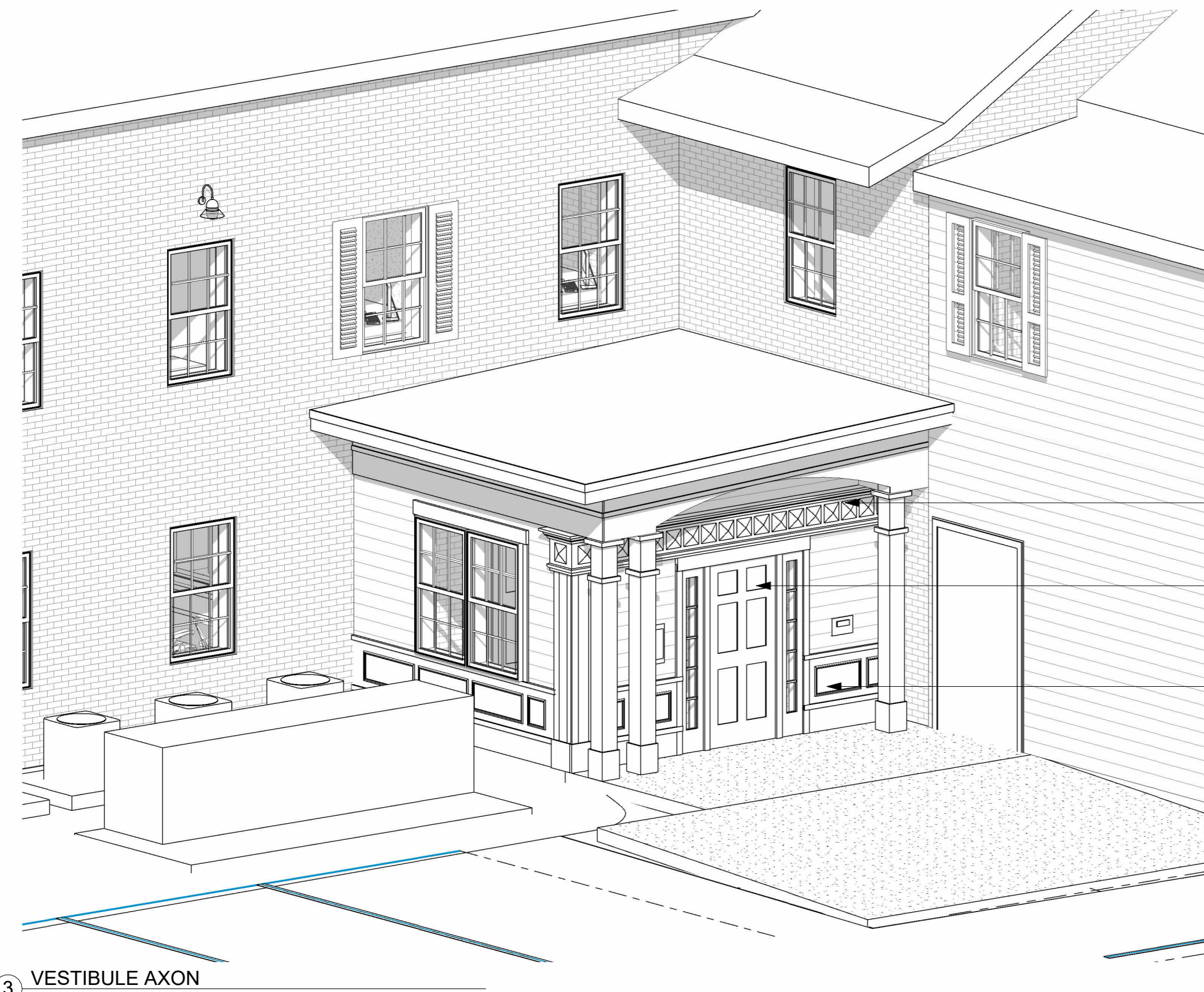
- NEW ELEVATOR
- NEW ENTRY VESTIBULE AND SITTING AREA

DRAWING PHASE KEY	
	NEW CONSTRUCTION
	DEMOLITION
	EXISTING

PERMIT
02/09/2024



7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
P: 802.879.5153
F: 802.872.2764
SCOTTPARTNERS.COM



3 VESTIBULE AXON

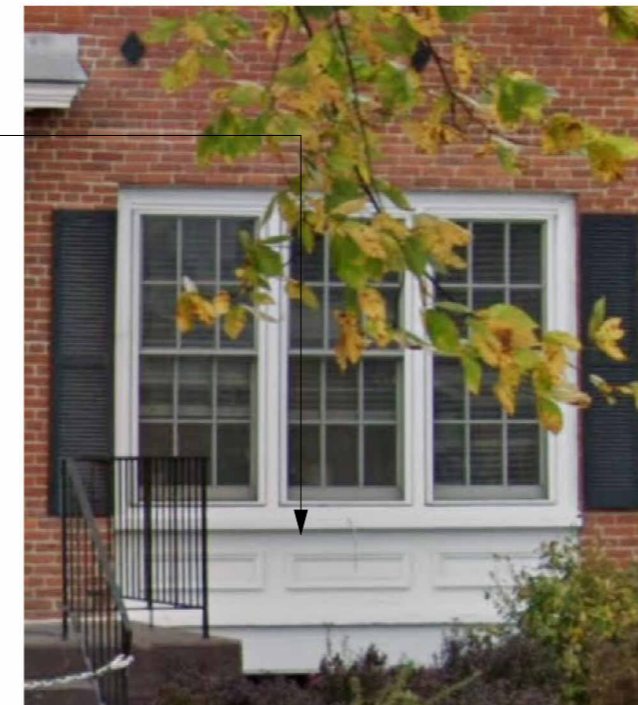


LINCOLN STREET ENTRY
WOOD MOTIFY

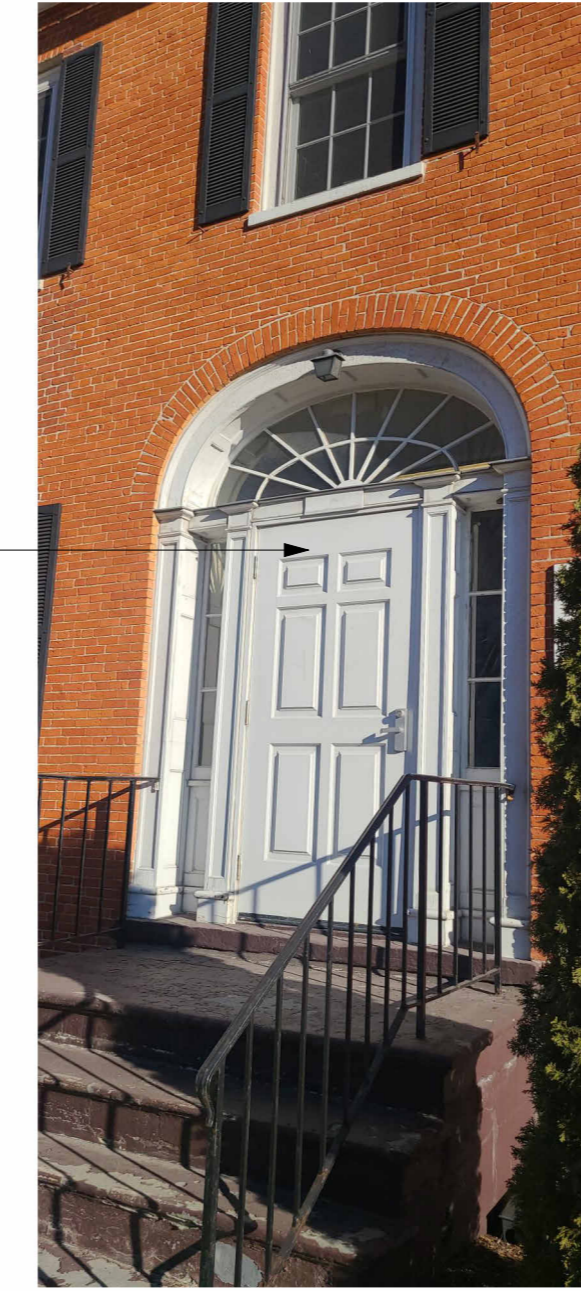
WOOD TRIM DETAIL MOTIFY
MATCH EXISTING, ON
LINCOLN STREET
ENTABLATURE

ENTRY DOOR WITH SIDE LIGHTS,
SIMILAR TO PEARL STREET FRONT
DOOR.

WOOD PANEL TRIM
TO MATCH EXISTING
ON LINCOLN STREET
BELOW WINDOWS

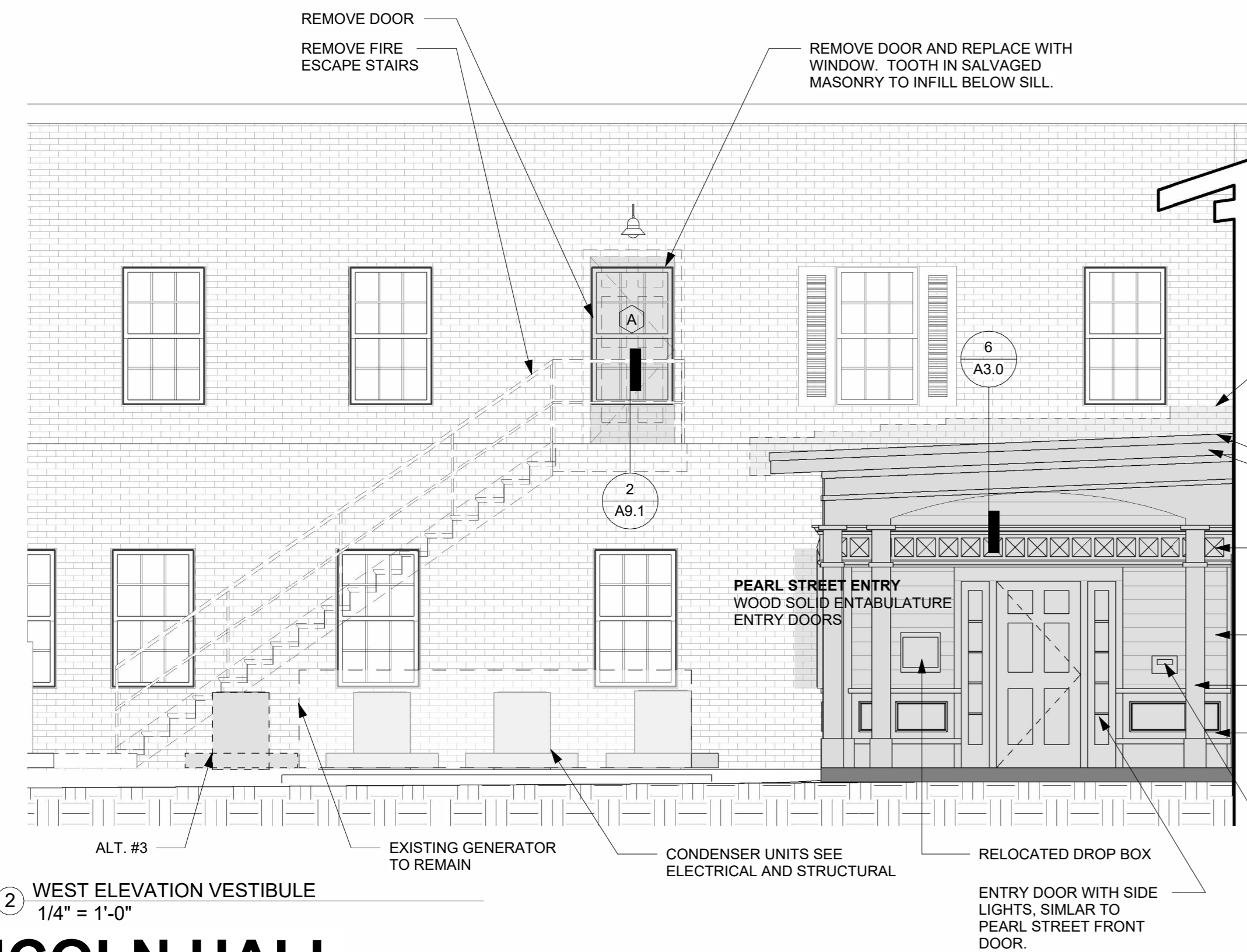


LINCOLN STREET WINDOW WOOD PANEL
WOOD PANEL DETAIL



PEARL STREET ENTRY
DOOR AND SIDELIGHTS

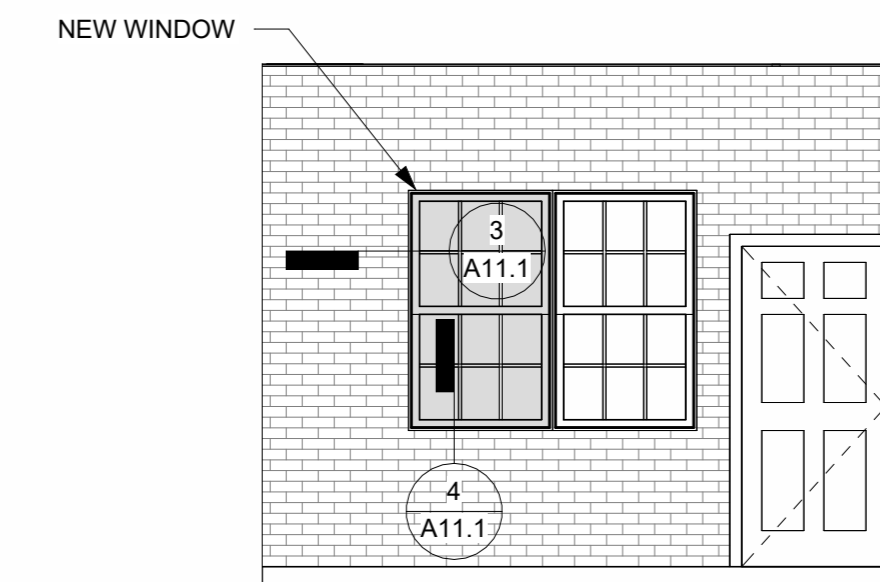
DRAWING PHASE KEY	
	NEW CONSTRUCTION
	DEMOLITION
	EXISTING



2 WEST ELEVATION VESTIBULE
1/4" = 1'-0"



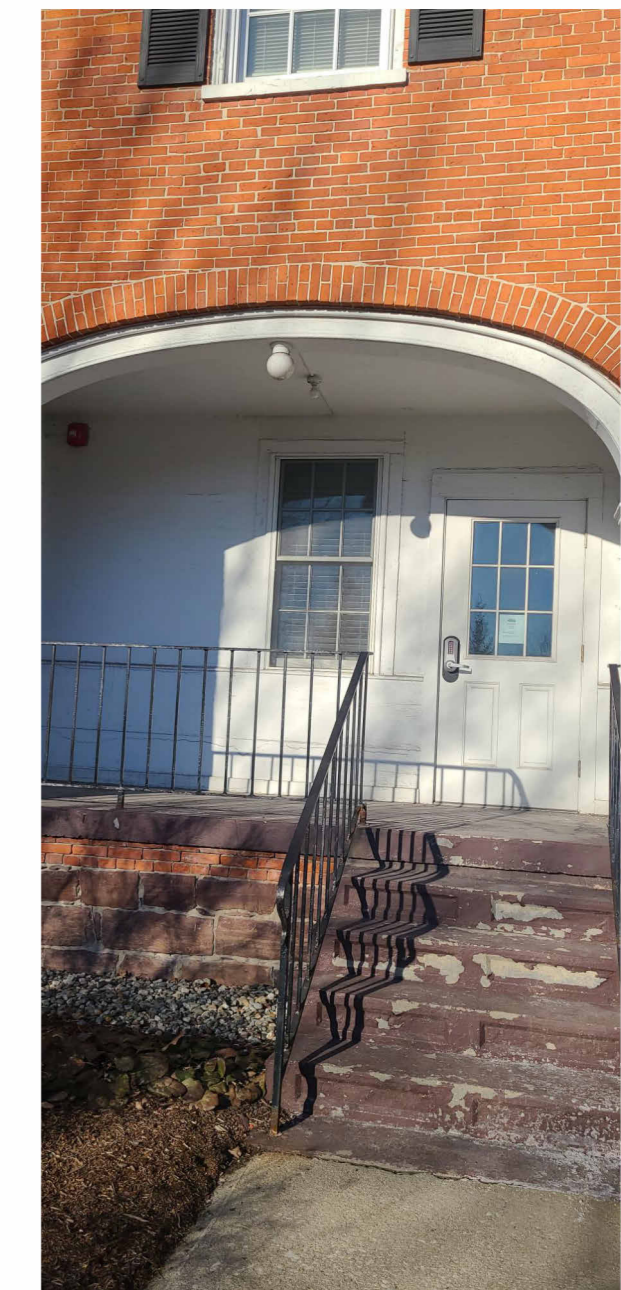
1 NORTH ELEVATION VESTIBULE
1/4" = 1'-0"



5 EAST ENTRY PORCH ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION VESTIBULE
1/4" = 1'-0"



LINCOLN STREET ENTRY
ARCH ENTRY

LINCOLN HALL

EXTERIOR ELEVATIONS

02/09/2024