

AMBER LANTERN REDEVELOPMENT

VILLAGE OF ESSEX JUNCTION, VERMONT



9/13/2022 9:57:54 AM

ARCHITECTURAL SYMBOLS

	DWG. NO.		ROOM NUMBER
	TITLE LINE		ELEVATION TAG
	ELEVATION		SPOT ELEVATION
	SECTION MARKER		PARTITION TYPE
	DETAIL MARKER		ROOF SLOPE INDICATION
	DOOR NUMBER		REVISION
	WINDOW TYPE		NORTH ARROW
	REFERENCE GRID		CHANGE IN ELEVATION
	CENTER LINE		

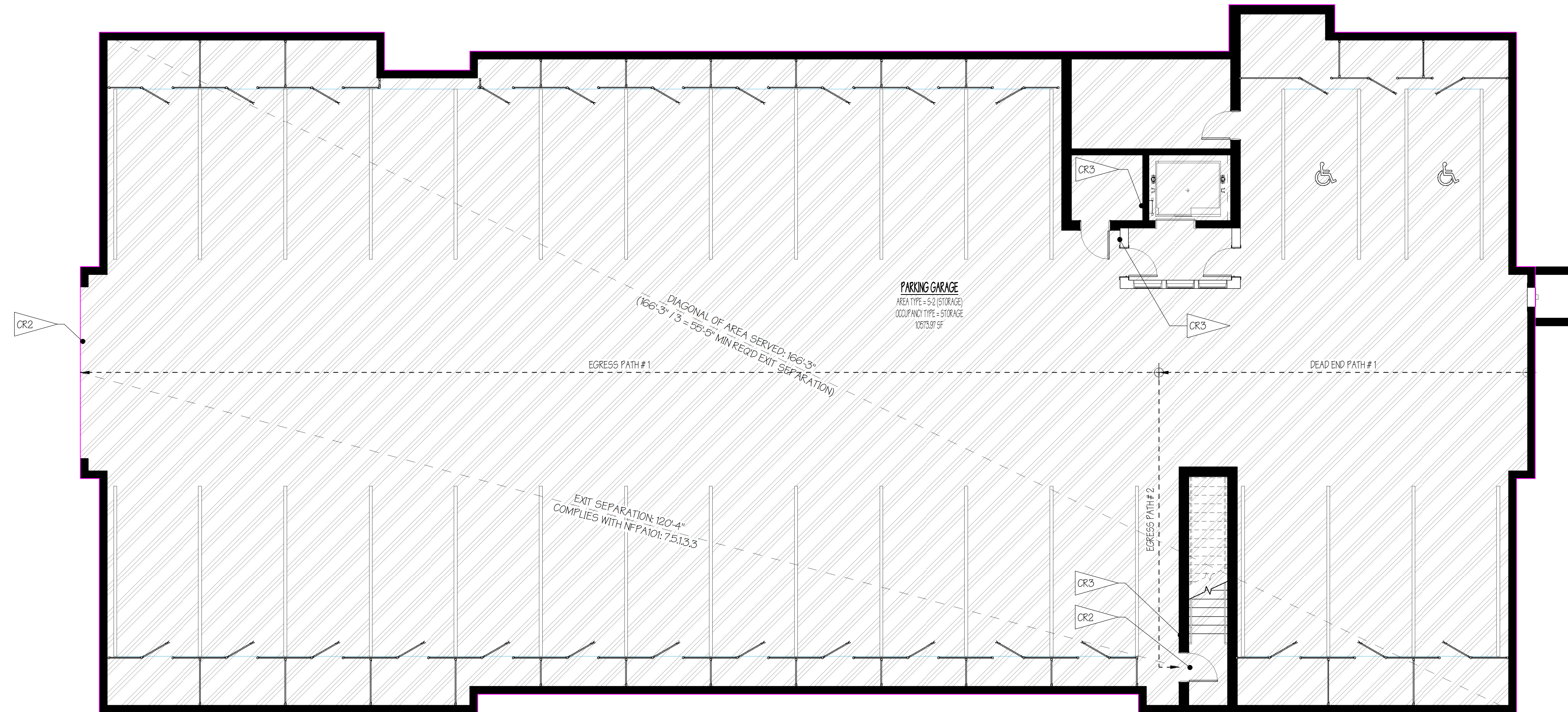
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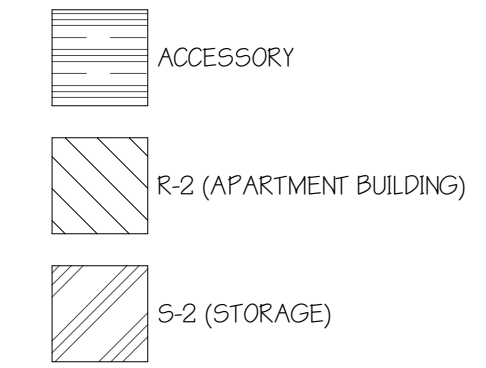
REVISIONS

No.	Description	Date

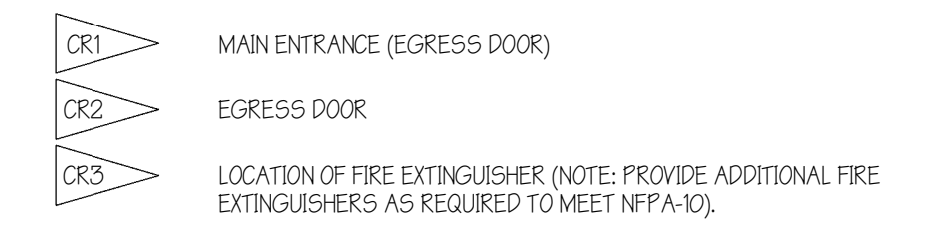


1 GARAGE FLOOR PLAN - CODE REVIEW
1/8" = 1'-0"

OCCUPANCY TYPE LEGEND



CODE REVIEW LEGEND



FIRE RATED WALL LEGEND



TRAVEL DISTANCE SCHEDULE

TRAVEL PATH #	TRAVEL DISTANCE
DEAD END PATH # 1	39'-0"
EGRESS PATH # 1	141'-0"
EGRESS PATH # 2	33'-4"
EGRESS PATH # 3	43'-0"
EGRESS PATH # 4	73'-5"
EGRESS PATH # 5	74'-7"
EGRESS PATH # 6	43'-0"
EGRESS PATH # 7	42'-9"
EGRESS PATH # 8	43'-0"
EGRESS PATH # 9	42'-9"
EGRESS PATH # 10	43'-0"
EGRESS PATH # 11	42'-9"

FIRE PROTECTION NOTES

- ADEQUATE FIRE EXTINGUISHERS MUST BE INSTALLED IN A VISIBLE LOCATION. PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED, INSTALLED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH NFPA 1. FIRE EXTINGUISHERS SHALL BE PROVIDED IN ALL MECHANICAL SPACES AND ALL STORAGE ROOMS.
- PHOTOELECTRIC ONLY SMOKE ALARMS ARE REQUIRED TO BE INSTALLED IN SLEEPING ROOMS, AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS. ALARMS MUST BE HARDWIRED INTO THE ELECTRICAL SYSTEM, AND MUST ALSO HAVE A BATTERY BACKUP. MOUNT ON A FLAT CEILING NO CLOSER THAN 4" FROM AN ADJOINING WALL, OR ON A WALL NO CLOSER THAN 4" AND NO FURTHER THAN 12" FROM AN ADJOINING CEILING. DO NOT INSTALL WITHIN 36" OF A SUSPENDED CEILING FAN, A SUPPLY REGISTER OR THE DOOR TO THE BATHROOM OR KITCHEN. PROVIDE ADDRESSABLE SMOKE ALARMS IN ALL AREAS.
- COMBINATION PHOTOELECTRIC SMOKE AND CARBON MONOXIDE (CO) ALARMS ARE ACCEPTABLE FOR NEW INSTALLATIONS OR REPLACEMENTS. COMBINATION SMOKE ALARMS THAT INCLUDE IONIZATION AND PHOTOELECTRIC SENSORS IN THE SAME ALARM ARE NOT PERMITTED TO BE USED FOR NEW INSTALLATIONS OR REPLACEMENTS.

FIRE PROTECTION FEATURES

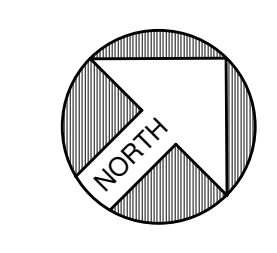
THIS BUILDING SHALL BE EQUIPPED THROUGHOUT WITH A SUPERVISED AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED PER THE REQUIREMENTS OF IBC SECTION 903 AND NFPA 13 AND NFPA 13R. PLANS AND SPECIFICATIONS OF THE SPRINKLER SYSTEM SHALL BE SUBMITTED FOR LOCAL JURISDICTIONAL REVIEW AND MUST BE APPROVED PRIOR TO CONSTRUCTION. THIS SYSTEM SHALL BE FULLY AUTOMATIC AND SUPERVISED. THE DESIGNER OF THE FIRE SPRINKLER SYSTEM SHALL VERIFY WITH THE ARCHITECT THAT THE DESIGN MEETS THE "EXCEPTION" REQUIREMENTS FOR THE "AREA OF EMERGENCY EVACUATION," IF APPLICABLE.

ACCESSIBILITY NOTES

PUBLIC AND COMMON AREAS OF THIS FACILITY ARE DESIGNED TO COMPLY WITH ALL THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT (2010 EDITION), AS WELL AS ALL LOCAL AND STATE ACCESSIBILITY REGULATIONS.
DWELLING UNITS IN THIS FACILITY ARE DESIGNED TO COMPLY WITH ALL THE REQUIREMENTS OF THE FAIR HOUSING ACT, AS WELL AS ALL LOCAL AND STATE ACCESSIBILITY REGULATIONS.

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISIONS		
No.	Description	Date



CODE REVIEW PLANS
SCALE: 1/8" = 1'-0"

**AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES**

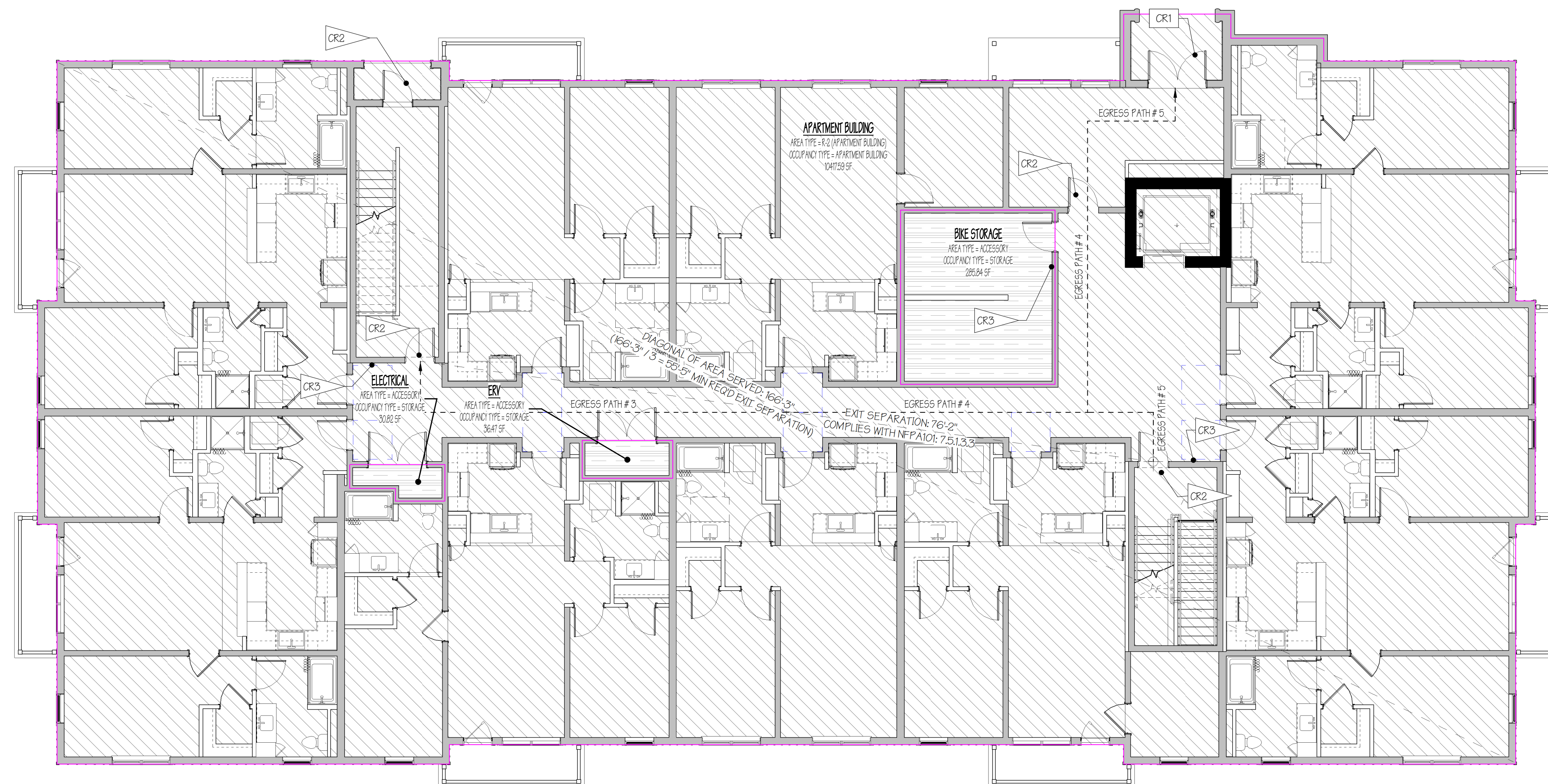
VILLAGE OF ESSEX JUNCTION, VERMONT

PROJECT #: 2010

SHEET NUMBER

A011

10/30/2020



1 FIRST FLOOR PLAN - CODE REVIEW
1/8" = 1'-0"

OCCUPANCY TYPE LEGEND

- ACCESSORY
- R-2 (APARTMENT BUILDING)
- S-2 (STORAGE)

CODE REVIEW LEGEND

- MAIN ENTRANCE (EGRESS DOOR)
- EGRESS DOOR
- LOCATION OF FIRE EXTINGUISHER (NOTE: PROVIDE ADDITIONAL FIRE EXTINGUISHERS AS REQUIRED TO MEET NFPA-10)

FIRE RATED WALL LEGEND

- 2 HOUR RATED WALL ASSEMBLY
- 1 HOUR RATED WALL ASSEMBLY
- NON-RATED WALL ASSEMBLY

TRAVEL DISTANCE SCHEDULE

TRAVEL PATH #	TRAVEL DISTANCE
DEAD END PATH # 1	39'-0"
EGRESS PATH # 1	144'-0"
EGRESS PATH # 2	33'-4"
EGRESS PATH # 3	43'-0"
EGRESS PATH # 4	73'-5"
EGRESS PATH # 5	74'-7"
EGRESS PATH # 6	43'-0"
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FIRE PROTECTION FEATURES

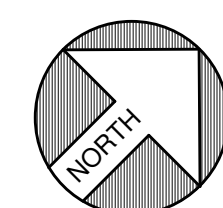
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PRELIMINARY
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CONSTRUCTION

No.	REVISIONS	
	Description	Date



CODE REVIEW PLANS
SCALE: 1/8" = 1'-0"

**AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES**

VILLAGE OF ESSEX JUNCTION, VERMONT



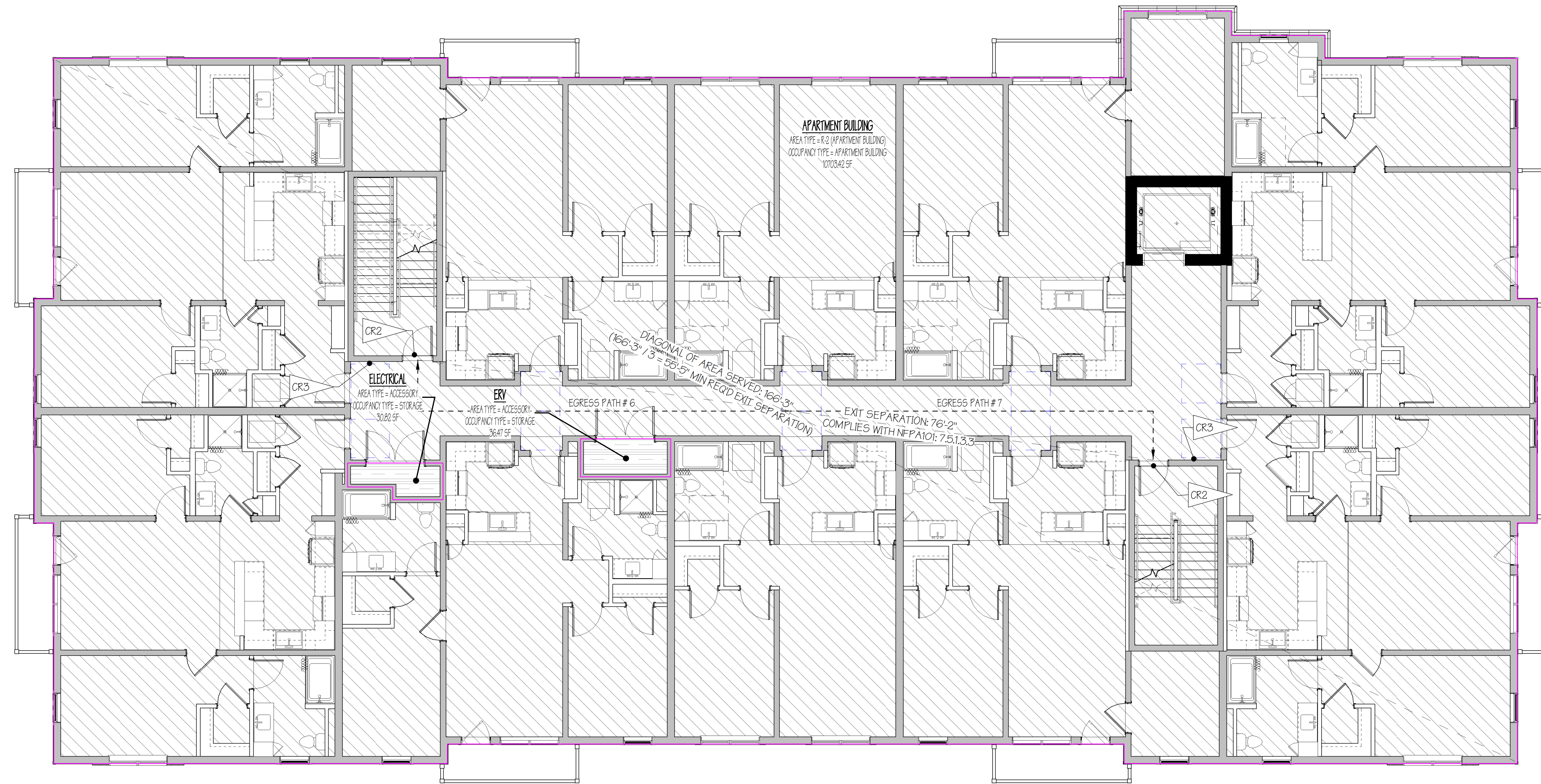
550 Hinesburg Road
Suite 101
South Burlington, VT 05403
802.883.0222
Rabideau-Architects.com

PROJECT #: 2010

SHEET NUMBER

A012

10/30/2020



1 SECOND, THIRD, AND FOURTH FLOOR PLAN - CODE REVIEW
1/8" = 1'-0"

OCCUPANCY TYPE LEGEND

- ACCESSORY
- R-2 (APARTMENT BUILDING)
- S-2 (STORAGE)

CODE REVIEW LEGEND

- MAIN ENTRANCE (EGRESS DOOR)
- EGRESS DOOR
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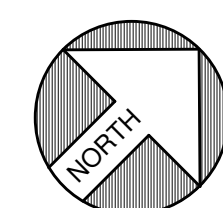
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PRELIMINARY
NOT FOR
CONSTRUCTION

REVISIONS		
No.	Description	Date



CODE REVIEW PLANS
SCALE: 1/8" = 1'-0"

**AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES**

VILLAGE OF ESSEX JUNCTION, VERMONT

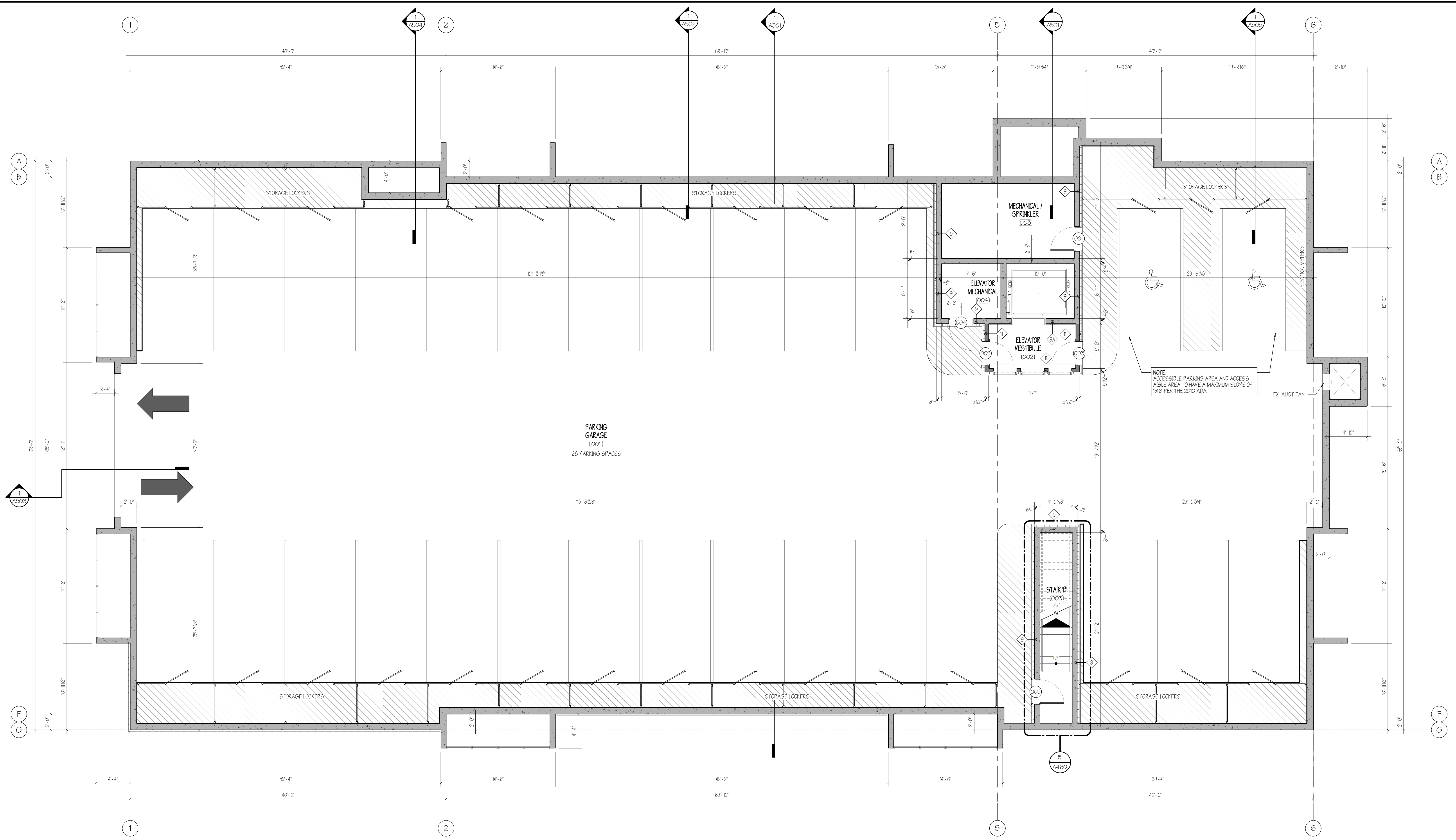


PROJECT #: 2010

SHEET NUMBER

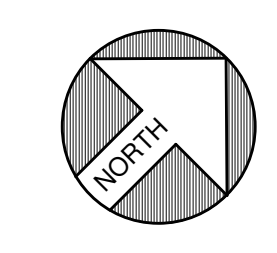
A013

10/30/2020



1 GARAGE FLOOR PLAN
3/16" = 1'-0"

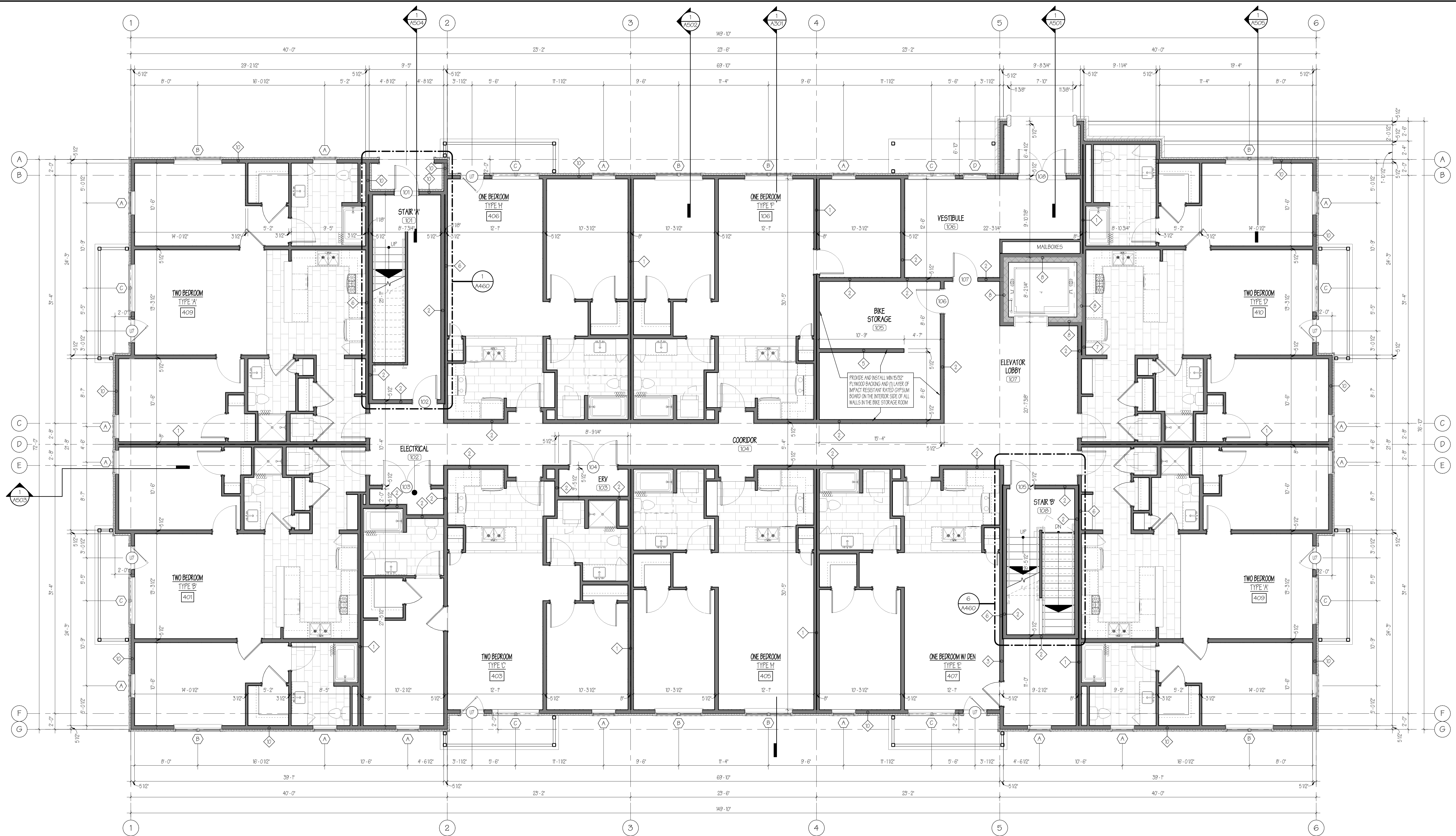
No.	REVISIONS	
	Description	Date



GARAGE FLOOR PLAN
 SCALE: 3/16" = 1'-0"
AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES
 VILLAGE OF ESSEX JUNCTION, VERMONT

550 Hinesburg Road
 Suite 101
 South Burlington, VT 05403
 802.883.0222
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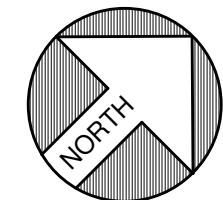
PROJECT #: **2010**
 SHEET NUMBER
A101
 10/30/2020



1 FIRST FLOOR PLAN
 3/16" = 1'-0"

PRELIMINARY
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 CONSTRUCTION

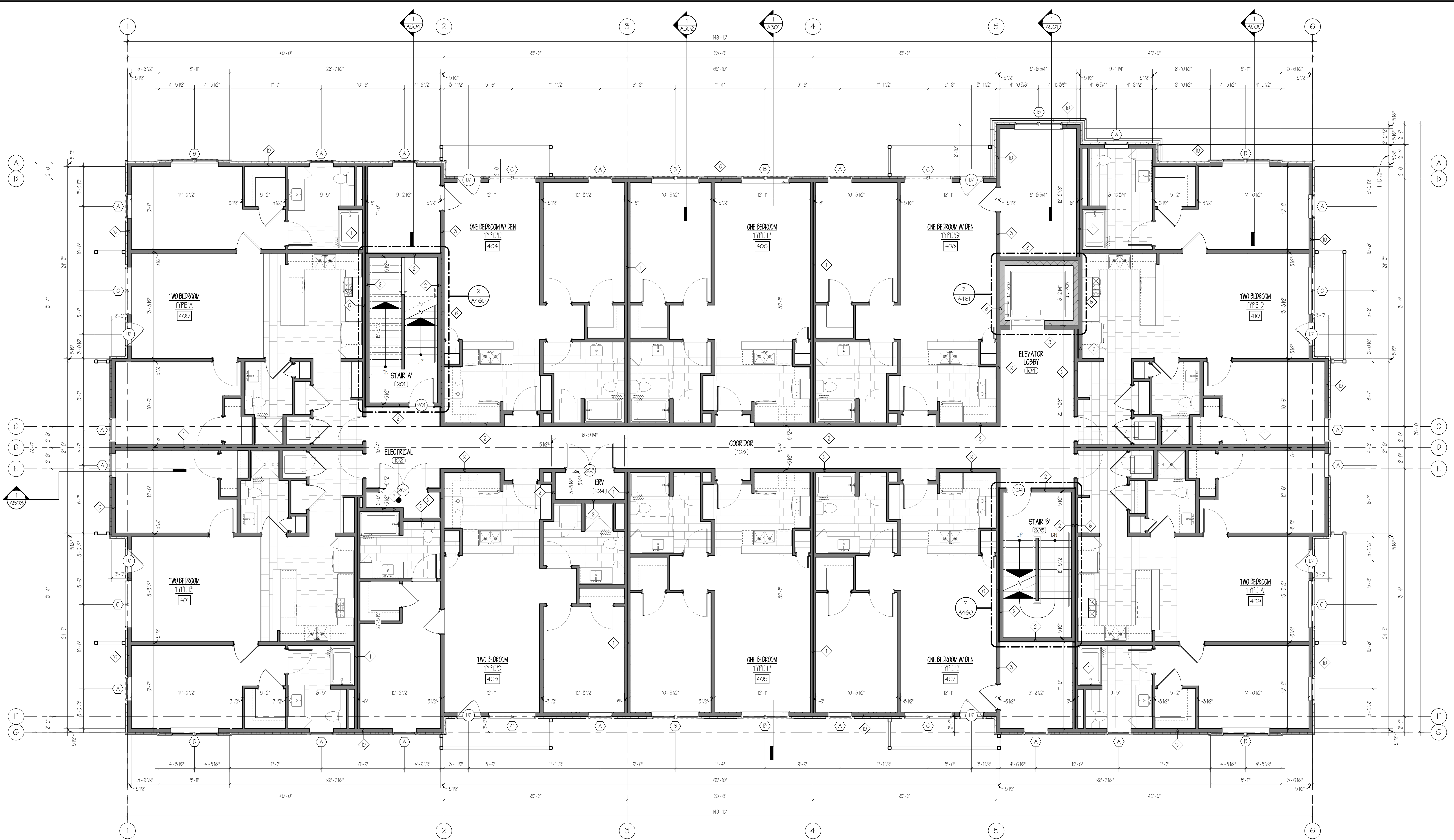
No.	REVISIONS	
	Description	Date



FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"
AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES
 VILLAGE OF ESSEX JUNCTION, VERMONT



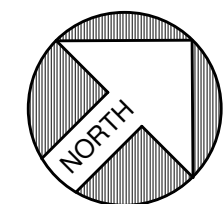
PROJECT #: **2010**
 SHEET NUMBER
A102
 10/30/2020



1 SECOND FLOOR PLAN
3/16" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

No.	REVISIONS	
	Description	Date



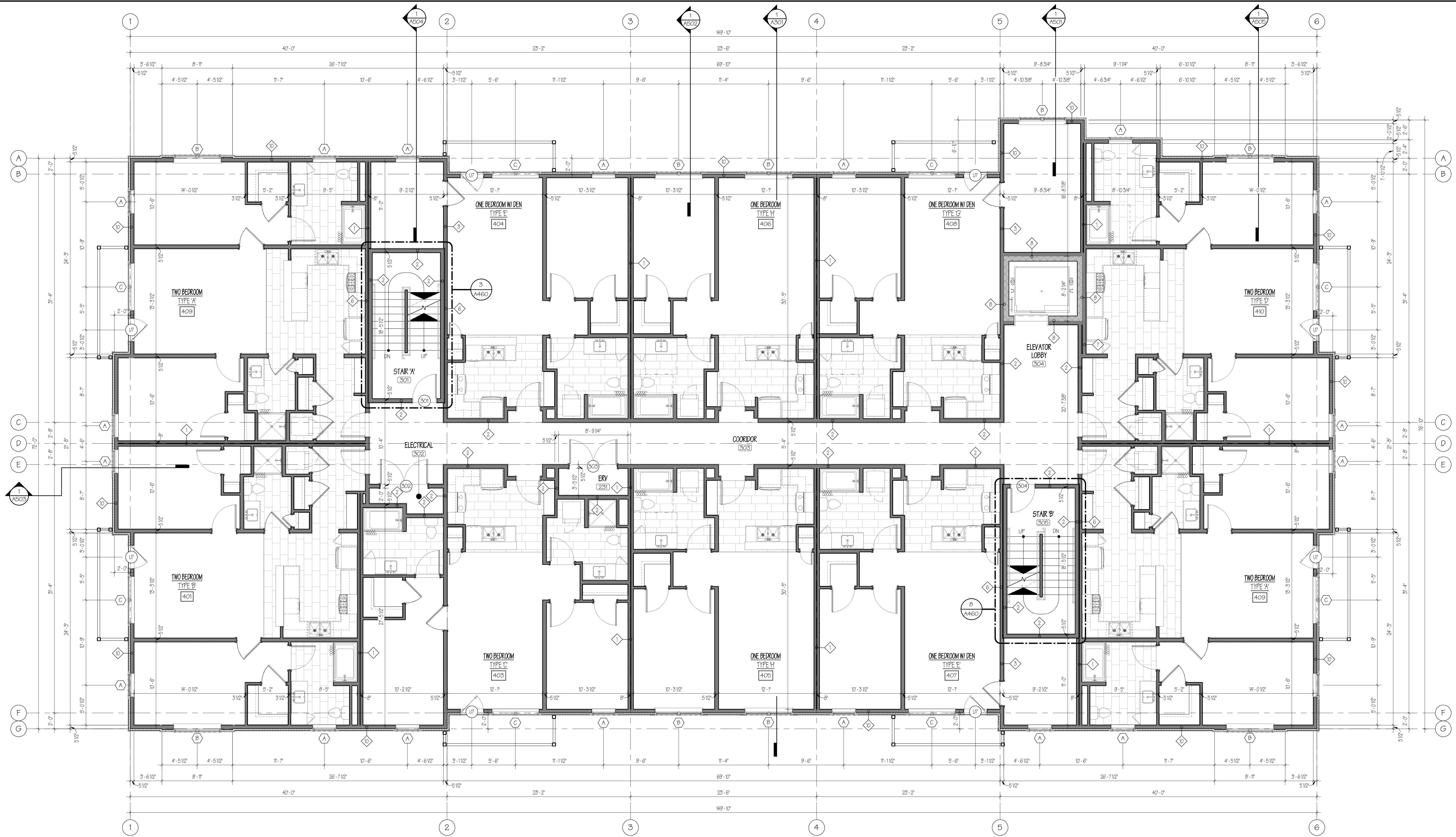
SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"
AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES
VILLAGE OF ESSEX JUNCTION, VERMONT



550 Hinesburg Road
Suite 101
South Burlington, VT 05403
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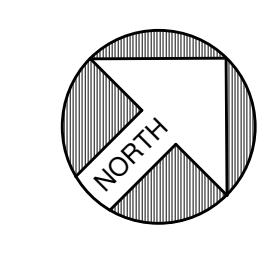
PROJECT #: **2010**

SHEET NUMBER
A103
10/30/2020



1 THIRD FLOOR PLAN
 3/16" = 1'-0"

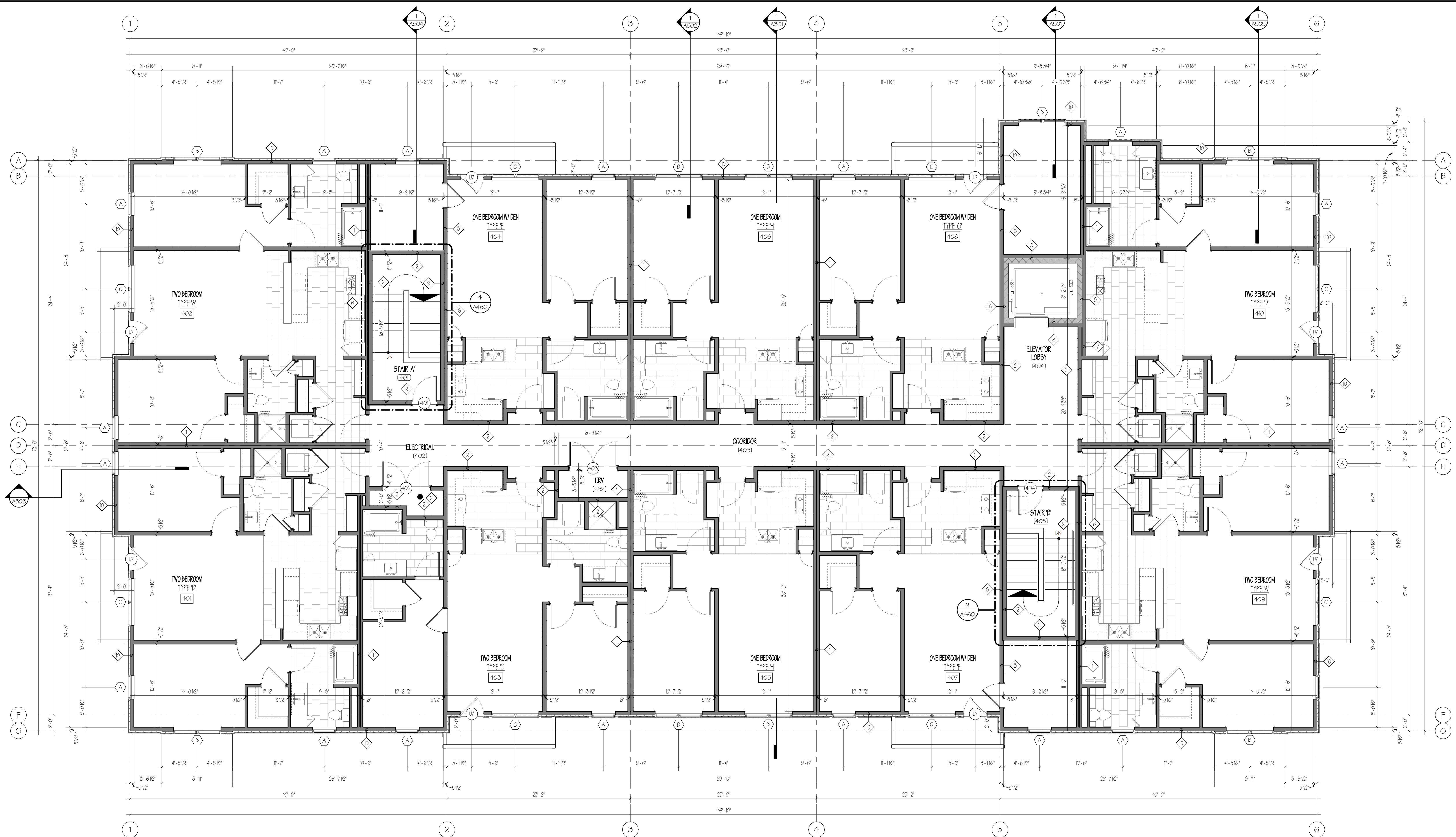
No.	REVISIONS	
	Description	Date



THIRD FLOOR PLAN
 SCALE: 3/16" = 1'-0"
AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES
 VILLAGE OF ESSEX JUNCTION, VERMONT

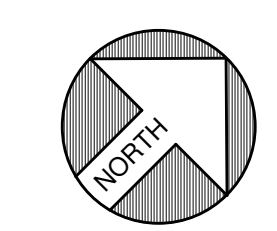


PROJECT #: **2010**
 SHEET NUMBER
A104
 10/30/2020



1 FOURTH FLOOR PLAN
 3/16" = 1'-0"

No.	REVISIONS	
	Description	Date



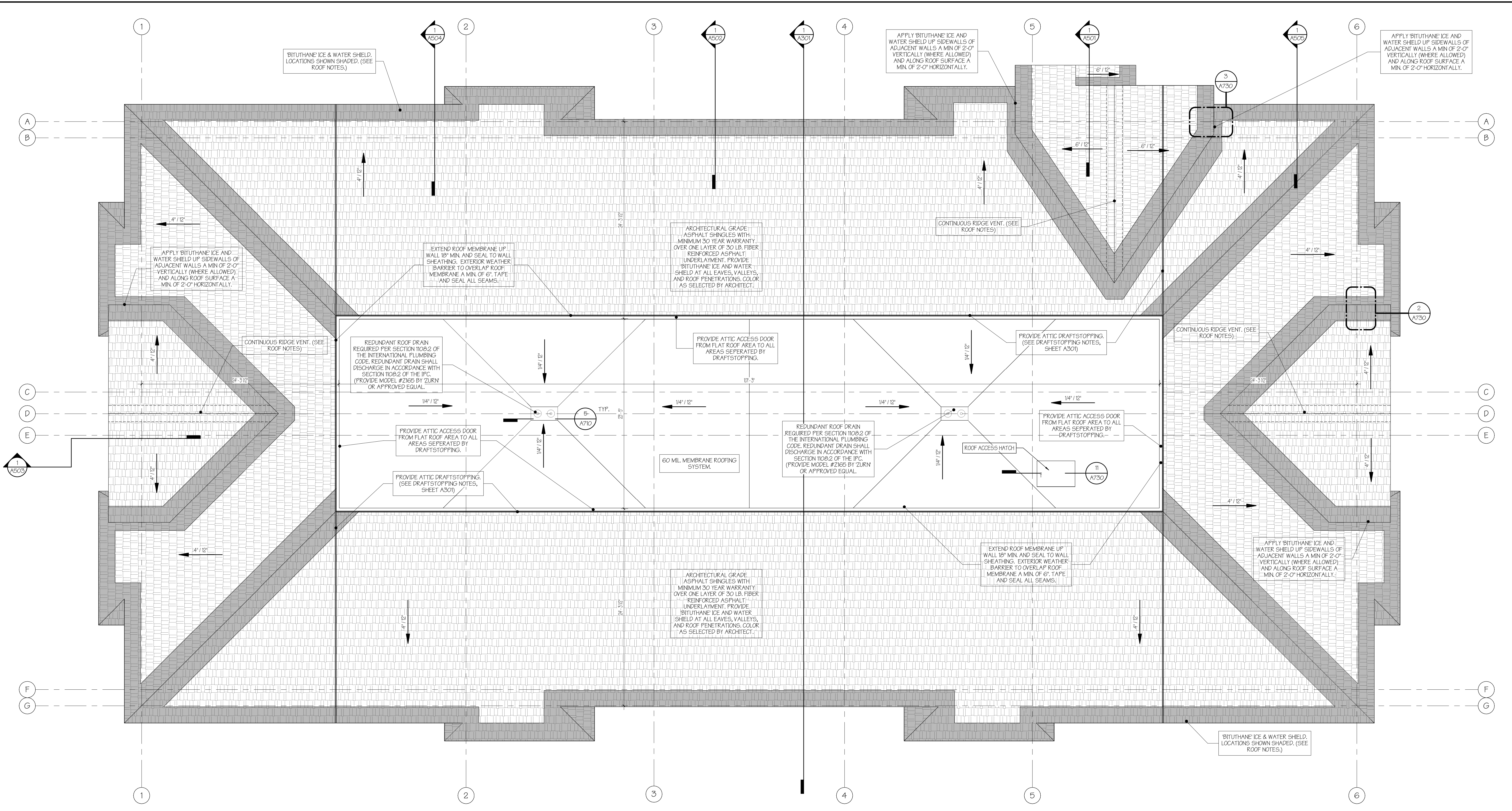
FOURTH FLOOR PLAN
 SCALE: 3/16" = 1'-0"

**AMBER LANTERN REDEVELOPMENT
 APPLE TREE BAY PROPERTIES**

VILLAGE OF ESSEX JUNCTION, VERMONT



PROJECT #: **2010**
 SHEET NUMBER
A105
 10/30/2020

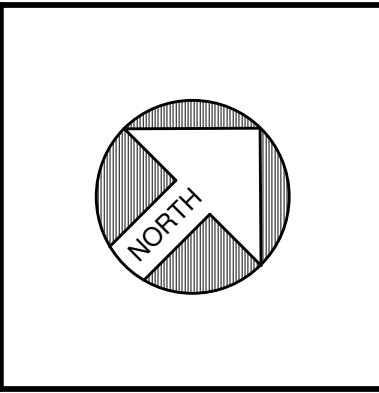


1 ROOF PLAN
3/16" = 1'-0"

ROOF NOTES:

1. ROOF OVERHANGS @ EAVES, RAKE, ETC. SHALL BE 24" BEYOND FACE OF EXTERIOR WALL AND PROJECTING DECKS. (UNLESS OTHERWISE NOTED)
2. WATERPROOF UNDERLAYMENT, I.E., "BITUTHANE" ICE AND WATER SHIELD, OR EQUAL, SHALL BE APPLIED TO ROOF DECK AT VALLEYS AND EAVES. COVER ROOF DECK FROM EAVES BACK AT LEAST 24 INCHES. COVER VALLEYS AT LEAST 24 INCHES EACH SIDE.
3. PROVIDE CONTINUOUS SOFFIT VENTS AT ALL EAVE OVERHANGS. (SEE TYPICAL OVERHANG DETAIL.)
4. PROVIDE CONTINUOUS RIDGE VENTS AT ALL PITCHED ROOFS. PROVIDE POWER ROOF VENTS WHERE REQUIRED.
5. PROVIDE ACCESS TO AREA IN ATTICS WHERE CLEAR HEIGHT IS OVER 30" WITH AN OPENING NOT LESS THAN 20" X 30"
6. ROOF MEMBRANES AT FLAT ROOFS SHALL BE 60 MIL. SINGLE PLY WHITE TPO FASTENED WITH RHINO BOND SYSTEM.
7. SLOPE 1/4" PER FOOT MIN. IS REQUIRED AT FLAT ROOFS.

No.	REVISIONS	
	Description	Date



PRELIMINARY
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ROOF PLAN
SCALE: 3/16" = 1'-0"

AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES

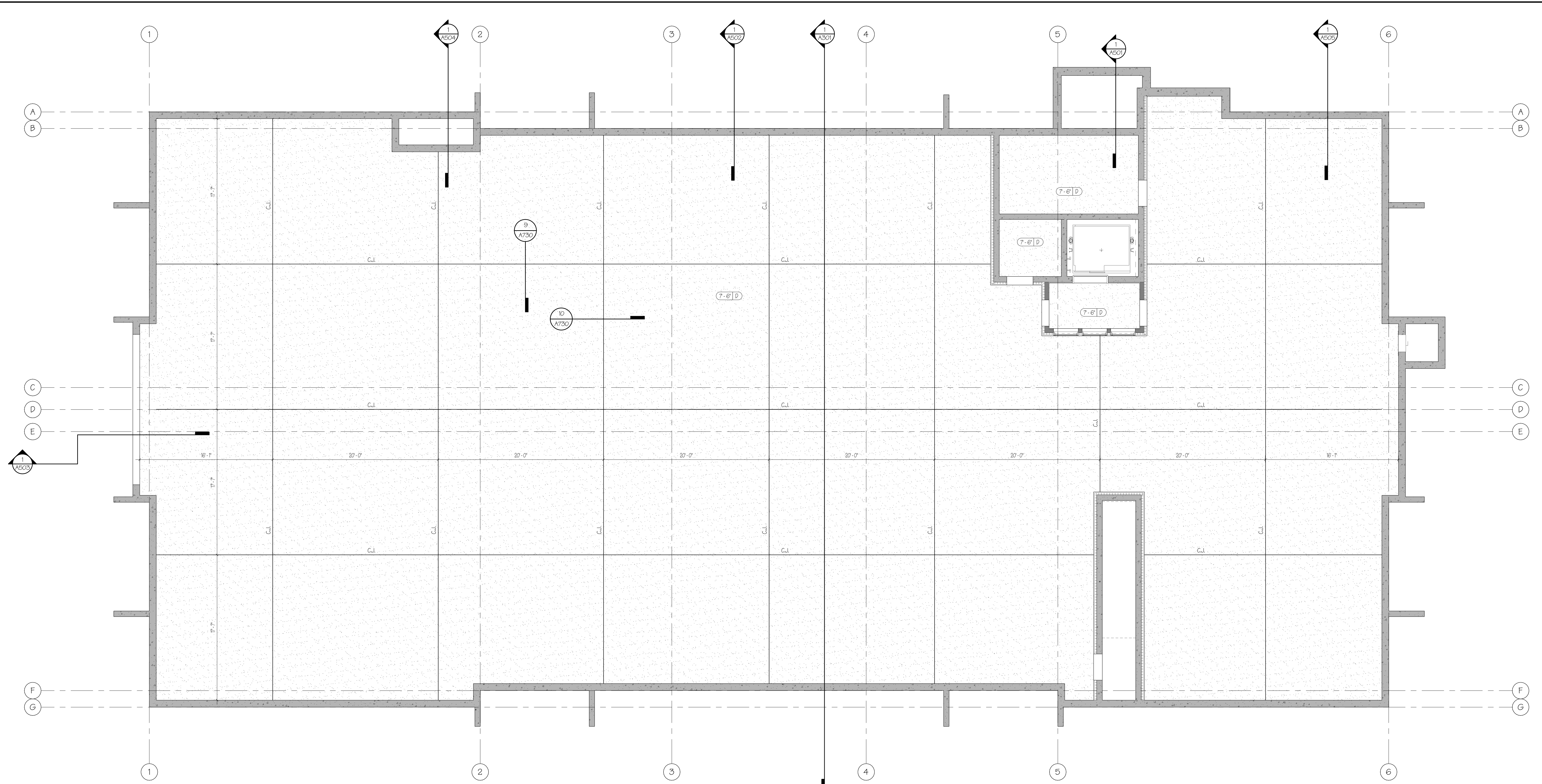
VILLAGE OF ESSEX JUNCTION, VERMONT

550 Hinesburg Road
Suite 101
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A106

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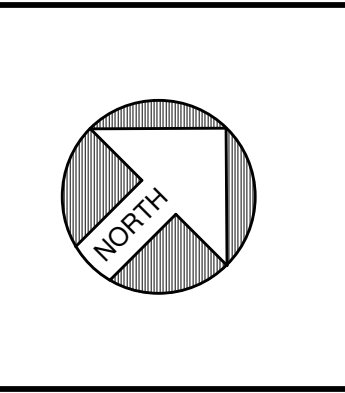


1 GARAGE FLOOR REFLECTED CEILING PLAN
 3/16" = 1'-0"

NOTE:
 REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION AND LOCATIONS OF MEP ITEMS.

CEILING LEGEND	
	CEILING HEIGHT
	CEILING TYPE
A.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO UNDERSIDE OF STRUCTURE
B.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO SUSPENSION SYSTEM
C.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO UNDERSIDE OF STRUCTURE - MOISTURE RESISTANT
D.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO SUSPENSION SYSTEM - MOISTURE RESISTANT
E.	2 x 2 ACOUSTIC CEILING TILE AND GRID
F.	EXTERIOR GYPSUM CEILING ATTACHED TO UNDERSIDE OF STRUCTURE.

PRELIMINARY NOT FOR CONSTRUCTION	REVISIONS		
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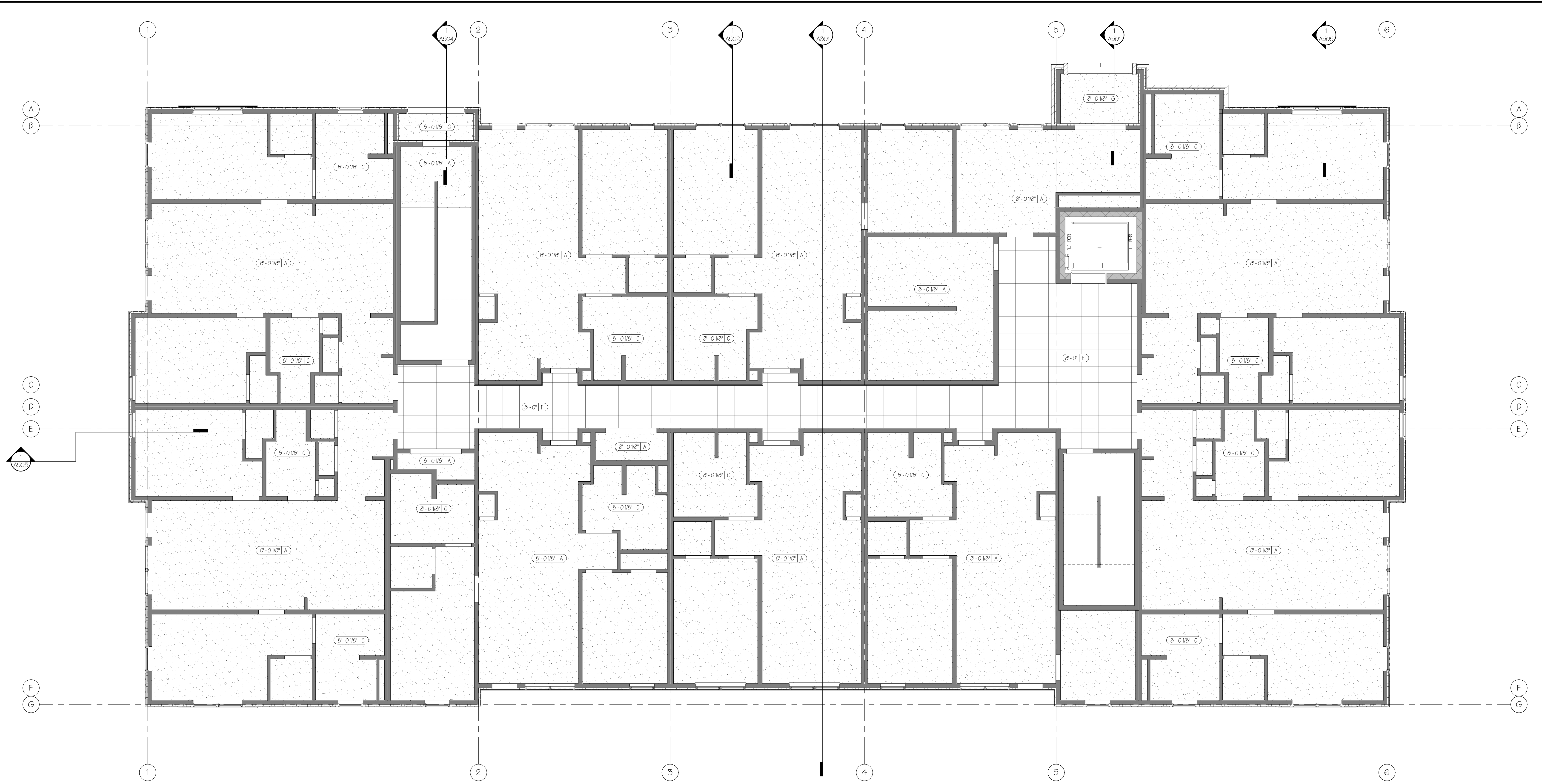


GARAGE FLOOR REFLECTED CEILING PLAN
 SCALE: As indicated

AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES
 VILLAGE OF ESSEX JUNCTION, VERMONT



PROJECT #: **2010**
 SHEET NUMBER
A120
 10/30/2020

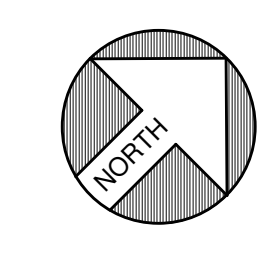


1 FIRST FLOOR REFLECTED CEILING PLAN
 3/16" = 1'-0"

NOTE:
 REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION AND LOCATIONS OF MEP ITEMS.

CEILING LEGEND				
	A.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO UNDERSIDE OF STRUCTURE	D.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO SUSPENSION SYSTEM - MOISTURE RESISTANT
	B.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO SUSPENSION SYSTEM	E.	2 x 2 ACOUSTIC CEILING TILE AND GRID
	C.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO UNDERSIDE OF STRUCTURE - MOISTURE RESISTANT	F.	EXTERIOR GYPSUM CEILING ATTACHED TO UNDERSIDE OF STRUCTURE.

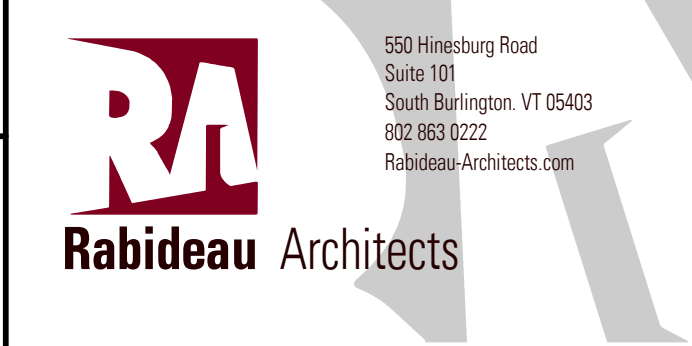
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	No.	Description	Date



FIRST FLOOR REFLECTED CEILING PLAN
 SCALE: As indicated

AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES

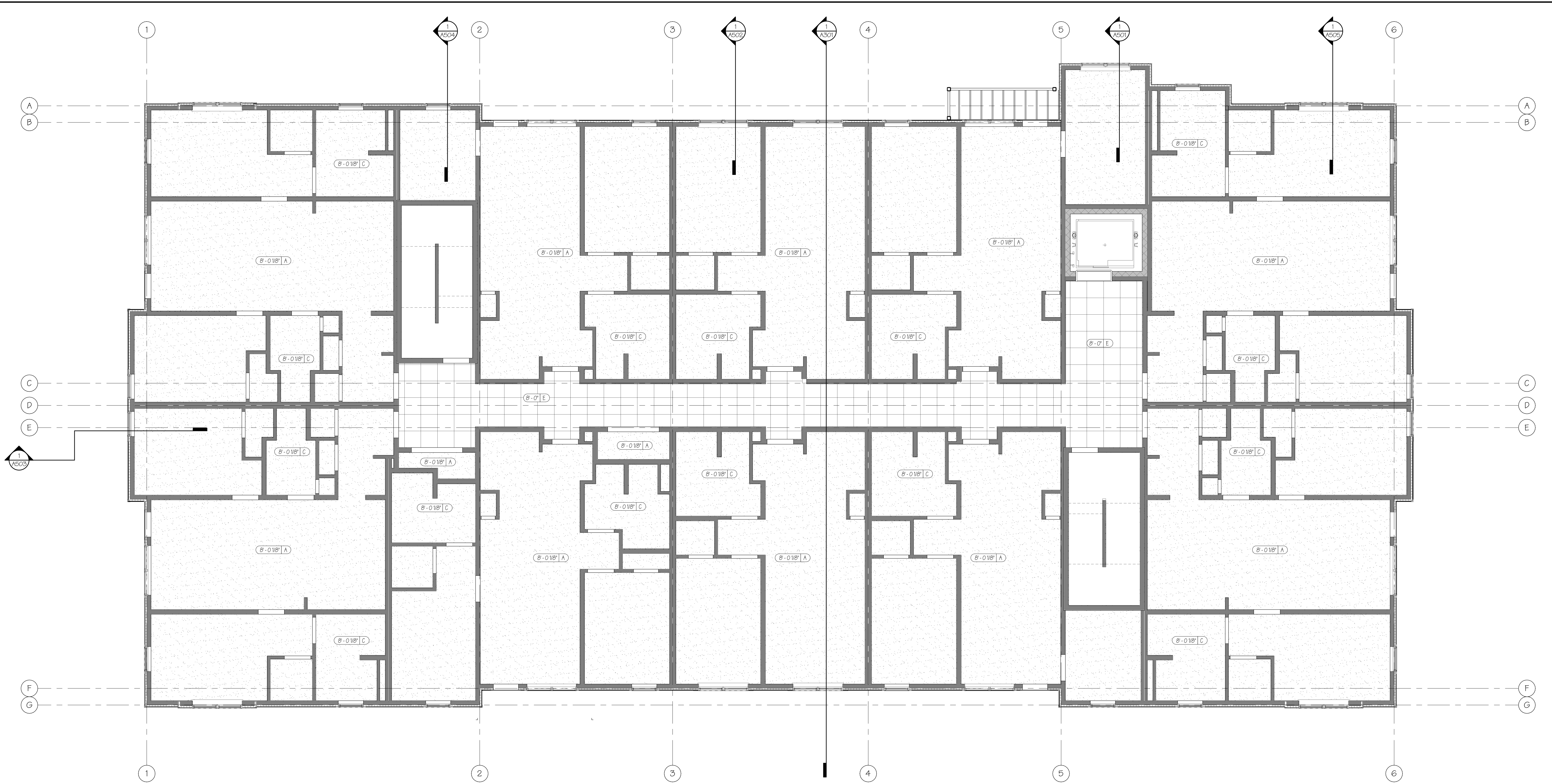
VILLAGE OF ESSEX JUNCTION, VERMONT



PROJECT #: **2010**

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A121

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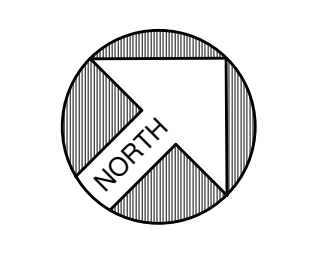


1 SECOND FLOOR REFLECTED CEILING PLAN
 3/16" = 1'-0"

NOTE:
 REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION AND LOCATIONS OF MEP ITEMS.

CEILING LEGEND			
	CEILING HEIGHT	A. PRIMED & PAINTED GYPSUM BOARD ATTACHED TO UNDERSIDE OF STRUCTURE	D. PRIMED & PAINTED GYPSUM BOARD ATTACHED TO SUSPENSION SYSTEM - MOISTURE RESISTANT
	CEILING TYPE	B. PRIMED & PAINTED GYPSUM BOARD ATTACHED TO SUSPENSION SYSTEM	E. 2 x 2 ACOUSTIC CEILING TILE AND GRID
		C. PRIMED & PAINTED GYPSUM BOARD ATTACHED TO UNDERSIDE OF STRUCTURE - MOISTURE RESISTANT	F. EXTERIOR GYPSUM CEILING ATTACHED TO UNDERSIDE OF STRUCTURE.

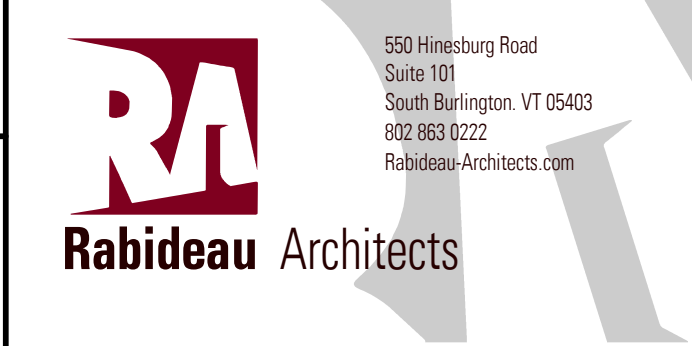
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SECOND FLOOR REFLECTED CEILING PLAN
 SCALE: As indicated

AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES

VILLAGE OF ESSEX JUNCTION, VERMONT



PROJECT #: **2010**

SHEET NUMBER
A122

10/30/2020

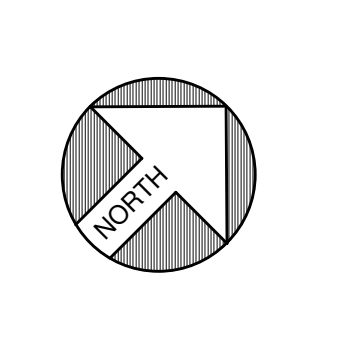


1 THIRD FLOOR REFLECTED CEILING PLAN
 3/16" = 1'-0"

NOTE:
 REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION AND LOCATIONS OF MEP ITEMS.

CEILING LEGEND				
	A.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO UNDERSIDE OF STRUCTURE	D.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO SUSPENSION SYSTEM - MOISTURE RESISTANT
	B.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO SUSPENSION SYSTEM	E.	2 x 2 ACOUSTIC CEILING TILE AND GRID
	C.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO UNDERSIDE OF STRUCTURE - MOISTURE RESISTANT	F.	EXTERIOR GYPSUM CEILING ATTACHED TO UNDERSIDE OF STRUCTURE.

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THIRD FLOOR REFLECTED CEILING PLAN
 SCALE: As indicated

AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES

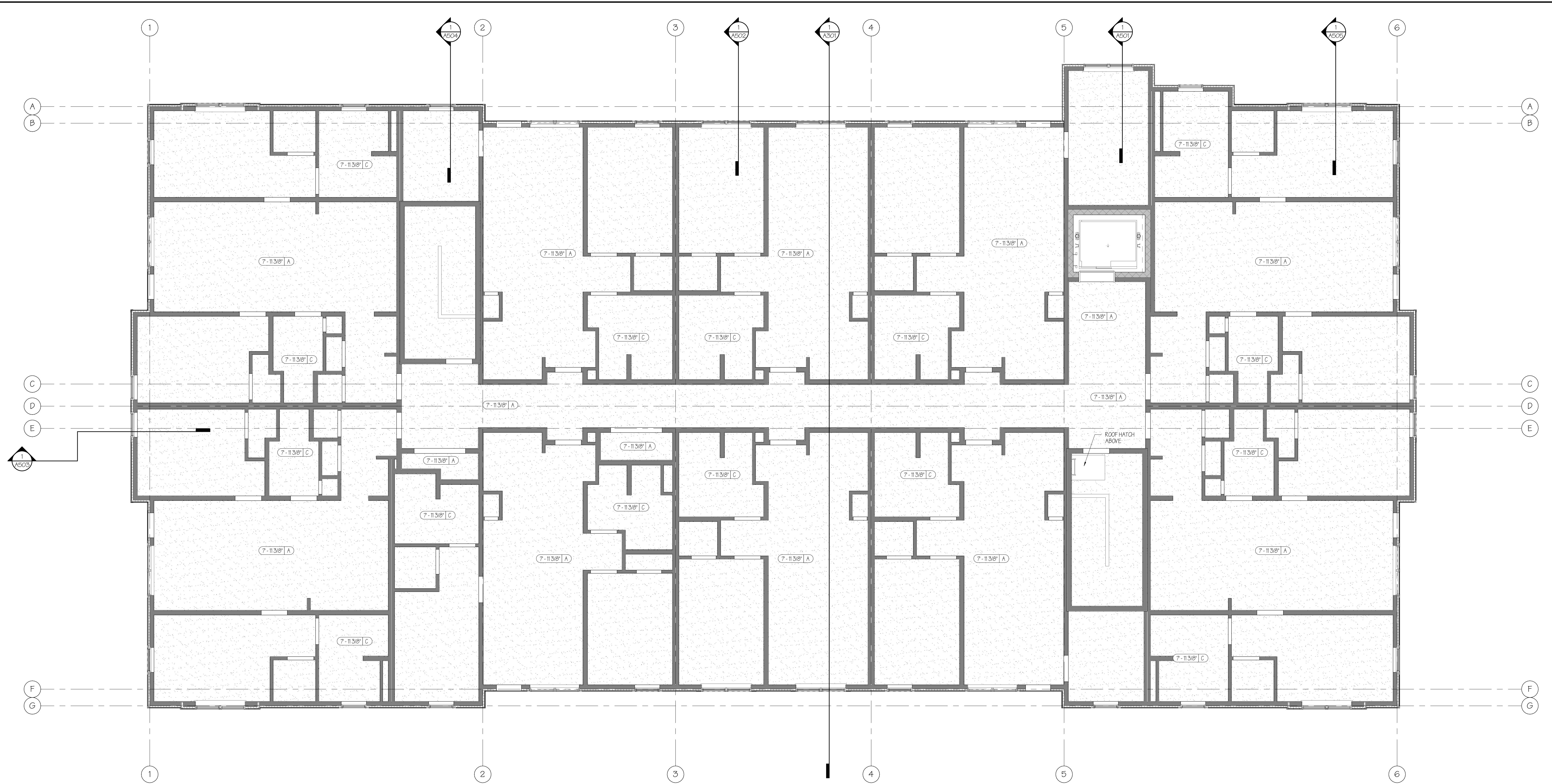
VILLAGE OF ESSEX JUNCTION, VERMONT



PROJECT #: **2010**

SHEET NUMBER
A123

10/30/2020

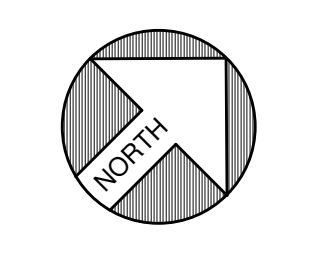


1 FOURTH FLOOR REFLECTED CEILING PLAN
 3/16" = 1'-0"

NOTE:
 REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION AND LOCATIONS OF MEP ITEMS.

CEILING LEGEND			
	CEILING HEIGHT	A.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO UNDERSIDE OF STRUCTURE
	CEILING TYPE	B.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO SUSPENSION SYSTEM
		C.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO UNDERSIDE OF STRUCTURE - MOISTURE RESISTANT
		D.	PRIMED & PAINTED GYPSUM BOARD ATTACHED TO SUSPENSION SYSTEM - MOISTURE RESISTANT
		E.	2 x 2 ACOUSTIC CEILING TILE AND GRID
		F.	EXTERIOR GYPSUM CEILING ATTACHED TO UNDERSIDE OF STRUCTURE.

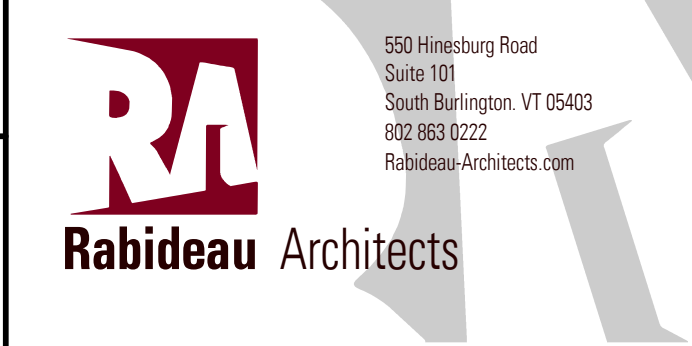
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	Description	Date



FOURTH FLOOR REFLECTED CEILING PLAN
 SCALE: As indicated

AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES

VILLAGE OF ESSEX JUNCTION, VERMONT



PROJECT #: **2010**

SHEET NUMBER
A124

10/30/2020



1 NORTH ELEVATION
3/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

- E-1 SIDING TYPE ONE - VERTICAL BOARD & BATTEN SIDING BY EVERLAST. COLOR AS SELECTED BY ARCHITECT.
- E-2 SIDING TYPE TWO - 4 1/2" EXPOSURE HORIZONTAL LAP SIDING BY EVERLAST. COLOR AS SELECTED BY ARCHITECT.
- E-3 SIDING TYPE THREE - 6 7/8" EXPOSURE HORIZONTAL LAP SIDING BY EVERLAST. COLOR AS SELECTED BY ARCHITECT.
- E-4 SIDING TYPE FOUR - SMOOTH TEXTURE FIBER CEMENT PANEL SIDING BY JAMES HARDIE. COLOR AS SELECTED BY ARCHITECT.
- E-5 SIDING TYPE FIVE - METAL SIDING, FW-120 BY METAL SPAN OR APPROVED EQUAL. VERTICAL ORIENTATION. COLOR AS SELECTED BY ARCHITECT.
- E-6 SIDING TYPE SIX - HEWN STONE BY CULTURED STONE IN COURSED ASHLAR PATTERN. COLOR AS SELECTED BY ARCHITECT.
- E-7 STONE TRIM - SILL, STRETCHER, AND TRIM BY CULTURED STONE. COLOR AS SELECTED BY ARCHITECT.
- E-8 ARCHITECTURAL GRADE ASPHALT SHINGLES WITH MINIMUM 30 YEAR WARRANTY OVER ONE LAYER OF 30 LB. FIBER REINFORCED ASPHALT UNDERLAYMENT. PROVIDE BITUTHANE ICE AND WATER SHIELD AT ALL EAVES, VALLEYS, AND ROOF PENETRATIONS. COLOR AS SELECTED BY ARCHITECT.
- E-9 ENTRY DOOR: SEE DOOR SCHEDULE FOR SIZE AND MATERIAL. DOORS MUST MEET U-VALUE SPECIFIED IN BUILDING ENVELOPE REQUIREMENTS ON SHEET A010. COLOR AS SELECTED BY ARCHITECT.
- E-10 FIBERGLASS OR COMPOSITE WINDOWS. WINDOWS MUST MEET U-VALUE SPECIFIED IN BUILDING ENVELOPE REQUIREMENTS ON SHEET A010. COLOR AS SELECTED BY ARCHITECT. (SEE WINDOW SCHEDULE.)
- E-11 DECKS: STEEL DECK SYSTEM AND RAILINGS (SEE DETAILS)
- E-12 FASCIA TRIM - 4/4 (2) PIECE FASCIA (1) 8" AND (1) 4". PAINT TO MATCH ROOF SHINGLE COLOR.
- E-13 TRIM BOARDS - 5/4 TRIM. SIZES AS INDICATED. SMOOTH TEXTURE. COLOR AS SELECTED BY ARCHITECT.
- E-14 WINDOW / DOOR TRIM - PROVIDE EVERLAST SURROUNDS AND ASSOCIATED BLOCKING, TRIM BOARDS, OR CAULKING AS REQUIRED BY ADJACENT SIDING TYPE. TRIM SIZES AS INDICATED. SMOOTH TEXTURE. COLOR AS SELECTED BY ARCHITECT.
- E-15 PROVIDE GUTTER SYSTEM AT ALL SLOPED ROOFS.

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No.	REVISIONS	
	Description	Date

EXTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0"

**AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES**

VILLAGE OF ESSEX JUNCTION, VERMONT



550 Hinsburg Road
Suite 101
South Burlington, VT 05403
802.883.0222
Rabideau-Architects.com

PROJECT #: 2010

SHEET NUMBER

A201

10/30/2020



1 WEST ELEVATION
3/16" = 1'-0"

EXTERIOR MATERIAL LEGEND	
E-1	SIDING TYPE ONE - VERTICAL BOARD & BATTEN SIDING BY EVERLAST. COLOR AS SELECTED BY ARCHITECT.
E-2	SIDING TYPE TWO - 4 1/2" EXPOSURE HORIZONTAL LAP SIDING BY EVERLAST. COLOR AS SELECTED BY ARCHITECT.
E-3	SIDING TYPE THREE - 6 7/8" EXPOSURE HORIZONTAL LAP SIDING BY EVERLAST. COLOR AS SELECTED BY ARCHITECT.
E-4	SIDING TYPE FOUR - SMOOTH TEXTURE FIBER CEMENT PANEL SIDING BY JAMES HARDIE. COLOR AS SELECTED BY ARCHITECT.
E-5	SIDING TYPE FIVE - METAL SIDING, PW-120 BY METAL SPAN OR APPROVED EQUAL. VERTICAL ORIENTATION. COLOR AS SELECTED BY ARCHITECT.
E-6	SIDING TYPE SIX - HEWN STONE BY CULTURED STONE IN COURSED ASHLAR PATTERN. COLOR AS SELECTED BY ARCHITECT.
E-7	STONE TRIM - SILL, STRETCHER, AND TRIM BY CULTURED STONE. COLOR AS SELECTED BY ARCHITECT.
E-8	ARCHITECTURAL GRADE ASPHALT SHINGLES WITH MINIMUM 30 YEAR WARRANTY OVER ONE LAYER OF 30 LB. FIBER REINFORCED ASPHALT UNDERLAYMENT. PROVIDE BITUTHANE ICE AND WATER SHIELD AT ALL EAVES, VALLEYS, AND ROOF PENETRATIONS. COLOR AS SELECTED BY ARCHITECT.
E-10	FIBERGLASS OR COMPOSITE WINDOWS. WINDOWS MUST MEET U-VALUE SPECIFIED IN BUILDING ENVELOPE REQUIREMENTS ON SHEET A010. COLOR AS SELECTED BY ARCHITECT. (SEE WINDOW SCHEDULE.)
E-11	DECKS: STEEL DECK SYSTEM AND RAILINGS (SEE DETAILS)
E-12	FASCIA TRIM - 4/4 (2) PIECE FASCIA, (1) 8" AND (1) 4". PAINT TO MATCH ROOF SHINGLE COLOR.
E-13	TRIM BOARDS - 5/4 TRIM. SIZES AS INDICATED. SMOOTH TEXTURE. COLOR AS SELECTED BY ARCHITECT.
E-14	WINDOW / DOOR TRIM - PROVIDE EVERLAST SURROUNDS AND ASSOCIATED BLOCKING, TRIM BOARDS, OR CAULKING AS REQUIRED BY ADJACENT SIDING TYPE. TRIM SIZES AS INDICATED. SMOOTH TEXTURE. COLOR AS SELECTED BY ARCHITECT.
E-15	PROVIDE GUTTER SYSTEM AT ALL SLOPED ROOFS.




2 EAST ELEVATION
3/16" = 1'-0"

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	No.	Description	Date

EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"

**AMBER LANTERN REDEVELOPMENT
APPLETREE BAY PROPERTIES**

VILLAGE OF ESSEX JUNCTION, VERMONT

 Rabideau Architects	550 Hinesburg Road Suite 101 South Burlington, VT 05403 802.883.0222 Rabideau-Architects.com	PROJECT #: 2010	SHEET NUMBER <h1>A202</h1>
			10/30/2020