

AUTUMN POND PHASE II

169 AUTUMN POND WAY
ESSEX JUNCTION, VERMONT



PROJECT DESCRIPTION:
THE PURPOSE OF THIS PROJECT IS TO REMOVE FOUR (4) EXISTING BUILDINGS AND CONSTRUCT (3) NEW MULTIFAMILY BUILDINGS CONTAINING A TOTAL OF 117-DWELLING UNITS. THE PROJECT USES MUNICIPAL WATER AND SEWER CONNECTIONS AND INCLUDES ONSITE STORMWATER TREATMENT PRACTICE.

Owner/Applicant:
AMBER LANTERN, LLC
PO BOX 3009
BURLINGTON, VT 05408

Architect:
RABIDEAU ARCHITECTS
550 HINESBURG RD
SUITE 101
SOUTH BURLINGTON, VT 05403

Engineer & Landscape Architect:
TRUDELL CONSULTING ENGINEERS (TCE)
478 BLAIR PARK ROAD
WILLISTON, VT 05495
(802) 879-6331

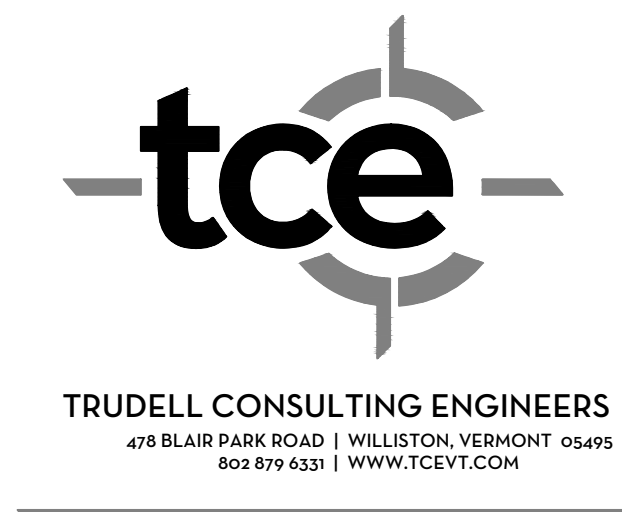
**PERMIT SUBMISSION SET
(NOT FOR CONSTRUCTION)**

Sheet List Table

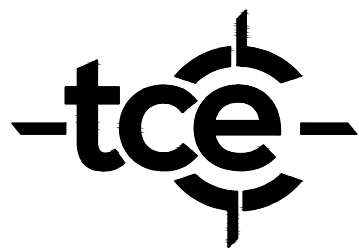
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USE AND INTERPRETATION OF THE DRAWINGS	
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6. It is the user's responsibility to ensure this copy contains the most current revisions. If unsure, please contact TCE.	
BEFORE USING THESE PLANS ENSURE THAT YOU HAVE THE LATEST REVISION	
LAST REVISED:	3/24/2023 ISSUED FOR PERMITS

TCE PROJECT NO: 20-247
PERMIT DESCRIPTION:
TAX ID: SPAN: 20706614229 PARCEL: 1006013000



SPECIAL NOTE:
FOR CLARITY, ALL ORIGINAL COLOR SHEETS
MUST BE REPRODUCED IN COLOR



ENGINEERING • SURVEY
PLANNING • ENVIRONMENTAL
478 BLAIR PARK ROAD | WILLISTON, VERMONT 05495
802 879 6531 | WWW.TCEVT.COM

Revisions table with columns: No., Description, Date, By. Row 1: Issued for Permits, 11/18/22, AAD

LEGEND

Legend table with columns: EXISTING, PROPOSED, REMOVED/ABANDONED. Rows include: PAVED DRIVE OR ROAD, GRAVEL DRIVE OR ROAD, GRAVELED DRIVE OR ROAD WITH CURB, TREE LINE, TRAIL, WETLAND LIMIT, TOPOGRAPHIC CONTOURS, STREAM, GUARD RAIL, SEWER MAINS AND SERVICES, SEWER FORCEMAIN, WATER MAINS AND SERVICES, STORM DRAINAGE, CURTAIN DRAIN, UNDERDRAIN, ROOF DRAIN, FOOTING DRAIN, LIQUID PROPANE OR NATURAL GAS, OVERHEAD UTILITY, UNDERGROUND UTILITY, PROPERTY LINE, ADJOINING PROPERTY LINE, EASEMENTS, FENCE, STONEWALL, SETBACKS, WELL CONE / WASTEWATER CONE OF INFLUENCE, SIGN, SEWER, DRAINAGE OR TELEPHONE MANHOLE (SMH/DMH/TMH), CLEANOUT (CO), CATCH BASIN (CB), YARD DRAIN (YD), OUTLET OR END SECTION, VALVE, CURB STOP (CS), FIRE HYDRANT (HYD), WATER SUPPLY WELL, END CAP, BLOWOFF, UTILITY POLE, MTC OR TRANSFORMER, TELEPHONE OR TELEVISION PEDESTAL (TEL-PED/TV-PED), LUMINAIRE, BOLLARD LIGHT, CANOPY LIGHT, FLOOD OR WALL LIGHT, BENCHMARK, PERCOLATION TEST, SOIL TEST PIT, SOIL BORING, OBSERVATION WELL, TCE CONTROL POINT STEEL REBAR, TCE CONTROL POINT MAG NAIL.

Legend table with columns: SURVEY, FOUND, TO BE SET, SET. Rows include: IRON PIPE, STEEL REBAR, CONCRETE MONUMENT, MARBLE OR STONE MONUMENT, IRON PIN (IP), CALCULATED POINT.

LEGEND NOTE:
SOME INFORMATION MAY BE PROVIDED BY OTHERS AND COULD BE SHOWN WITH A DIFFERENT SYMBOL NOT SHOWN ON THIS LEGEND. HOWEVER, THEY ARE LABELED ON RESPECTIVE PLANS. IN SOME CASES A CHANGE IN SCALE OR PRINTER CAN ALTER INFORMATION TO NOT SHOW AN EXACT MATCH ON THIS LEGEND. IF ANY QUESTIONS EXIST CONTACT THE ENGINEER TO CLARIFY. ADDITIONAL LEGEND INFORMATION IS SUPPLIED SEPARATELY ON EROSION CONTROL PLANS AND SOME SURVEY PLATS.

CONSTRUCTION NOTES FOR CONTRACTOR & CLIENT/OWNER:

- 1. CONTRACT DOCUMENTS: THESE PLANS WERE PREPARED BY TRUDELL CONSULTING ENGINEERS (TCE) AND ARE INTENDED TO BE USED IN CONJUNCTION WITH THE STANDARD GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT, #C-700 PREPARED BY THE ENGINEERS' JOINT CONTRACT DOCUMENTS COMMITTEE (EJCDC), LATEST EDITION. COPIES ARE AVAILABLE AT WWW.EJCDC.ORG/EJCDC.
2. UNDERGROUND IMPROVEMENTS: THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS SHOWN ARE ASSUMED BASED ON RESEARCH, UTILITY PLANS PROVIDED BY OTHERS, AND/OR SURFACE EVIDENCE AVAILABLE AND WERE OBTAINED IN A MANNER CONSISTENT WITH THE ORDINARY STANDARD OF PROFESSIONAL CARE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE DESIGN ENGINEER.
3. DIFFERING SUBSURFACE OR PHYSICAL CONDITIONS: IF CONTRACTOR BELIEVES THAT ANY SUBSURFACE OR PHYSICAL CONDITION AT OR CONTIGUOUS TO THE SITE THAT IS UNCOVERED OR REVEALED EITHER: (1) IS OF SUCH A NATURE AS TO ESTABLISH THAT ANY "TECHNICAL DATA" ON WHICH CONTRACTOR RELIED IS MATERIALLY INACCURATE; OR (2) IS OF SUCH A NATURE AS TO REQUIRE A CHANGE IN THE PLANS/CONTRACT DOCUMENTS; OR (3) DIFFERS MATERIALLY FROM THAT SHOWN OR INDICATED IN THE PLANS/CONTRACT DOCUMENTS; OR (4) IS OF AN UNUSUAL NATURE, AND DIFFERS MATERIALLY FROM CONDITIONS ORDINARILY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN WORK OF THE CHARACTER PROVIDED FOR IN THE PLANS/CONTRACT DOCUMENTS; THEN CONTRACTOR SHALL PROMPTLY AFTER BECOMING AWARE THEREOF AND BEFORE FURTHER DISTURBING THE SUBSURFACE OR PHYSICAL CONDITIONS OR PERFORMING ANY WORK IN CONNECTION THEREWITH (EXCEPT IN AN EMERGENCY), NOTIFY OWNER AND ENGINEER ABOUT SUCH CONDITION. CONTRACTOR SHALL NOT FURTHER DISTURB SUCH CONDITION OR PERFORM ANY WORK IN CONNECTION THEREWITH (EXCEPT AS AFORESAID) UNTIL RECEIPT OF WRITTEN ORDER TO DO SO. ALL PARTIES INVOLVED (OWNER, ENGINEER, ARCHITECT AND MUNICIPALITY IF APPLICABLE) SHALL AGREE UPON HOW TO PROCEED AND ANY RELATED COST IMPLICATIONS.
4. UTILITIES: PRIVATE AND PUBLIC UTILITIES SUCH AS ELECTRIC, TELEPHONE, GAS, CABLE, FIBER OPTIC, ETC. ARE THE RESPONSIBILITY OF THE RESPECTIVE UTILITY COMPANY. ANY INFORMATION SHOWN BY TCE SHOULD BE CONSIDERED PRELIMINARY (USUALLY TO ASSIST WITH PERMITTING.) FINAL DESIGN, CONSTRUCTION AND MAINTENANCE ARE THE RESPONSIBILITY OF RESPECTIVE UTILITY COMPANIES. COMPLIANCE WITH EASEMENTS AND REGULATIONS (STATE AND LOCAL) ARE THE RESPONSIBILITY OF RESPECTIVE UTILITY COMPANY.
5. DIGSAFE: IN ACCORDANCE WITH VERMONT STATE LAW (VSA TITLE 30 CHAPTER 86 AND PSB RULE 3.800) THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT DIGSAFE SYSTEMS, INC. "DIGSAFE," AT LEAST 48 HOURS, EXCLUDING SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, BUT NOT MORE THAN 30 DAYS BEFORE COMMENCING EXCAVATION ACTIVITIES. EXCEPT IN AN EMERGENCY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRE-MARKING THE SITE AND MAINTAINING DESIGNATED MARKINGS. FOR MORE INFORMATION ON DIGSAFE REQUIREMENTS SEE WWW.DIGSAFE.COM.
6. JOBSITE SAFETY: NEITHER THE PROFESSIONAL ACTIVITIES OF TRUDELL CONSULTING ENGINEERS (TCE), NOR THE PRESENCE OF TCE OR ITS EMPLOYEES AND SUB CONSULTANTS AT A CONSTRUCTION SITE, SHALL RELIEVE THE GENERAL CONTRACTOR AND ANY OTHER ENTITY OF THEIR OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING OR COORDINATING ALL PORTIONS OF THE WORK OF CONSTRUCTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. TCE AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR OTHER ENTITY OR THEIR EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PRECAUTIONS. THE CLIENT AGREES THAT THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY, AND WARRANTS THAT THIS INTENT SHALL BE MADE EVIDENT IN THE CLIENTS AGREEMENT WITH THE GENERAL CONTRACTOR. THE CLIENT ALSO AGREES THAT THE CLIENT, TCE AND TCE'S CONSULTANTS SHALL BE INDEMNIFIED AND SHALL BE MADE ADDITIONALLY INSURED UNDER THE GENERAL CONTRACTOR'S GENERAL LIABILITY INSURANCE POLICY.
7. CODES AND STANDARDS COMPLIANCE: TCE SHALL EXERCISE USUAL AND CUSTOMARY PROFESSIONAL CARE IN ITS EFFORTS TO COMPLY WITH CODES, STANDARDS, REGULATIONS AND ORDINANCES IN EFFECT. THE OWNER ACKNOWLEDGES THAT SUCH REQUIREMENTS MAY BE SUBJECT TO VARIOUS AND CONTRADICTORY INTERPRETATIONS. TCE, THEREFORE, WILL USE ITS REASONABLE PROFESSIONAL EFFORTS AND JUDGMENT TO INTERPRET APPLICABLE REQUIREMENTS AS THEY APPLY TO THE PROJECT. TCE, HOWEVER, CANNOT AND DOES NOT WARRANT OR GUARANTEE THAT THE PROJECT WILL COMPLY WITH ALL INTERPRETATIONS OF SUCH REQUIREMENTS.
8. CONSTRUCTION OBSERVATION: TCE MAY VISIT THE PROJECT AT APPROPRIATE INTERVALS DURING CONSTRUCTION TO BECOME GENERALLY FAMILIAR WITH THE PROGRESS AND QUALITY OF THE CONTRACTOR'S WORK AND TO DETERMINE IF THE WORK IS PROCEEDING IN GENERAL ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE OWNER HAS NOT RETAINED TCE TO MAKE DETAILED INSPECTIONS OR TO PROVIDE EXHAUSTIVE OR CONTINUOUS PROJECT REVIEW AND OBSERVATION SERVICES. TCE DOES NOT GUARANTEE THE PERFORMANCE OF, AND SHALL NOT HAVE RESPONSIBILITY FOR, THE ACTS OR OMISSIONS OF ANY CONTRACTOR, SUB-CONTRACTOR, SUPPLIER OR ANY OTHER ENTITY FURNISHING MATERIALS OR PERFORMING ANY WORK ON THE PROJECT. TCE SHALL NOT SUPERVISE, DIRECT OR HAVE CONTROL OVER THE CONTRACTOR'S WORK NOR HAVE ANY RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF THE CONTRACTOR. IF THE OWNER DESIRES MORE EXTENSIVE PROJECT OBSERVATION OR FULL-TIME PROJECT REPRESENTATION, THE OWNER SHALL REQUEST SUCH SERVICES BE PROVIDED BY TCE AS ADDITIONAL SERVICES.
9. THE CONTRACTOR SHALL REPAIR/RESTORE ALL DISTURBED AREAS (ON OR OFF THE SITE) AS A DIRECT OR INDIRECT RESULT OF THE CONSTRUCTION. ALL GRASSED AREAS SHALL BE MAINTAINED UNTIL FULL VEGETATION IS ESTABLISHED. MAINTAIN ALL TREES OUTSIDE OF CONSTRUCTION LIMITS.
10. IN ADDITION TO THE REQUIREMENTS SET IN THESE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLETE THE WORK IN ACCORDANCE WITH ALL PERMIT CONDITIONS, LOCAL PUBLIC WORKS STANDARDS AND ALL CONSTRUCTION SAFETY REGULATIONS.
11. ANY DEWATERING NECESSARY FOR THE COMPLETION OF THE SITEMARK SHALL BE CONSIDERED AS PART OF THE CONTRACT AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
12. IF THERE ARE ANY CONFLICTS OR INCONSISTENCIES WITH THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR VERIFICATION BEFORE WORK CONTINUES ON THE ITEM(S) IN QUESTION.
13. SEWER LATERAL CONNECTIONS ARE SOMETIMES NOT SHOWN FOR CLARITY. CONTRACTOR TO CONSULT WITH ENGINEER AND SUPPLY BENDS, CLEANOUTS, ETC. AS NECESSARY TO FACILITATE PROPER CONNECTION BETWEEN FOUNDATION WALL AND SEWER MAIN LINE.
14. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL RELEVANT PARTIES (INCLUDING, BUT NOT LIMITED TO OWNER, ARCHITECT AND UTILITY COMPANIES) TO DETERMINE FINAL LAYOUT AND DESIGN.
15. DESIGN AND CONSTRUCTION OF PEDESTRIAN WALKS, RAMPS AND DECKS BETWEEN BUILDINGS AND PARKING LOTS IS PROVIDED BY THE ARCHITECT AND INCORPORATED INTO THE BUILDING DESIGN, UNLESS INDICATED OTHERWISE.
16. ALL WATER LINE TAPS SHALL BE LIVE TAPS; EXISTING WATER LINE MUST REMAIN IN SERVICE DURING CONNECTION, UNLESS INDICATED OTHERWISE.
17. ROOF DOWNSPOUT CAN CONNECT TO ROOF DRAIN MANIFOLD (RD) AS DETERMINED BY ARCHITECT AND OWNER. THIS CONNECTION PIPE IS INCLUDED AS PART OF THE DESIGN PLAN BUT NOT SHOWN TO ALLOW FLEXIBILITY IN LOCATION AS NEEDED.
18. THRUST BLOCKS FOR PRESSURE LINES ARE NOT SHOWN FOR CLARITY PURPOSES. PROVIDE THRUST BLOCKS AT ALL BENDS, TEE AND REDUCES. PROJECT ENGINEER TO OBSERVE ALL THRUST BLOCKS PRIOR TO BACKFILL.
19. WATER MAIN OPERATED AT HIGH PRESSURE. ALL BUILDINGS SHALL CONFIRM STATIC INTAKE PRESSURE AND PROVIDE PRESSURE-REDUCING VALVES AS DEEMED APPROPRIATE BY THE MECHANICAL ENGINEER (OR ARCHITECT.)
20. CONTRACTOR TO SUPPLY DAYLIGHT PIPING FOR FOOTING DRAINS WITHIN CONSTRUCTION LIMITS. THE EXACT LOCATION MAY NOT BE CRITICAL. COORDINATE WITH OWNER AND PROJECT ENGINEER.
21. FOOTING DRAINS AROUND BUILDING MAY BE SHOWN BY OTHERS (BECAUSE IT IS WITHIN THE 5' ZONE AROUND BUILDING). FOOTING DRAINS AND PIPE TO DAYLIGHT SHALL BE INCLUDED EVEN IF NOT SHOWN. DAYLIGHT PIPE LOCATION TO SWALE MAY NOT BE CRITICAL SO LONG AS IT DOES NOT CREATE ANY CONFLICT WITH OTHER UTILITIES, OR IMPACT ENVIRONMENTALLY SENSITIVE AREAS SUCH AS WETLANDS.
22. SEWER CONNECTIONS TO EXISTING MANHOLES SHALL INCLUDE WATERTIGHT CONNECTIONS, REFORMING INVERT TO PROVIDE SMOOTH FLOW STREAM AND TESTING TO ENSURE STRUCTURE IS WATERTIGHT. IF AN EXISTING MANHOLE IS FOUND NOT TO BE WATERTIGHT IT SHALL BE EXPOSED AND REPAIRED ON THE OUTSIDE. PRIOR TO CONNECTING TO EXISTING MANHOLES, SUBMIT SHOP DRAWINGS ON CORE LOCATION, ANY REQUIRED PIPING (FOR DROP MANHOLES) AND CHANGES TO INVERT FORM.
23. FINAL RIMS OF SEWER MANHOLES AND WATER VALVES SHALL BE CONFIRMED AND COORDINATED WITH FINAL SITE GRADING. MINOR ADJUSTMENTS FROM DESIGN GRADES MAY BE REQUIRED BY OWNER OR ENGINEER AND SHALL BE INCLUDED.
24. ROCK REMOVAL WORK FOR BOULDERS UNDER 2.5 CUBIC YARDS IS INCLUDED AS PART OF EXCAVATION. ANY ROCK REMOVAL FOR 2.5 CUBIC YARDS OR GREATER SHALL BE TREATED AS LEDGE REMOVAL. THIS SHOULD BE REVIEWED AND AGREED UPON BY OWNER PRIOR TO CONDUCTING ROCK REMOVAL.
25. THE GENERAL CONTRACTOR IS REQUIRED TO CONFORM TO THE STRICTEST INTERPRETATION OF THE CONTRACT DRAWING, SPECIFICATION, PERMITS AND CONSTRUCTION CONTRACT. ALL EARTH MATERIAL RECEIVED OR DISPOSED FROM OUTSIDE SOURCES SHALL COMPLY WITH APPLICABLE PERMITS AND REGULATIONS. SHOP DRAWING SUBMITTALS SHALL INCLUDE CONTRACTOR'S CERTIFICATION STATEMENT OF COMPLIANCE AND COPIES OF RELEVANT PERMITS FOR OUTSIDE SOURCES.
26. CONTRACTOR SHALL PAY FOR ALL REQUIRED TESTING. THIS SHALL INCLUDE BUT IS NOT LIMITED TO: SOIL TESTING, COMPACTION TESTING, SUE ANALYSIS, CONCRETE TESTING, ASPHALT PENETRATION TESTING, BACTERIOLOGICAL TESTING FOR WATER AND OTHER TESTING AS PART OF STANDARD PRACTICE FOR A CONSTRUCTION PROJECT OF THIS NATURE, UNLESS INDICATED OTHERWISE AND APPROVED BY THE OWNER.

CONSTRUCTION PHASE:

LISTED BELOW IS A BRIEF SUMMARY OF CONSTRUCTION PHASE REQUIREMENTS. THIS LIST IS NOT INTENDED TO BE ALL-INCLUSIVE. CONSTRUCTION SPECIFICATIONS, PERMIT REQUIREMENTS AND SUBSEQUENT CONTRACTUAL AGREEMENTS FROM PARTIES INVOLVED SHALL PREVAIL.

- PRE-CONSTRUCTION
• OWNER TO ESTABLISH SCOPE OF SERVICES WITH PROJECT ENGINEER(S)
• OWNER TO IDENTIFY WORK SCOPE AND SCHEDULE
• UPON OWNER REQUEST, ENGINEER WILL ASSIST WITH CONTRACTOR BID AND SELECTION PROCESS
• ENGINEER TO FINALIZE PLANS FOR CONSTRUCTION READINESS INCLUDING SPECIFICATIONS
• MEETING BETWEEN OWNER, ENGINEER(S), CONTRACTOR(S), ARCHITECT(S), REGULATORY AUTHORITIES AND OTHER PERTINENT PARTIES TO REVIEW AND DISCUSS THE WORK

- PRE-CONSTRUCTION MEETING
• CONTRACTOR TO IDENTIFY SUPERINTENDENT WITH AUTHORITY TO MAKE DECISIONS
• CONTRACTOR TO IDENTIFY SUBCONTRACTORS
• CONTRACTOR TO ESTABLISH SCHEDULE
• CONTRACTOR TO DESIGNATE RESPONSIBLE PERSONNEL
• CONTRACTOR TO CONFIRM PROCEDURE FOR RFI'S, CHANGE ORDERS, EXTRAS AND PAY REQUESTS
• CONTRACTOR TO SUBMIT SHOP DRAWINGS
• CONTRACTOR TO OUTLINE SAFETY, SECURITY, AND WORKING HOURS
• CONTRACTOR OR OWNER TO IDENTIFY TESTING COMPANY

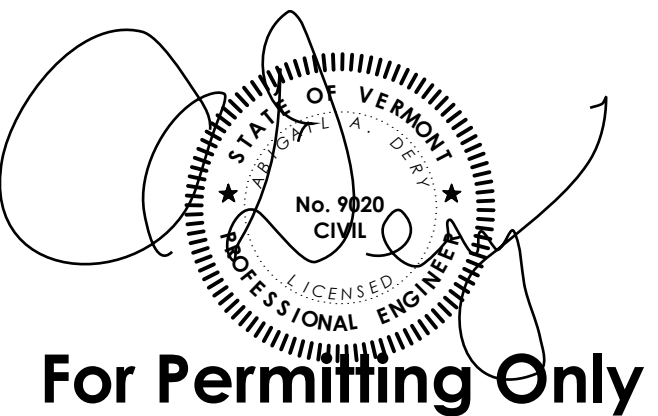
- CONSTRUCTION PHASE
• INITIAL CONTROL SUPPLIED BY OWNER AND CONTRACTOR RESPONSIBLE FOR LAYOUT
• PROJECT ENGINEER TO ESTABLISH BENCHMARK AND IN SOME CASES INITIAL SITE LAYOUT
• DISCUSS RESTRICTIONS SUCH AS, BUT NOT LIMITED TO, WETLANDS OR TREE LINE
• REVIEW EXISTING AND REQUIRED PERMITS
• DIGSAFE AND PERMIT NUMBER
• ADDITIONAL UNDERGROUND LAYOUT BY PRIVATE COMPANY
• DISCUSS EROSION CONTROL
• OWNER TO PROVIDE PROJECT ENGINEER TO OBSERVE CONSTRUCTION PERIODICALLY, DURING CRITICAL PHASES AND TESTING
• WEEKLY JOB MEETINGS DURING CONSTRUCTION
• OWNER TO PROVIDE PROJECT ENGINEER TO REVIEW AND DISCUSS PLANS, ANSWER QUESTIONS, RESPOND TO CHANGES, APPROVE SUBMITTALS, AND OTHER BUSINESS COMMON TO CONSTRUCTION SERVICES.
• ENGINEER TO OBSERVE TESTING AND COLLECT RESULTS
• OWNER AND CONTRACTOR TO COMPLY WITH PERMITS
• CONTRACTOR CERTIFICATION (PROVIDED BY CONTRACTOR)
• PICTURE AND RECORD DRAWINGS (PROVIDED BY CONTRACTOR)

RECORD DRAWING REQUIREMENTS:

- 1. A CLEAN SET OF UP TO DATE RECORD DRAWINGS IS TO BE AVAILABLE FOR REVIEW ON SITE AT ALL TIMES. FOR JOBS LASTING MORE THAN 4 WEEKS A REVIEW OF THE RECORD DRAWINGS WILL BE DONE BY THE ENGINEER EVERY 2 WEEKS AND COMMENTS OR DEFICIENCIES MAY BE PROVIDED.
2. TIES TO ALL BENDS, VALVES, JOINTS, CONNECTIONS AND DESIGN FEATURES SHALL BE PROVIDED. TIES SHALL BE PULLED FROM EASILY LOCATABLE PERMANENT ABOVE GROUND FEATURES THAT ARE VISIBLE YEAR AROUND SUCH AS BUILDING CORNERS, HYDRANTS, SEWER AND STORM DRAIN COVERS THAT WILL BE CLEARED IN WINTER. UTILITY POLES, ETC. REFRAIN FROM PROVIDING TIES WITH ACUTE ANGLES. TIES SHOULD BE PULLED AT ANGLES AS CLOSE TO 90 DEGREES AS POSSIBLE. TIES WITH ANGLES TOO ACUTE MAY BE REJECTED.
3. RECORD INFORMATION NEEDS TO BE PROVIDED ON THE APPROPRIATE DESIGN PLANS ON A WEEKLY BASIS. RECORD INFORMATION REGARDING TCE DESIGN ITEMS PLACED ON INAPPROPRIATE DESIGN PLANS WILL NOT BE ACCEPTED.
4. TCE WILL ACCEPT ELECTRONIC RECORD COORDINATE INFORMATION, REFERENCED TO THE PROJECT DATUM. ELECTRONIC DATA SHALL BE COMPUTER-AIDED DESIGN (CAD) FILES INCLUDING NATIVE FILE FORMATS (DWG).
5. IF ENGINEERING SERVICES FOR BI-WEEKLY REVIEW OF RECORD INFORMATION HAVE NOT BEEN OBTAINED FOR THE PROJECT ALL RECORD INFORMATION FOR TCE DESIGN ITEMS SHALL BE PROVIDED TO TCE WITHIN 7 BUSINESS DAYS OF THE COMPLETION OF THE WORK.
6. PLANS SUBMITTED AT THE END OF THE PROJECT SHALL BE REVIEWED FOR COMPLETENESS. ALL REQUIREMENTS LISTED ABOVE APPLY.
7. IF DESIGN FEATURES WERE INSTALLED EXACTLY PER THE DESIGN PLANS TIES TO THE FEATURE ARE STILL REQUIRED TO BE PROVIDED BY THE CONTRACTOR FOR THE OWNERS USE. ANY FEATURE NOT INDICATED AS DIFFERENT IN RED WILL BE CONSIDERED TO BE EXACTLY PER DESIGN.
8. RECORD INFORMATION SHALL INCLUDE BOTH VERTICAL AND HORIZONTAL LOCATIONS. THIS INCLUDES BUT IS NOT LIMITED TO FINISHED FLOOR ELEVATIONS, RIMS AND INVERTS OF STRUCTURES AND PIPING, INVERTS AT CROSSINGS, ETC.
9. ANY UTILITIES ENCOUNTERED THAT ARE NOT SHOWN ON THE PLANS SHALL BE ADDED TO THE PLANS WITH APPROPRIATE TIES.
10. TIES SHALL INCLUDE ALL UTILITIES INSTALLED BY CONTRACTOR WHICH INCLUDE BUT ARE NOT LIMITED TO SEWER, WATER, ELECTRIC, CABLE, TELEPHONE, GAS, ETC.
11. RECORD DRAWINGS SHALL BE SUPPLIED ON BOTH HARD COPY AND ELECTRONIC DATA. ELECTRONIC DATA SHALL BE COMPUTER-AIDED DESIGN (CAD) FILES INCLUDING NATIVE FILE FORMATS (DWG).
12. THE CONTRACTOR SHALL SUBMIT ON A WEEKLY BASIS PROJECT PHOTOGRAPHS. THE INFORMATION WILL BE SUBMITTED TO THE ENGINEER IN ELECTRONIC FORMAT WITH EACH PICTURE BEING LABELED BY DATE, LOCATION AND ACTIVITY. AT A MINIMUM THE CONTRACTOR WILL SUBMIT PICTURES OF ALL THRUST BLOCKS, CONNECTIONS TO EXISTING FACILITIES AND STRUCTURES BEFORE AND AFTER BACKFILL. PROVIDE AUXILIARY LIGHTING AS REQUIRED TO PRODUCE CLEAR, WELL-LIT PHOTOGRAPHS WITHOUT OBSCURING SHADOWS. THE CONTRACTOR SHALL MAINTAIN ONE CHECK SET OF PHOTOGRAPHS AT THE SITE FOR REFERENCE. UPON REQUEST THE CONTRACTOR SHALL PROVIDE PICTURES OF VARIOUS AREAS DEEMED NECESSARY BY THE ENGINEER OR OWNER.
13. CERTIFICATIONS BY THE ENGINEER AND SUCCESSFUL TEST RESULTS DO NOT RELIEVE THE CONTRACTOR OF FULL COMPLIANCE WITH THE DESIGN PLANS. SPECIFICATIONS AND PERMITS SHOULD A DEFICIENCY BE DISCOVERED AFTER SAID CERTIFICATION OR TESTING.

SPAN: 20706614229
PARCEL: 1006013000

- Use of These Drawings
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For Permitting Only

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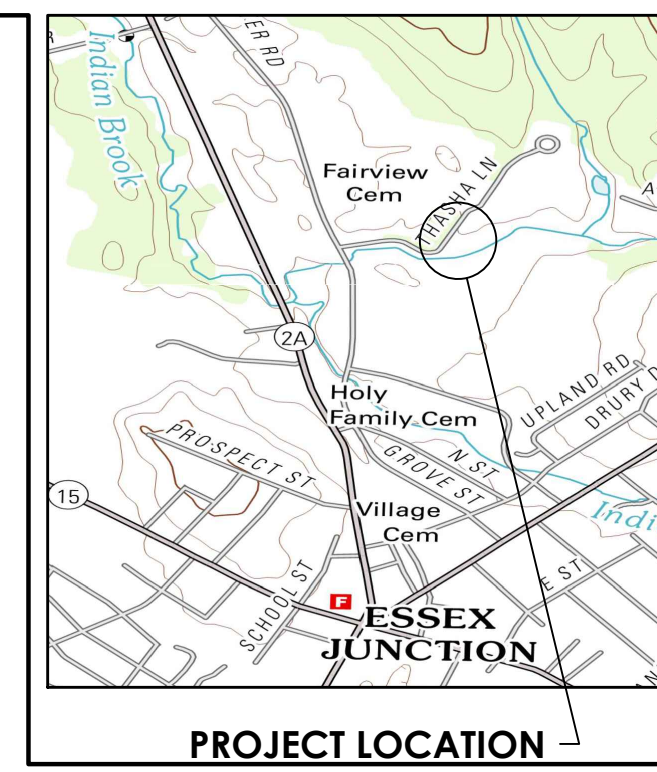
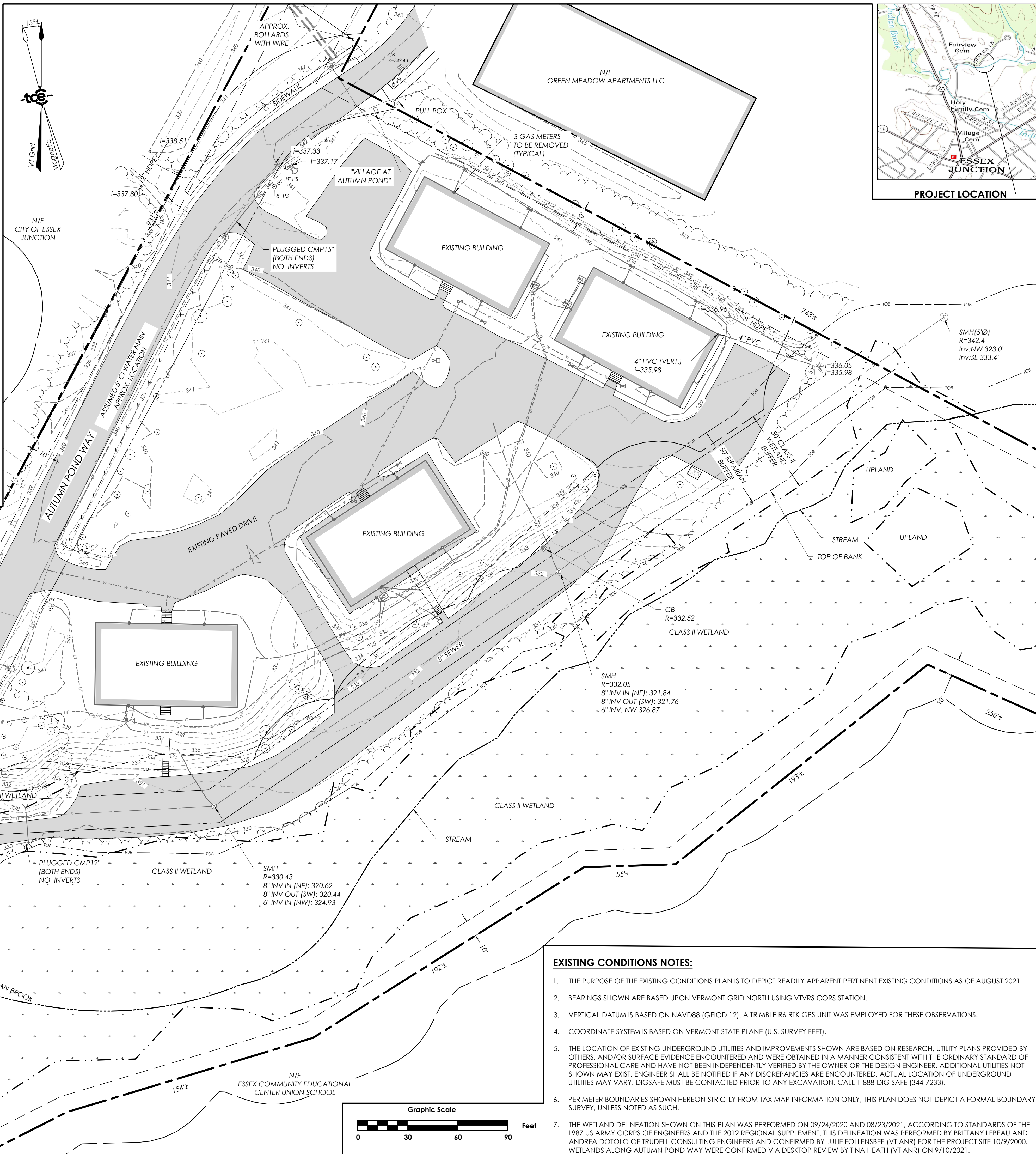
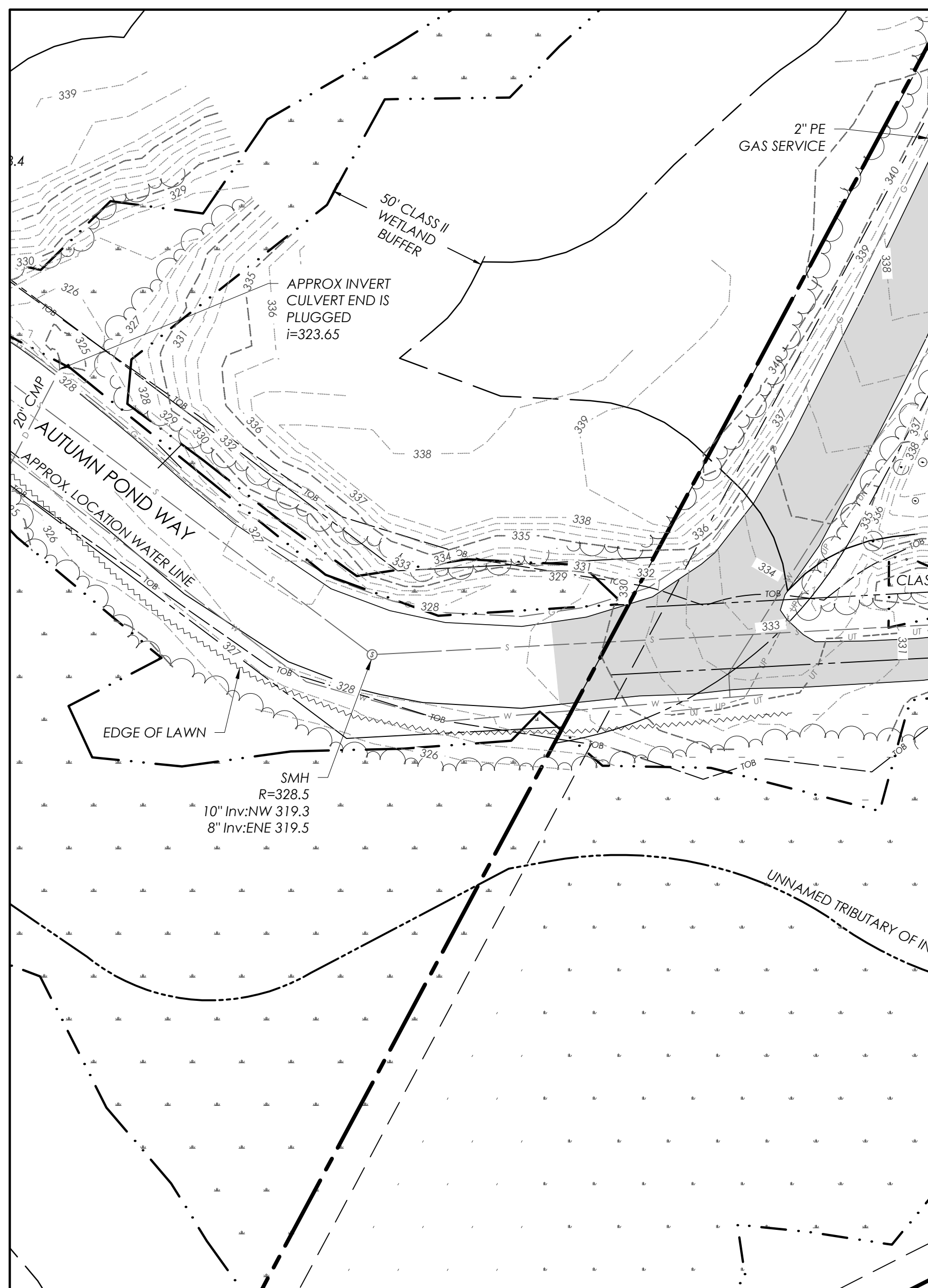
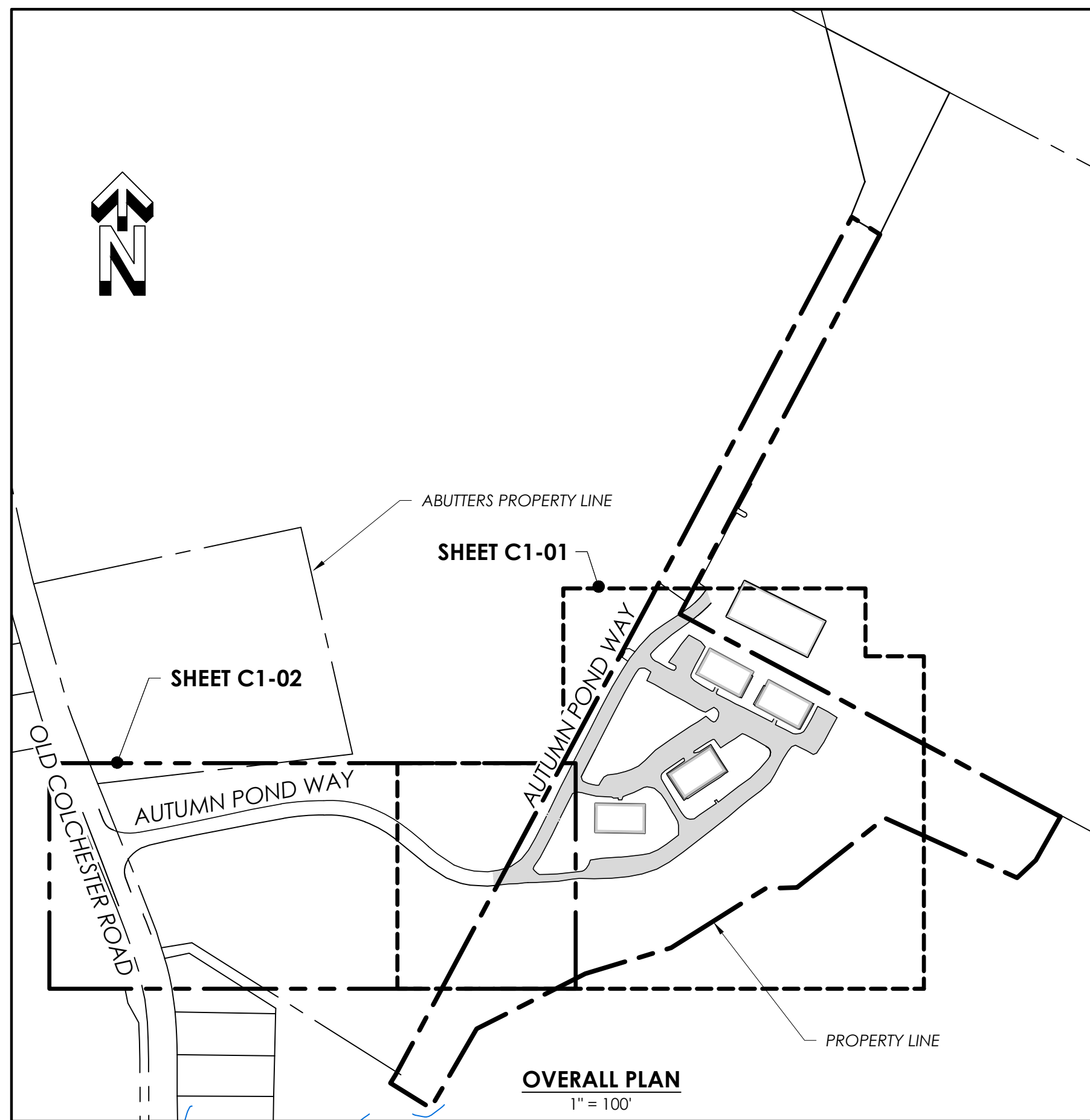
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Essex Junction, Vermont

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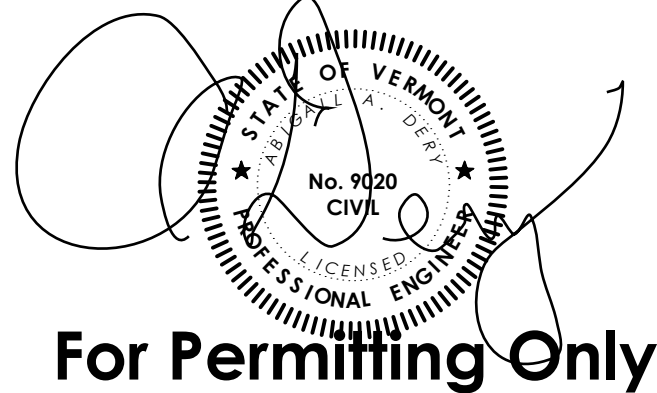
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C1-00



Revisions	No.	Description	Date	By
△	1	Issued for Permits	11/18/22	AAD
△	2	City Comments	01/05/23	AAD

SPAN: 20706614229 PARCEL: 1006013000
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For Permitting Only

Autumn Pond Phase II
 169 Autumn Pond Way
 Essex Junction, Vermont

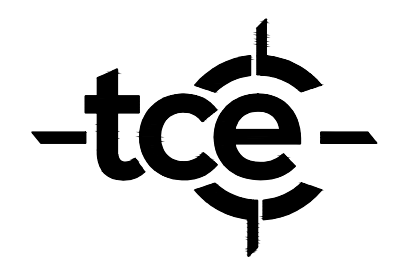
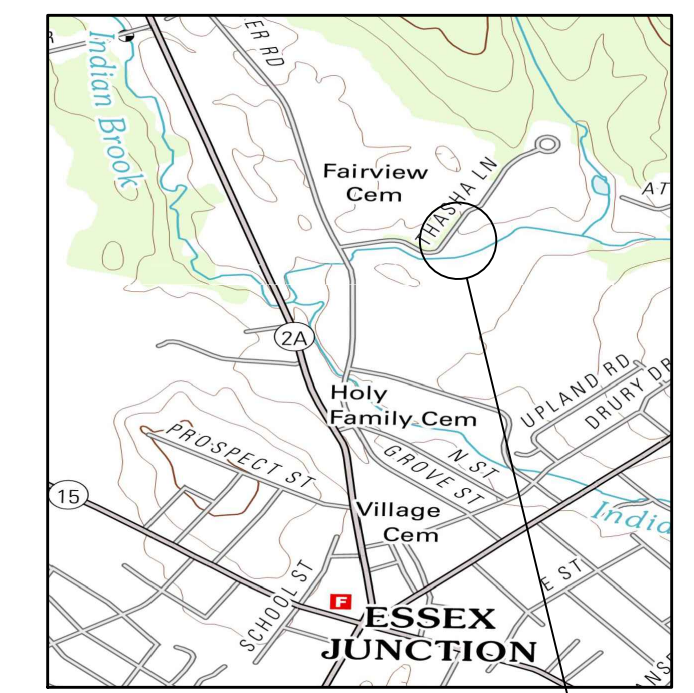
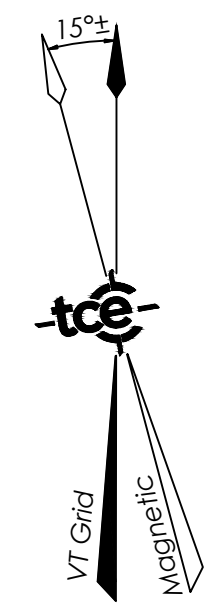
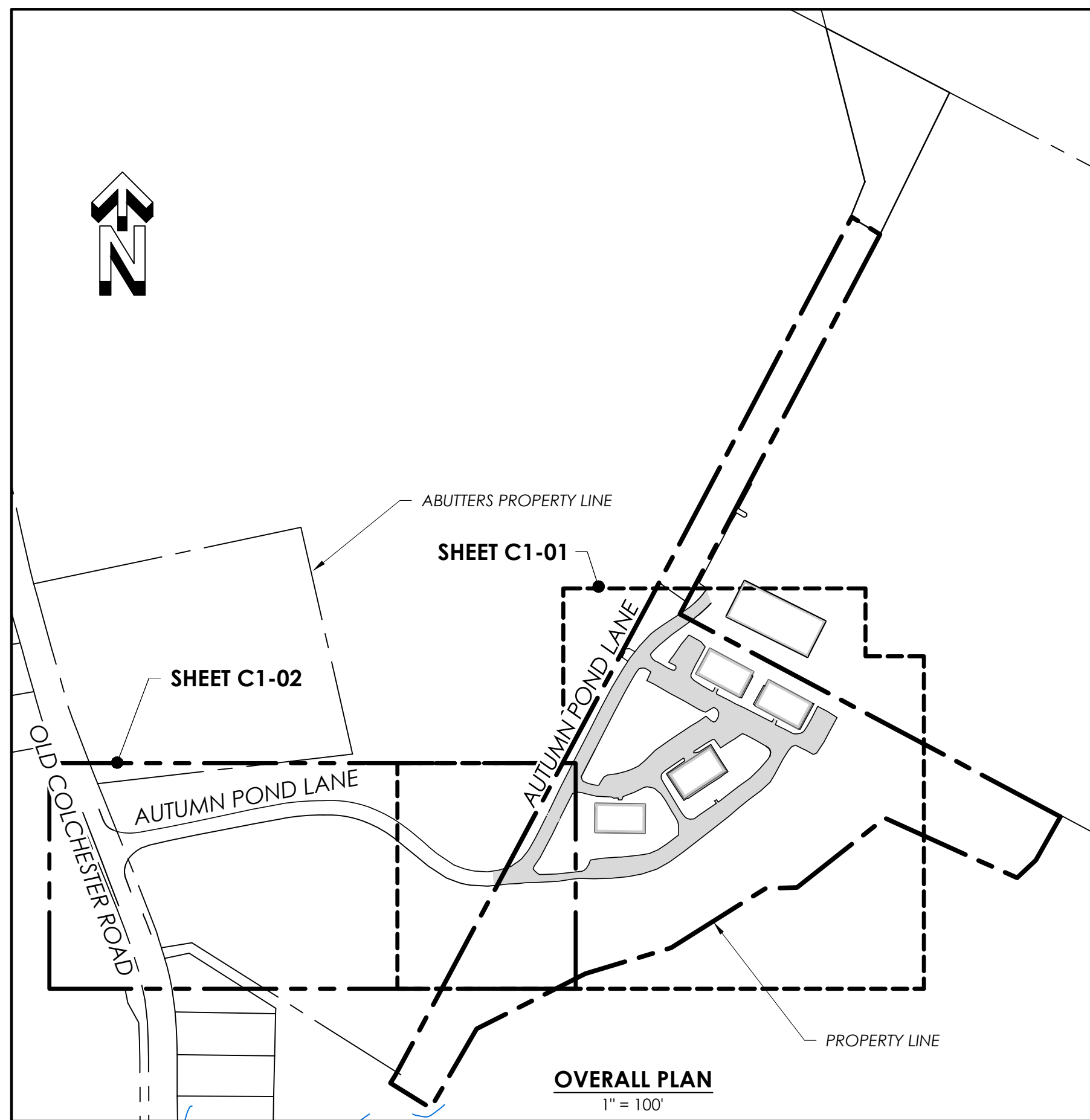
Sheet Title

Existing Conditions - Site

Date:	09/30/2022
Scale:	1" = 30'
Project Number:	20-247
Drawn By:	
Project Engineer:	AAD
Approved By:	
Field Book:	

- EXISTING CONDITIONS NOTES:**
- THE PURPOSE OF THE EXISTING CONDITIONS PLAN IS TO DEPICT READILY APPARENT PERTINENT EXISTING CONDITIONS AS OF AUGUST 2021
 - BEARINGS SHOWN ARE BASED UPON VERMONT GRID NORTH USING VTORS CORS STATION.
 - VERTICAL DATUM IS BASED ON NAVD88 (GEOID 12). A TRIMBLE R6 RTK GPS UNIT WAS EMPLOYED FOR THESE OBSERVATIONS.
 - COORDINATE SYSTEM IS BASED ON VERMONT STATE PLANE (U.S. SURVEY FEET).
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS SHOWN ARE BASED ON RESEARCH, UTILITY PLANS PROVIDED BY OTHERS, AND/OR SURFACE EVIDENCE ENCOUNTERED AND WERE OBTAINED IN A MANNER CONSISTENT WITH THE ORDINARY STANDARD OF PROFESSIONAL CARE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE DESIGN ENGINEER. ADDITIONAL UTILITIES NOT SHOWN MAY EXIST. ENGINEER SHALL BE NOTIFIED IF ANY DISCREPANCIES ARE ENCOUNTERED. ACTUAL LOCATION OF UNDERGROUND UTILITIES MAY VARY. DIGSAFE MUST BE CONTACTED PRIOR TO ANY EXCAVATION. CALL 1-888-DIG SAFE (344-7233).
 - PERIMETER BOUNDARIES SHOWN HEREON STRICTLY FROM TAX MAP INFORMATION ONLY. THIS PLAN DOES NOT DEPICT A FORMAL BOUNDARY SURVEY, UNLESS NOTED AS SUCH.
 - THE WETLAND DELINEATION SHOWN ON THIS PLAN WAS PERFORMED ON 09/24/2020 AND 08/23/2021. ACCORDING TO STANDARDS OF THE 1987 US ARMY CORPS OF ENGINEERS AND THE 2012 REGIONAL SUPPLEMENT. THIS DELINEATION WAS PERFORMED BY BRITANNY LEBEAU AND ANDREA DOTOLO OF TRUDELL CONSULTING ENGINEERS AND CONFIRMED BY JULIE FOLLENSBEE (VT ANR) FOR THE PROJECT SITE 10/9/2000. WETLANDS ALONG AUTUMN POND WAY WERE CONFIRMED VIA DESKTOP REVIEW BY TINA HEATH (VT ANR) ON 9/10/2021.

C1-01

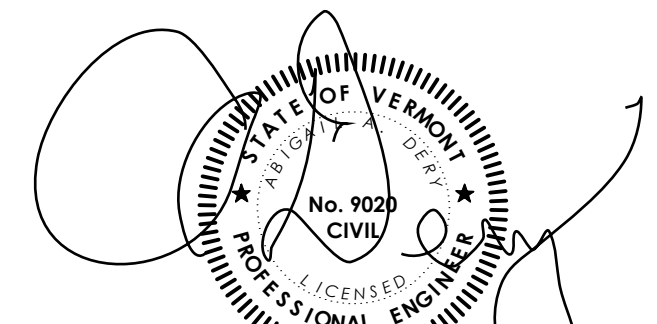
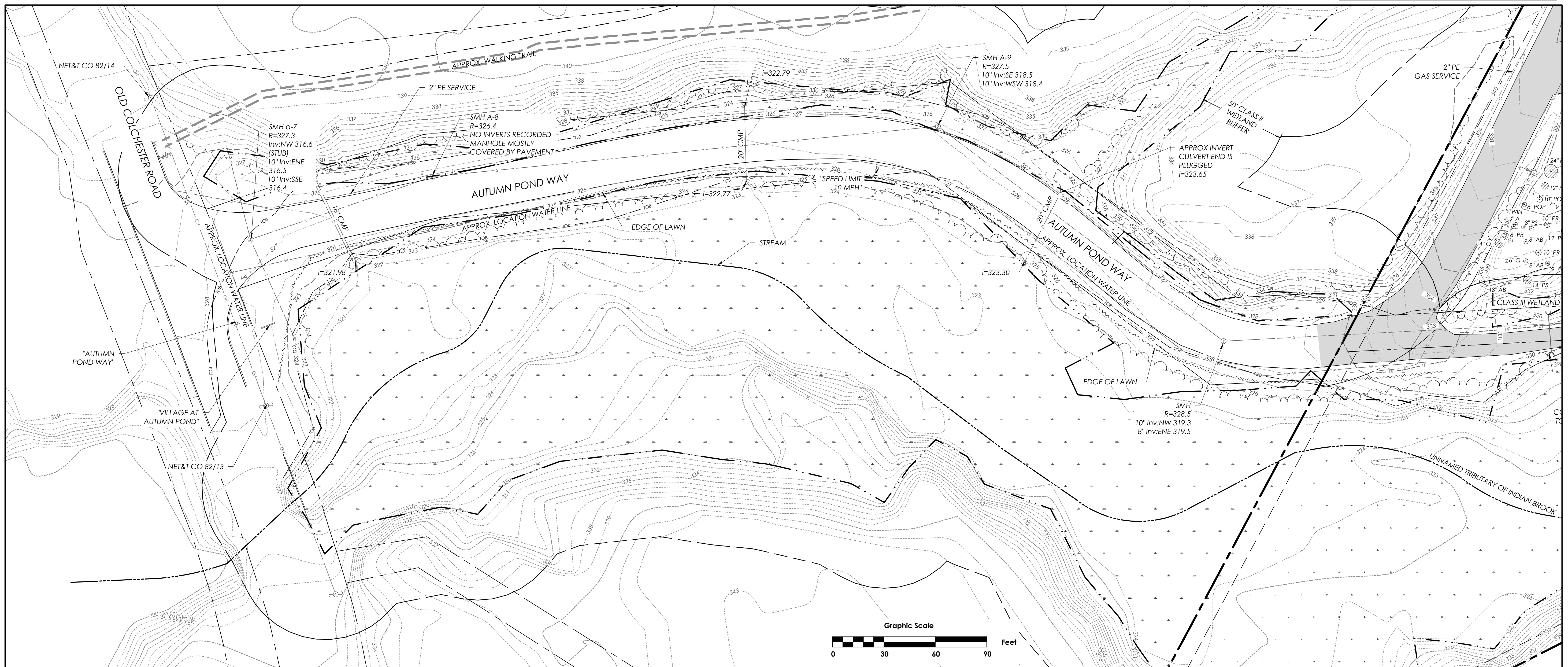


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Revisions	No.	Description	Date	By
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△	2	City Comments	01/05/23	AAD

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SEE C1-01 FOR EXISTING CONDITIONS NOTES



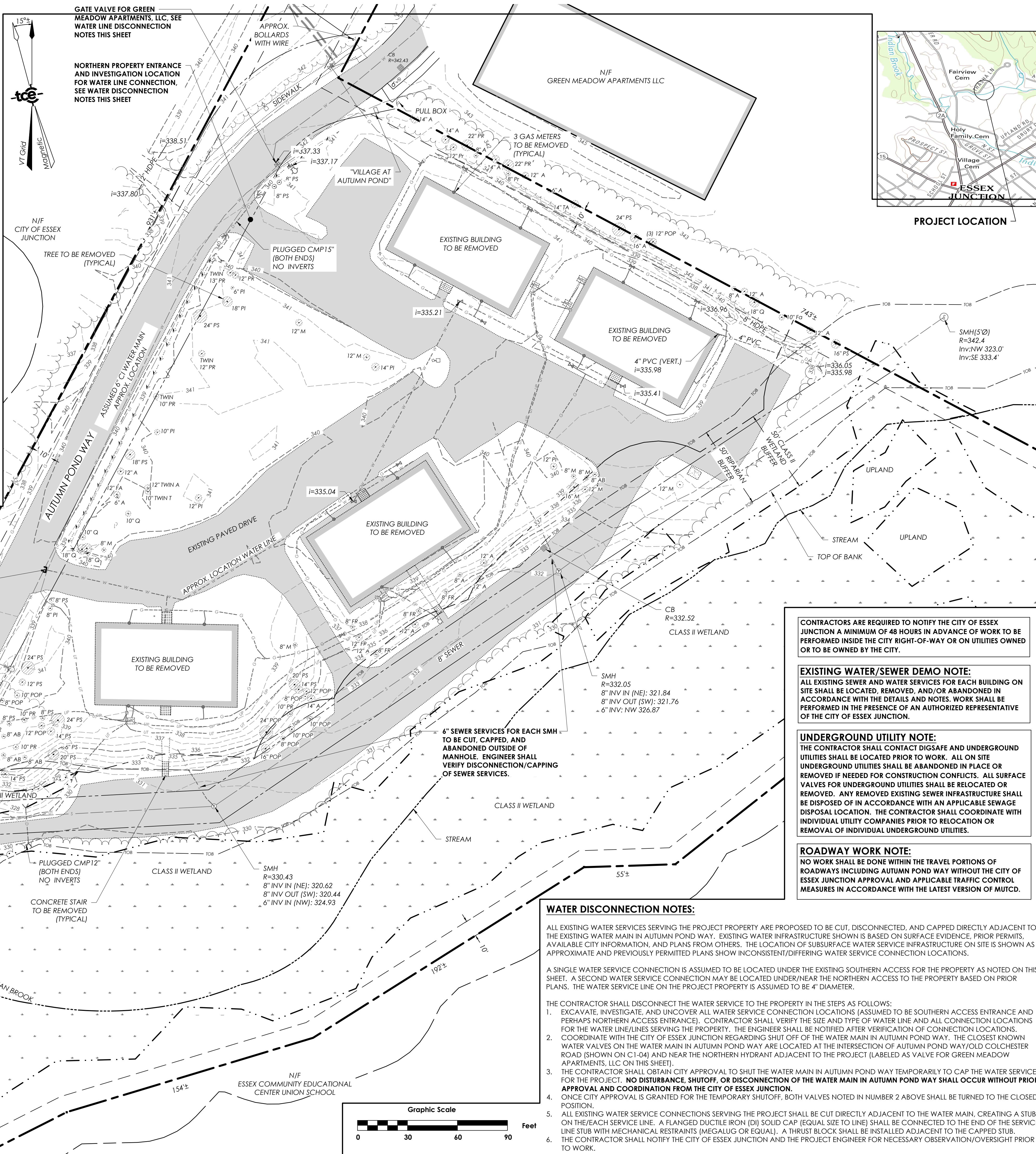
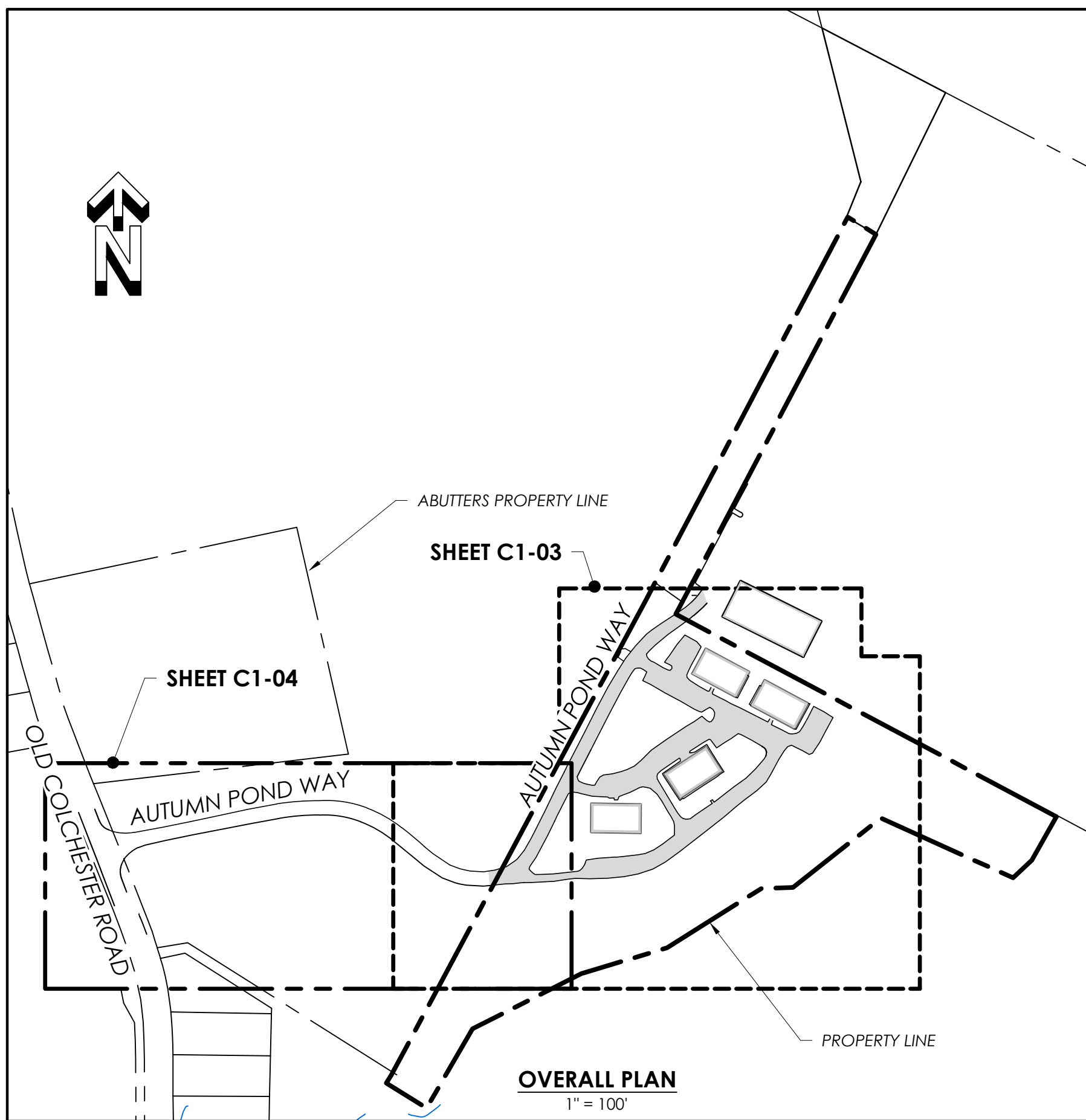
For Permitting Only

Project Title
Autumn Pond Phase II
169 Autumn Pond Way
Essex Junction, Vermont

Sheet Title
Existing Conditions - Autumn Pond Way

Date:	09/30/2022
Scale:	1" = 30'
Project Number:	20-247
Drawn By:	
Project Engineer:	AAD
Approved By:	
Field Book:	

C1-02



CONTRACTORS ARE REQUIRED TO NOTIFY THE CITY OF ESSEX JUNCTION A MINIMUM OF 48 HOURS IN ADVANCE OF WORK TO BE PERFORMED INSIDE THE CITY RIGHT-OF-WAY OR ON UTILITIES OWNED OR TO BE OWNED BY THE CITY.

EXISTING WATER/SEWER DEMO NOTE:
ALL EXISTING SEWER AND WATER SERVICES FOR EACH BUILDING ON SITE SHALL BE LOCATED, REMOVED, AND/OR ABANDONED IN ACCORDANCE WITH THE DETAILS AND NOTES. WORK SHALL BE PERFORMED IN THE PRESENCE OF AN AUTHORIZED REPRESENTATIVE OF THE CITY OF ESSEX JUNCTION.

UNDERGROUND UTILITY NOTE:
THE CONTRACTOR SHALL CONTACT DIGSAFE AND UNDERGROUND UTILITIES SHALL BE LOCATED PRIOR TO WORK. ALL ON SITE UNDERGROUND UTILITIES SHALL BE ABANDONED IN PLACE OR REMOVED IF NEEDED FOR CONSTRUCTION CONFLICTS. ALL SURFACE VALVES FOR UNDERGROUND UTILITIES SHALL BE RELOCATED OR REMOVED. ANY REMOVED EXISTING SEWER INFRASTRUCTURE SHALL BE DISPOSED OF IN ACCORDANCE WITH AN APPLICABLE SEWAGE DISPOSAL LOCATION. THE CONTRACTOR SHALL COORDINATE WITH INDIVIDUAL UTILITY COMPANIES PRIOR TO RELOCATION OR REMOVAL OF INDIVIDUAL UNDERGROUND UTILITIES.

ROADWAY WORK NOTE:
NO WORK SHALL BE DONE WITHIN THE TRAVEL PORTIONS OF ROADWAYS INCLUDING AUTUMN POND WAY WITHOUT THE CITY OF ESSEX JUNCTION APPROVAL AND APPLICABLE TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE LATEST VERSION OF MUTCD.



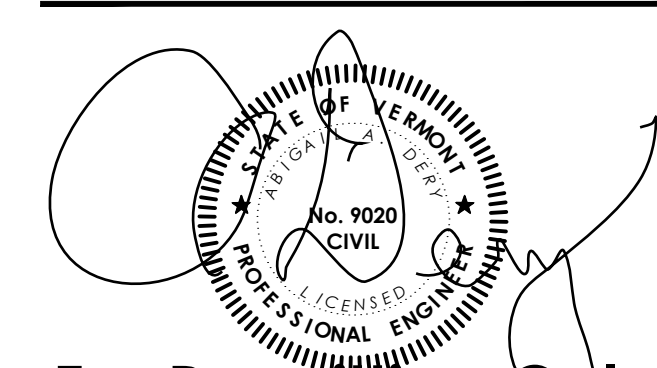
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Revisions	No.	Description	Date	By
△	1	Issued for Permits	11/18/22	AAD
△	2	City Comments	01/05/23	AAD
△	3	City Comments	03/24/23	AAD

SPAN: 20706614229 PARCEL: 1006013000

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Project Title

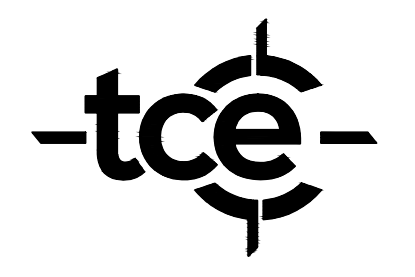
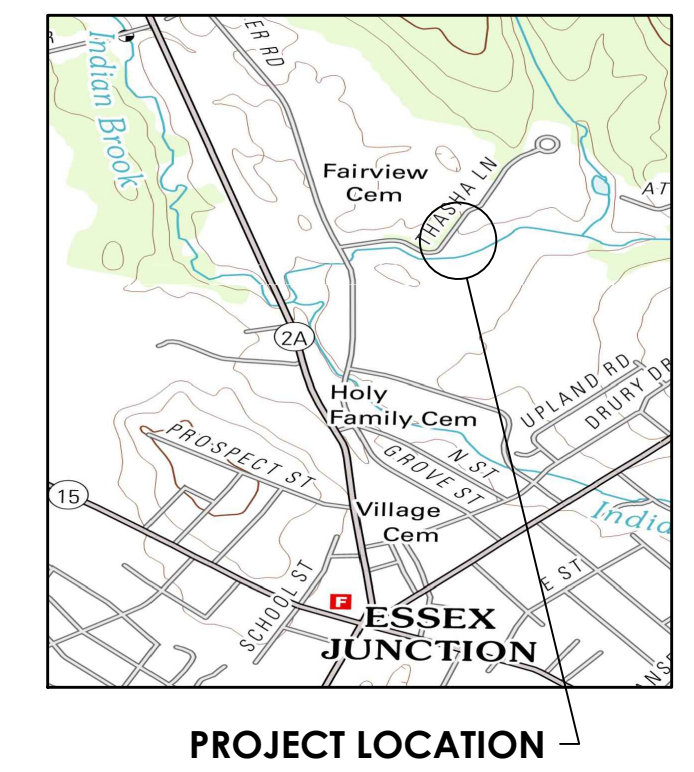
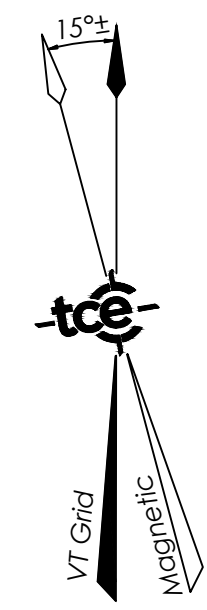
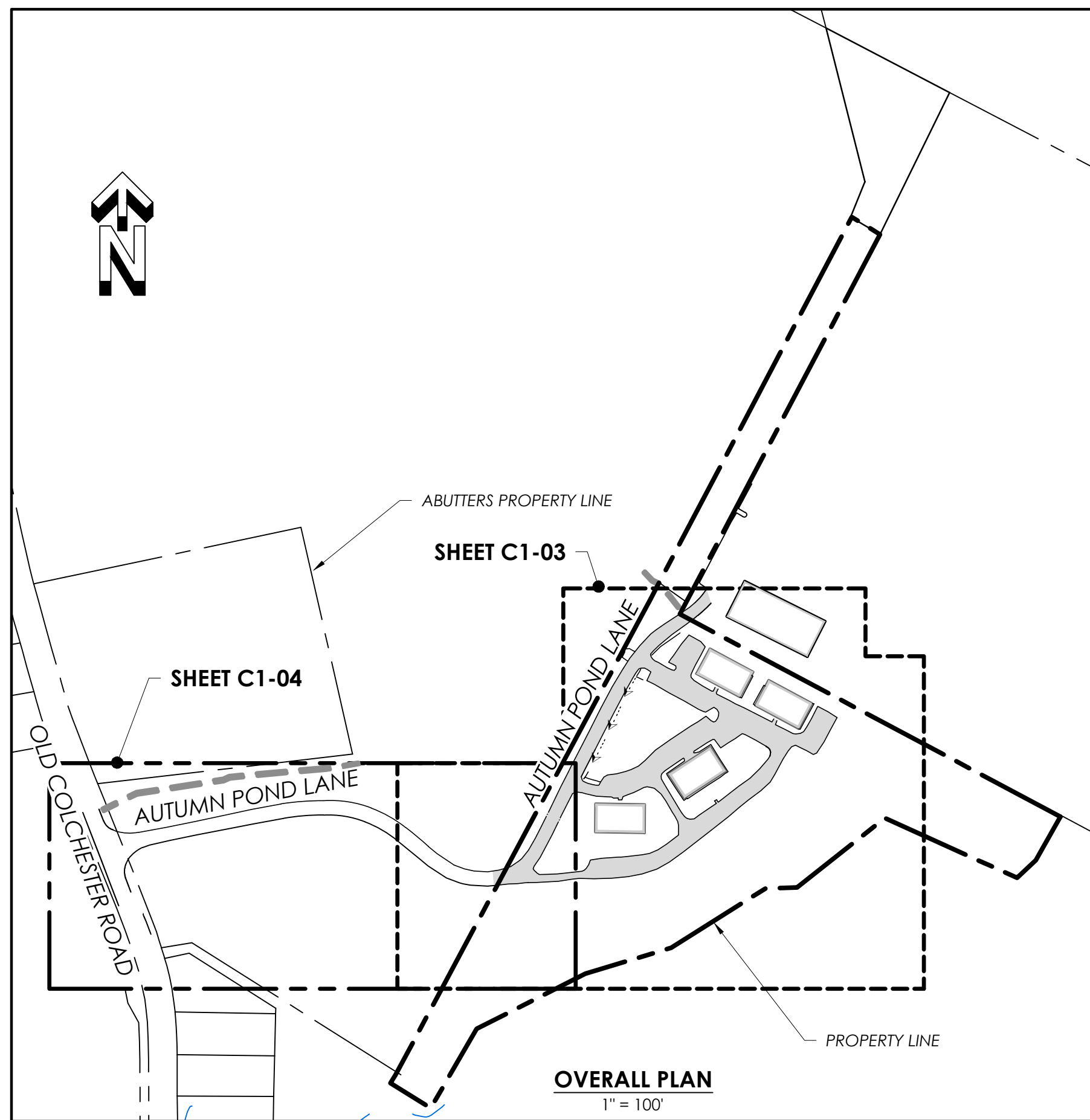
Autumn Pond Phase II
169 Autumn Pond Way
Essex Junction, Vermont

Sheet Title

Site Demolition Plan

Date:	09/30/2022
Scale:	1"=30'
Project Number:	20-247
Drawn By:	CMJ
Project Engineer:	AAD
Approved By:	
Field Book:	

C1-03



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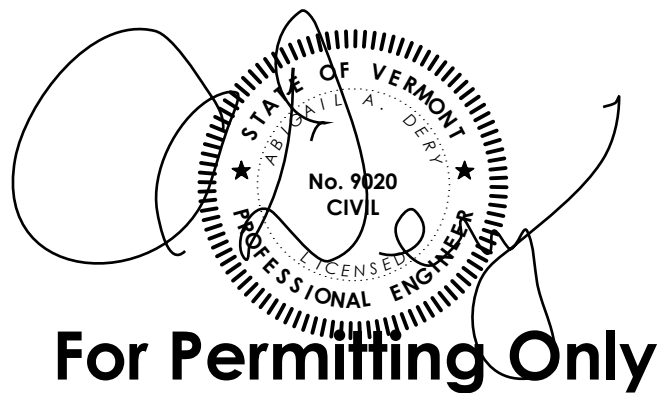
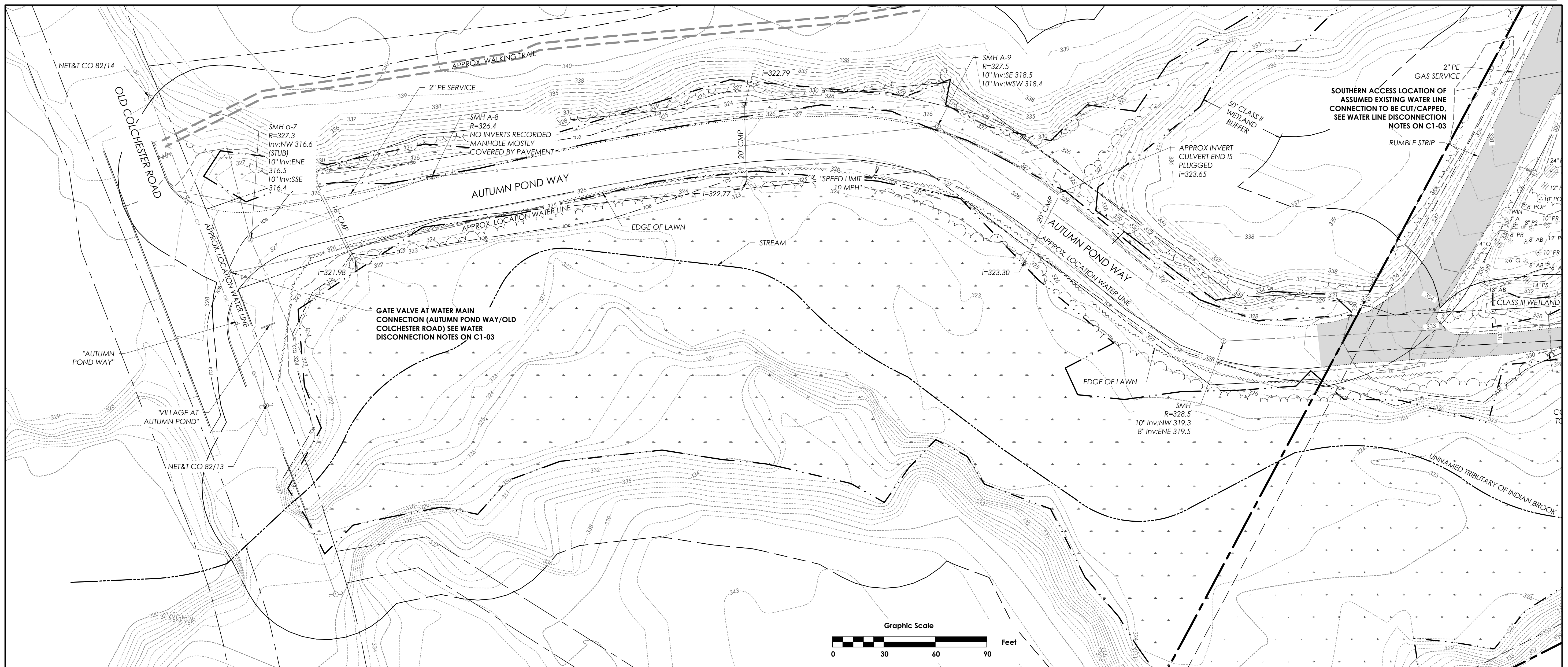
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△	1	Issued for Permits	11/18/22	AAD
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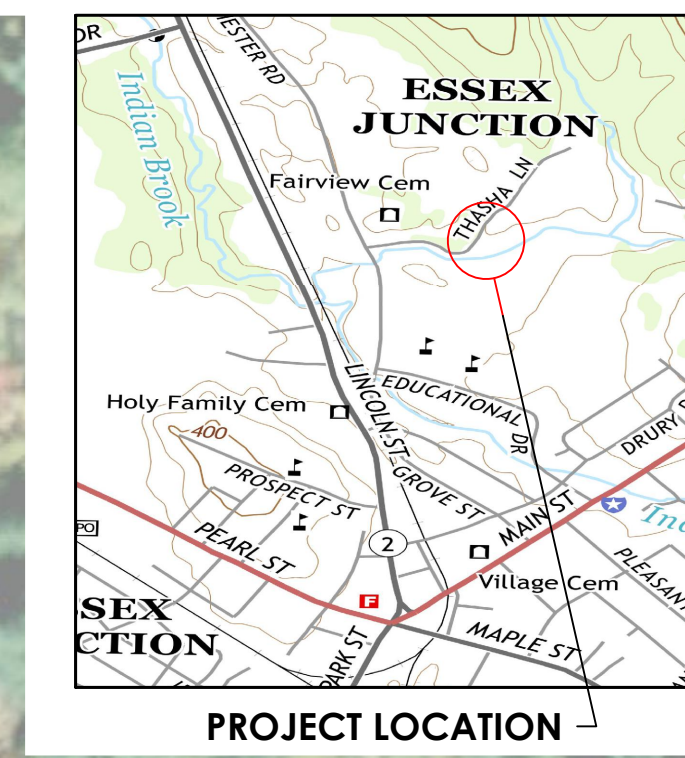
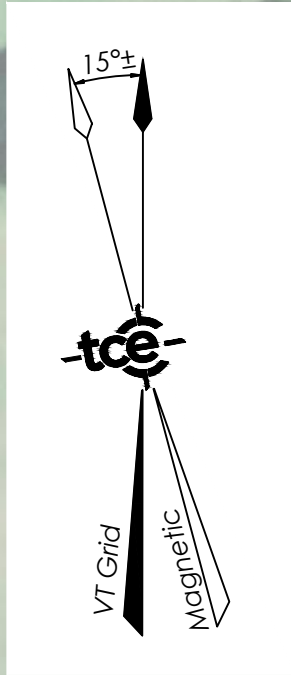


Project Title
Autumn Pond Phase II
169 Autumn Pond Way
Essex Junction, Vermont

Sheet Title
Autumn Pond Way Demolition Plan

Date:	09/30/2022
Scale:	1"=30'
Project Number:	20-247
Drawn By:	CMJ
Project Engineer:	AAD
Approved By:	
Field Book:	

C1-04

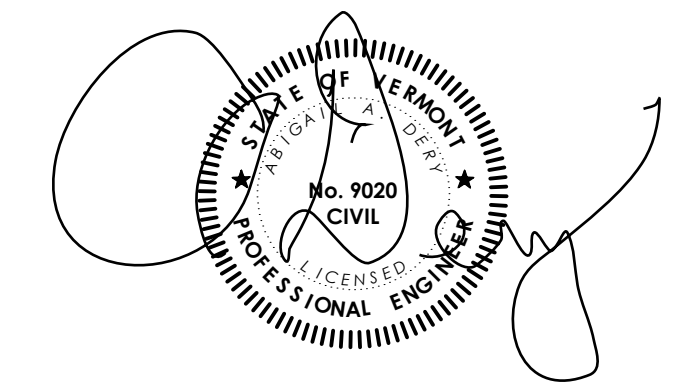


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Revisions	No.	Description	Date	By
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▲	2	City Comments	01/05/23	AAD
▲	3	City Comments	03/24/23	AAD

SPAN: 20706614229 PARCEL: 1006013000

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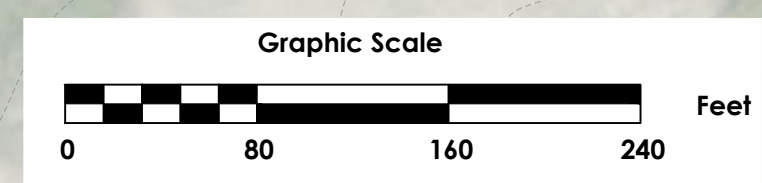
Project Title

**Autumn Pond
 Phase II**
 169 Autumn Pond Way
 Essex Junction, Vermont

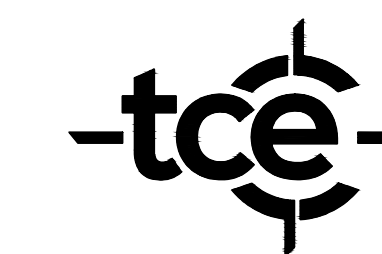
Sheet Title

Project Context

Date: 09/30/2022
 Scale: 1" = 80'
 Project Number: 20-247
 Drawn By: RMP
 Project Engineer: AAD
 Approved By:
 Field Book:

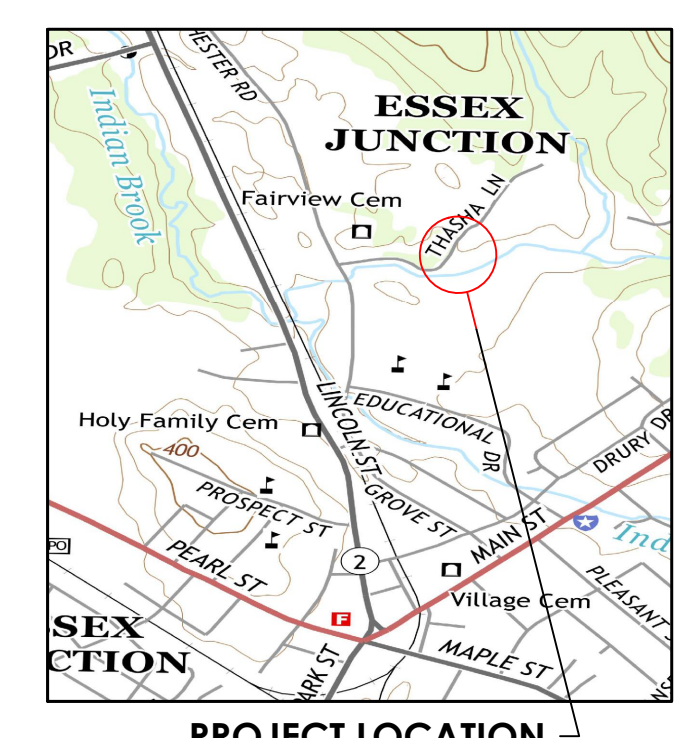


C2-00



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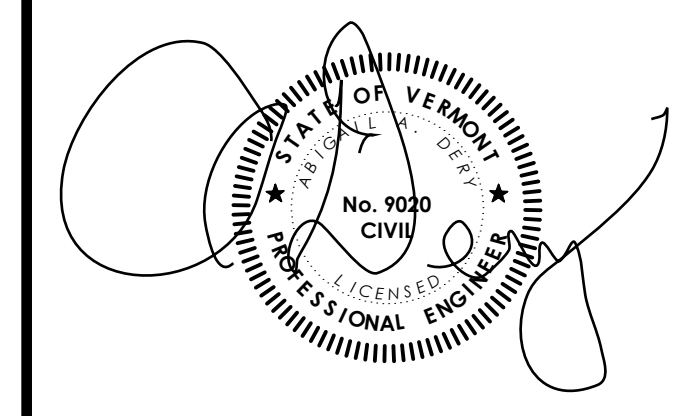
Revisions	No.	Description	Date	By
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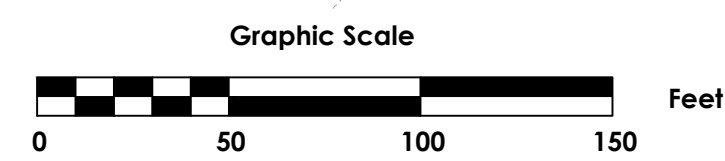
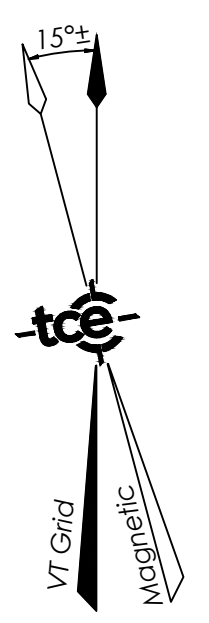
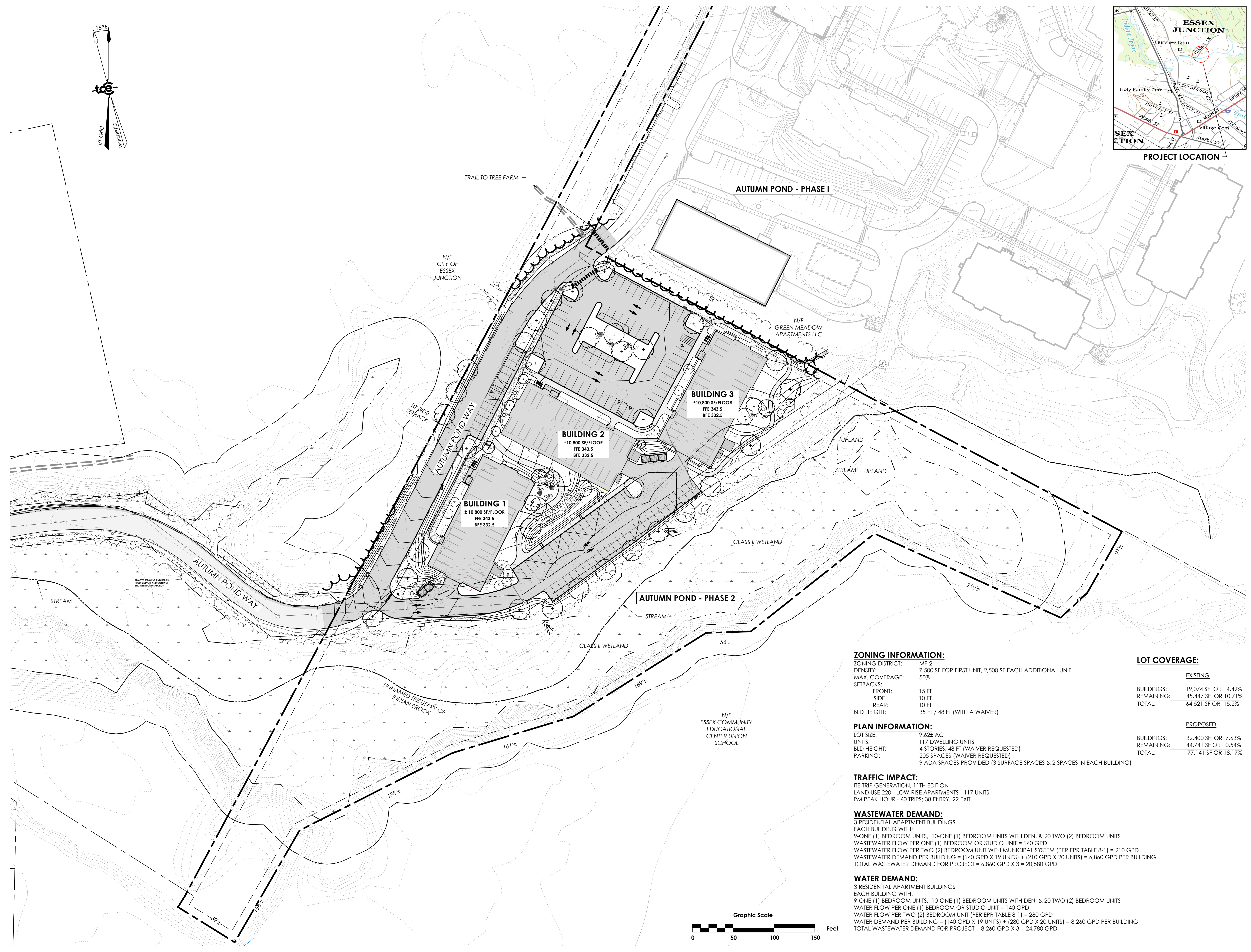
Autumn Pond Phase II
 169 Autumn Pond Way
 Essex Junction, Vermont

Sheet Title

Overall Site Plan

Date:	09/30/2022
Scale:	1" = 50'
Project Number:	20-247
Drawn By:	RMP
Project Engineer:	AAD
Approved By:	
Field Book:	

C2-01



ZONING INFORMATION:

ZONING DISTRICT: MF-2
 DENSITY: 7,500 SF FOR FIRST UNIT, 2,500 SF EACH ADDITIONAL UNIT
 MAX. COVERAGE: 50%
 SETBACKS:
 FRONT: 15 FT
 SIDE: 10 FT
 REAR: 10 FT
 BLD HEIGHT: 35 FT / 48 FT (WITH A WAIVER)

PLAN INFORMATION:

LOT SIZE: 9.62± AC
 UNITS: 117 DWELLING UNITS
 BLD HEIGHT: 4 STORIES, 48 FT (WAIVER REQUESTED)
 PARKING: 205 SPACES (WAIVER REQUESTED)
 9 ADA SPACES PROVIDED (3 SURFACE SPACES & 2 SPACES IN EACH BUILDING)

TRAFFIC IMPACT:

ITE TRIP GENERATION, 11TH EDITION
 LAND USE 220 - LOW-RISE APARTMENTS - 117 UNITS
 PM PEAK HOUR - 60 TRIPS; 38 ENTRY, 22 EXIT

WASTEWATER DEMAND:

3 RESIDENTIAL APARTMENT BUILDINGS
 EACH BUILDING WITH:
 9-ONE (1) BEDROOM UNITS, 10-ONE (1) BEDROOM UNITS WITH DEN, & 20 TWO (2) BEDROOM UNITS
 WASTEWATER FLOW PER ONE (1) BEDROOM OR STUDIO UNIT = 140 GPD
 WASTEWATER FLOW PER TWO (2) BEDROOM UNIT WITH MUNICIPAL SYSTEM (PER EPR TABLE 8-1) = 210 GPD
 WASTEWATER DEMAND PER BUILDING = (140 GPD X 19 UNITS) + (210 GPD X 20 UNITS) = 6,860 GPD PER BUILDING
 TOTAL WASTEWATER DEMAND FOR PROJECT = 6,860 GPD X 3 = 20,580 GPD

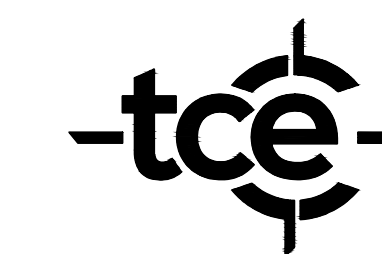
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 WATER FLOW PER TWO (2) BEDROOM UNIT (PER EPR TABLE 8-1) = 280 GPD
 WATER DEMAND PER BUILDING = (140 GPD X 19 UNITS) + (280 GPD X 20 UNITS) = 8,260 GPD PER BUILDING
 TOTAL WASTEWATER DEMAND FOR PROJECT = 8,260 GPD X 3 = 24,780 GPD

LOT COVERAGE:

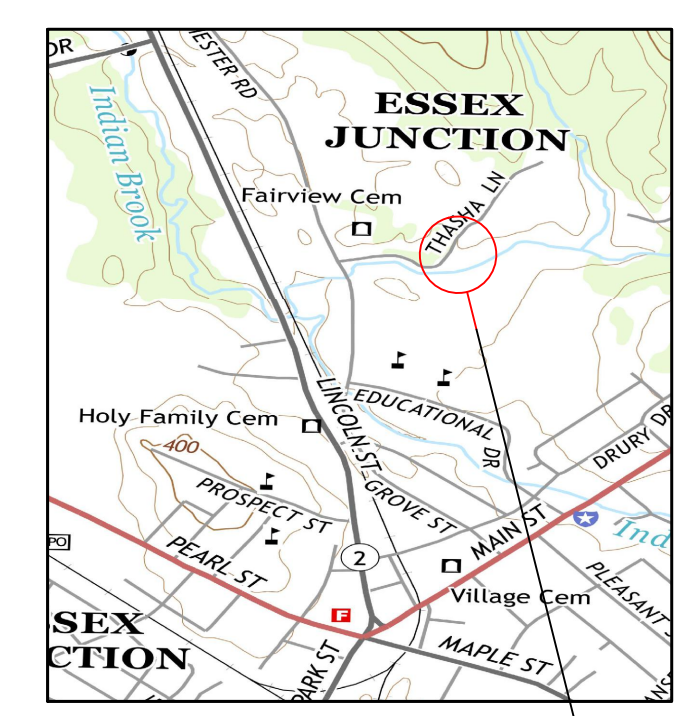
EXISTING
 BUILDINGS: 19,074 SF OR 4.49%
 REMAINING: 45,447 SF OR 10.71%
 TOTAL: 64,521 SF OR 15.2%

PROPOSED
 BUILDINGS: 32,400 SF OR 7.63%
 REMAINING: 44,741 SF OR 10.54%
 TOTAL: 77,141 SF OR 18.17%



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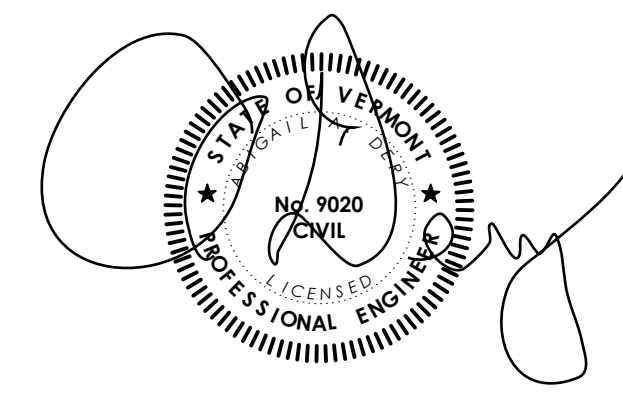
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SPAN: 20706614229 PARCEL: 1006013000

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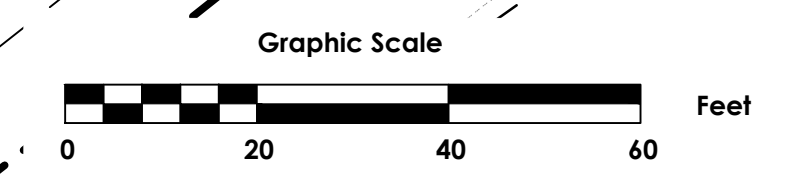
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Project Title
Autumn Pond Phase II
 169 Autumn Pond Way
 Essex Junction, Vermont

Sheet Title
Layout & Materials

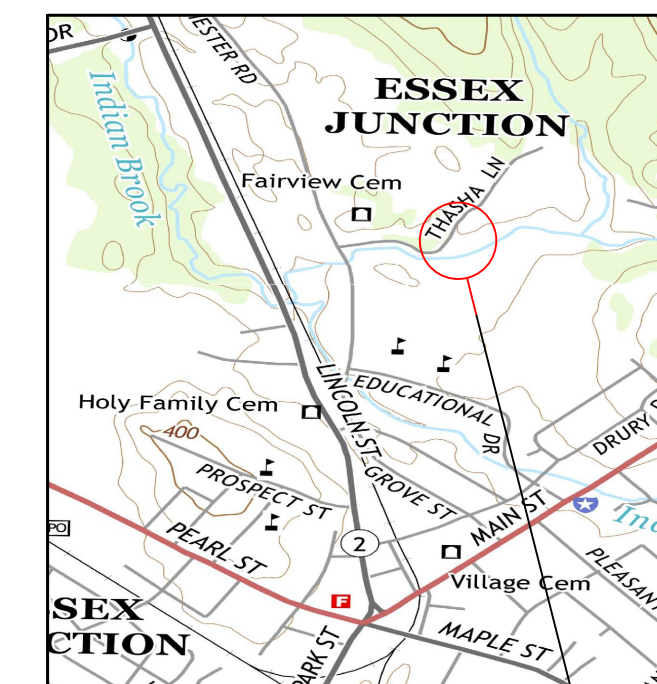
Date:	09/30/2022
Scale:	1" = 20'
Project Number:	20-247
Drawn By:	RMP/AAD
Project Engineer:	AAD
Approved By:	
Field Book:	



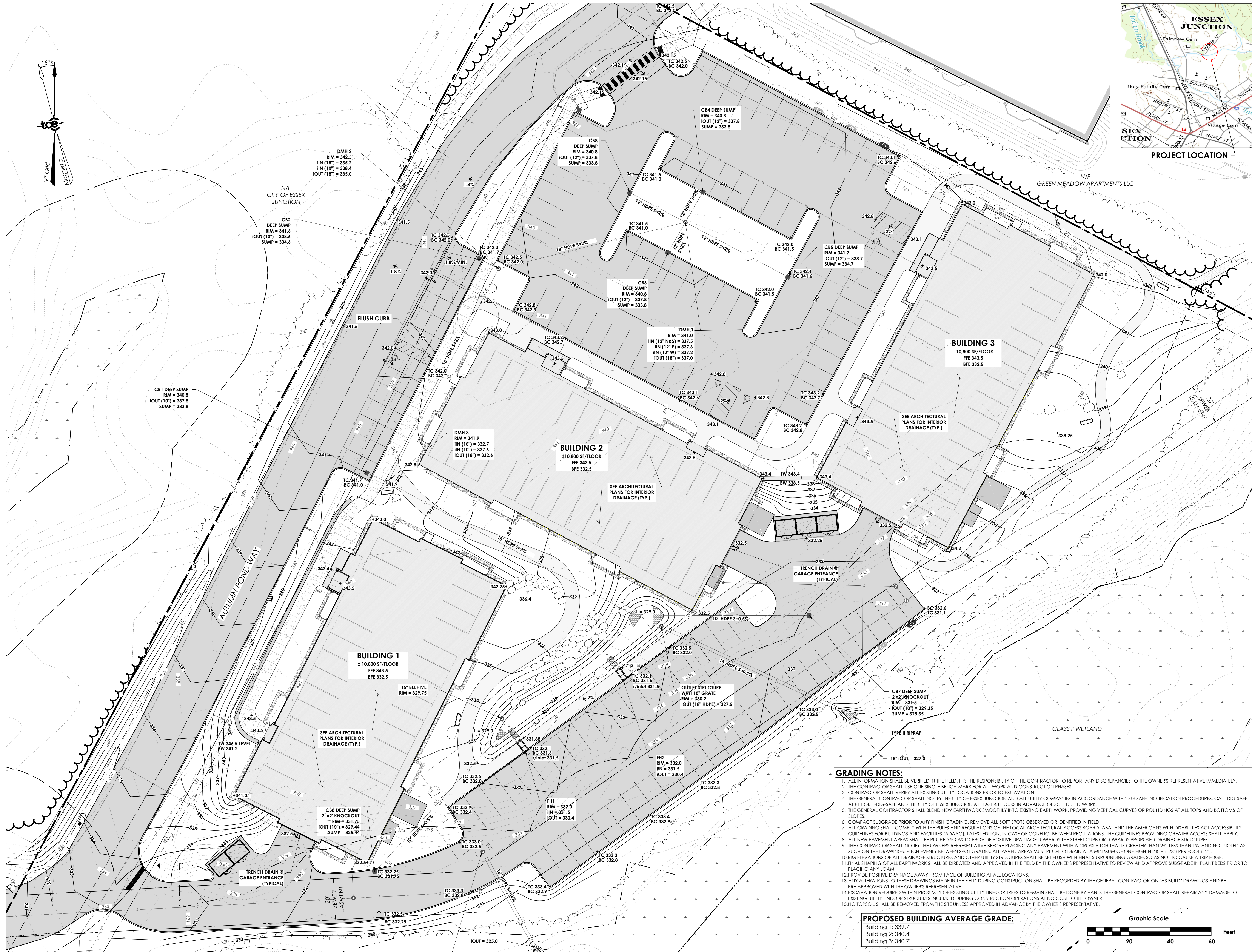
C2-02



Revisions	No.	Description	Date	By
△	1	Issued for Permits	11/18/22	AAD
△	2	City Comments	01/05/23	AAD
△	3	City Comments	03/24/23	AAD

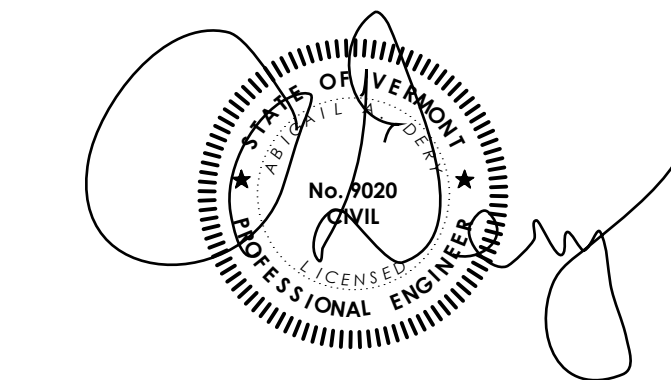


PROJECT LOCATION



SPAN: 20706614229 PARCEL: 1006013000

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Project Title

Autumn Pond Phase II
169 Autumn Pond Way
Essex Junction, Vermont

Sheet Title

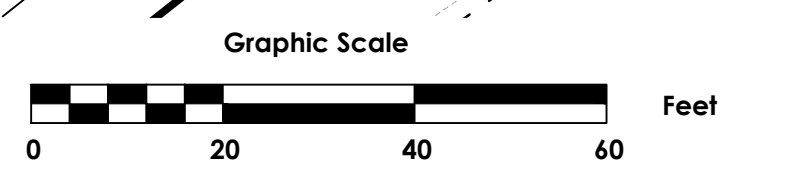
Grading Plan

Date:	09/30/2022
Scale:	1" = 20'
Project Number:	20-247
Drawn By:	
Project Engineer:	AAD
Approved By:	
Field Book:	

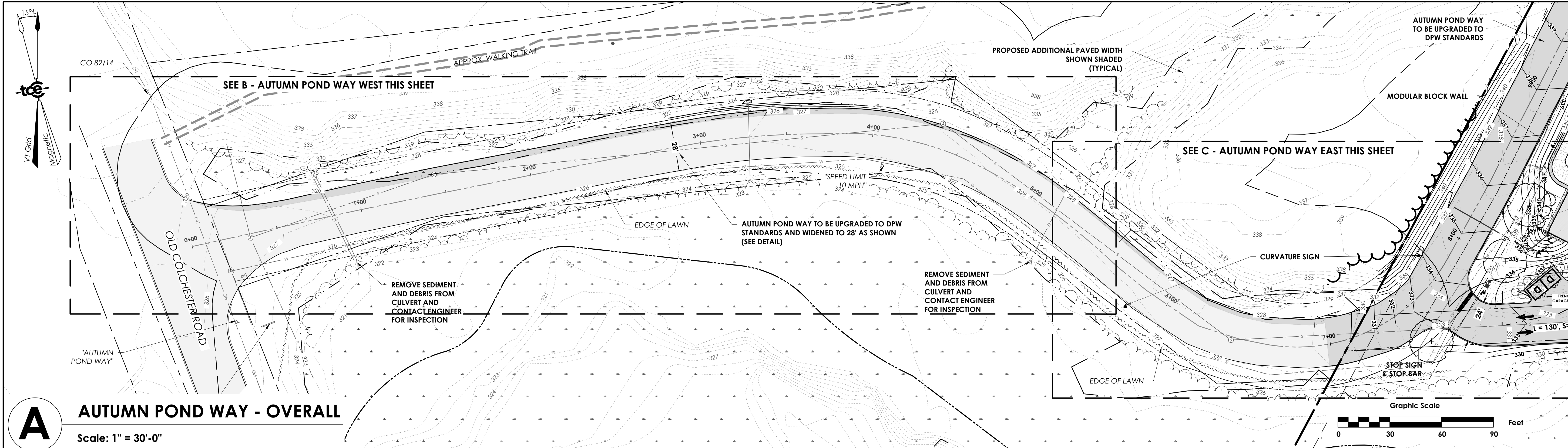
- GRADING NOTES:**
- ALL INFORMATION SHALL BE VERIFIED IN THE FIELD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
 - THE CONTRACTOR SHALL USE ONE SINGLE BENCHMARK FOR ALL WORK AND CONSTRUCTION PHASES.
 - CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
 - THE GENERAL CONTRACTOR SHALL NOTIFY THE CITY OF ESSEX JUNCTION AND ALL UTILITY COMPANIES IN ACCORDANCE WITH "DIG-SAFE" NOTIFICATION PROCEDURES. CALL DIG-SAFE AT 811 OR 1-DIG-SAFE AND THE CITY OF ESSEX JUNCTION AT LEAST 48 HOURS IN ADVANCE OF SCHEDULED WORK.
 - THE GENERAL CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING EARTHWORK, PROVIDING VERTICAL CURVES OR ROUNDINGS AT ALL TOPS AND BOTTOMS OF SLOPES.
 - COMPACT SUBGRADE PRIOR TO ANY FINISH GRADING. REMOVE ALL SOFT SPOTS OBSERVED OR IDENTIFIED IN FIELD.
 - ALL GRADING SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE LOCAL ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), LATEST EDITION IN CASE OF CONFLICT BETWEEN REGULATIONS, THE GUIDELINES PROVIDING GREATER ACCESS SHALL APPLY.
 - ALL NEW PAVEMENT AREAS SHALL BE PITCHED SO AS TO PROVIDE POSITIVE DRAINAGE TOWARDS THE STREET CURB OR TOWARDS PROPOSED DRAINAGE STRUCTURES.
 - THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE BEFORE PLACING ANY PAVEMENT WITH A CROSS PITCH THAT IS GREATER THAN 2%, LESS THAN 1%, AND NOT NOTED AS SUCH ON THE DRAWINGS. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF ONE-EIGHTH INCH (1/8") PER FOOT (12").
 10. RIM ELEVATIONS OF ALL DRAINAGE STRUCTURES AND OTHER UTILITY STRUCTURES SHALL BE SET FLUSH WITH FINAL SURROUNDING GRADES SO AS NOT TO CAUSE A TRIP EDGE.
 11. FINAL SHAPING OF ALL EARTHWORK SHALL BE DIRECTED AND APPROVED IN THE FIELD BY THE OWNER'S REPRESENTATIVE TO REVIEW AND APPROVE SUBGRADE IN PLANT BEDS PRIOR TO PLACING ANY LOAM.
 12. PROVIDE POSITIVE DRAINAGE AWAY FROM FACE OF BUILDING AT ALL LOCATIONS.
 13. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR ON "AS BUILT" DRAWINGS AND BE PRE-APPROVED WITH THE OWNER'S REPRESENTATIVE.
 14. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES OR TREES TO REMAIN SHALL BE DONE BY HAND. THE GENERAL CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
 15. NO TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE.

PROPOSED BUILDING AVERAGE GRADE:

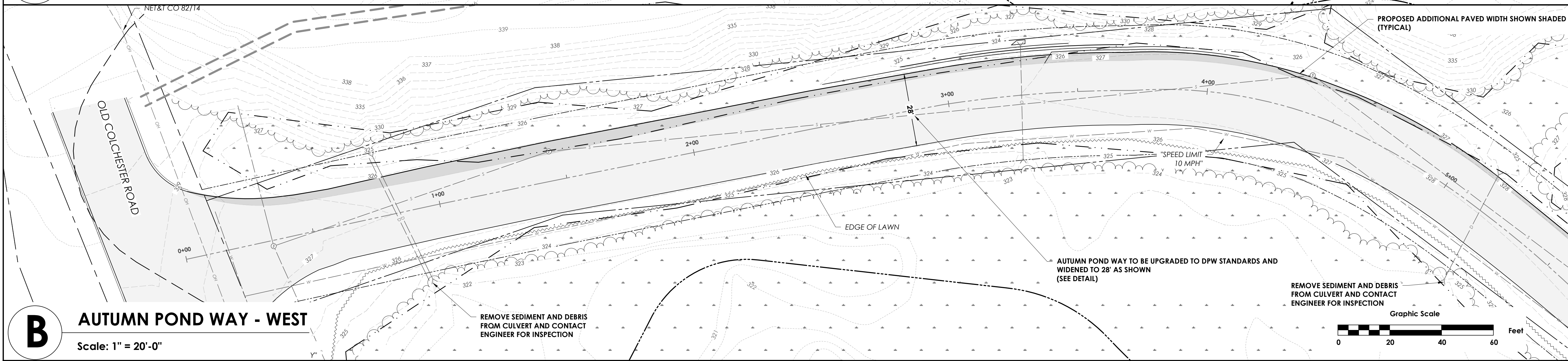
Building 1:	339.7'
Building 2:	340.4'
Building 3:	340.7'



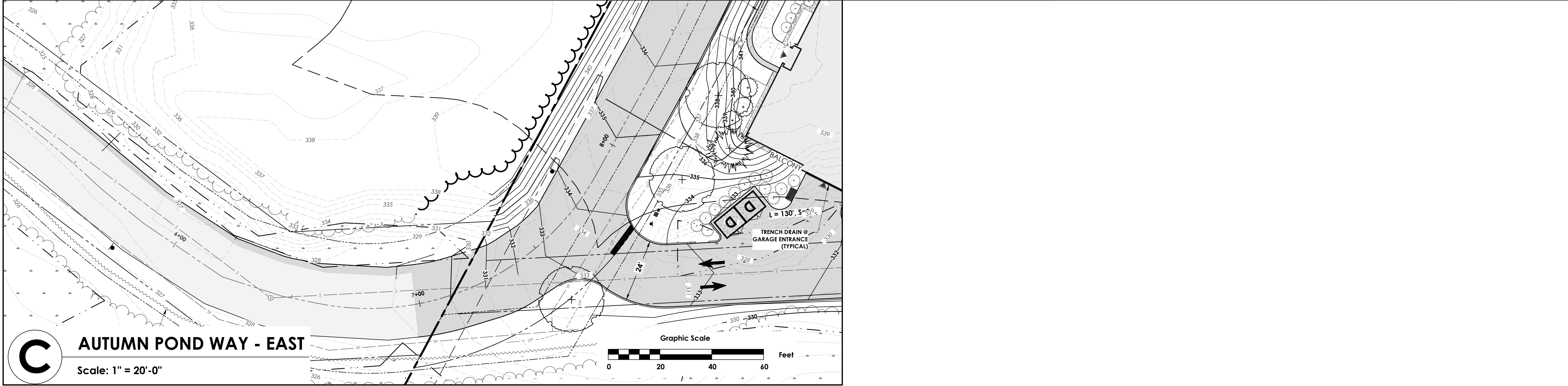
C2-03



A AUTUMN POND WAY - OVERALL
Scale: 1" = 30'-0"



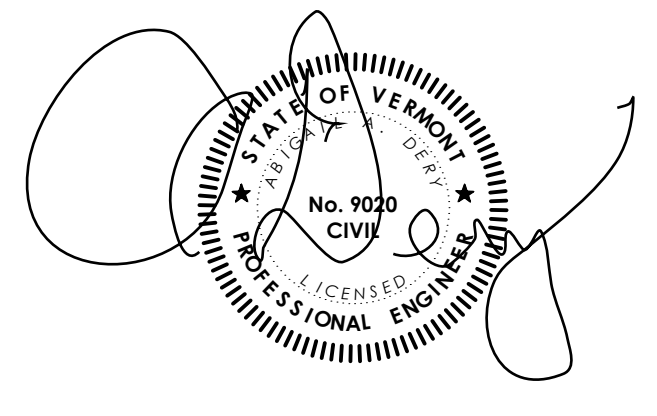
B AUTUMN POND WAY - WEST
Scale: 1" = 20'-0"



C AUTUMN POND WAY - EAST
Scale: 1" = 20'-0"

Revisions	No.	Description	Date	By
△	1	Issued for Permits	11/18/22	AAD
△	2	City Comments	01/05/23	AAD
△	3	City Comments	03/24/23	AAD

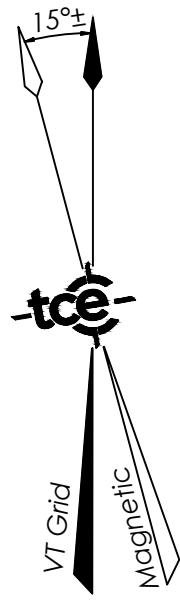
SPAN: 20706614229 PARCEL: 1006013000
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Project Title
Autumn Pond Phase II
169 Autumn Pond Way
Essex Junction, Vermont

Autumn Pond Way Plan

Date:	09/30/2022
Scale:	Shown
Project Number:	20-247
Drawn By:	
Project Engineer:	AAD
Approved By:	
Field Book:	



Revisions	No.	Description	Date	By

SPAN: 20706614229 PARCEL: 1006013000

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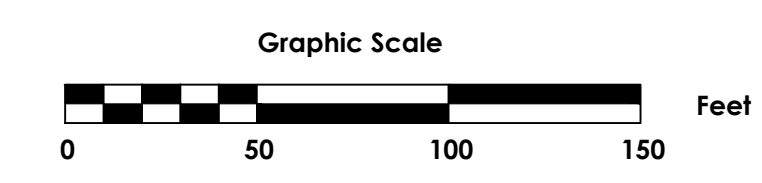
Project Title

Autumn Pond Phase II
 169 Autumn Pond Way
 Essex Junction, Vermont

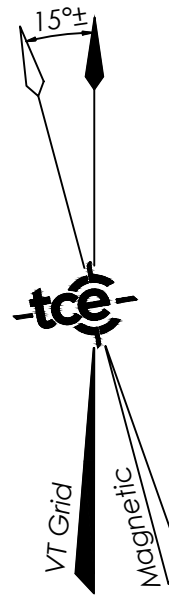
Sheet Title

Easement Exhibit

Date:	3/21/2023
Scale:	1" = 50'
Project Number:	20-247
Drawn By:	GMS
Project Engineer:	AAD
Approved By:	_____
Field Book:	_____



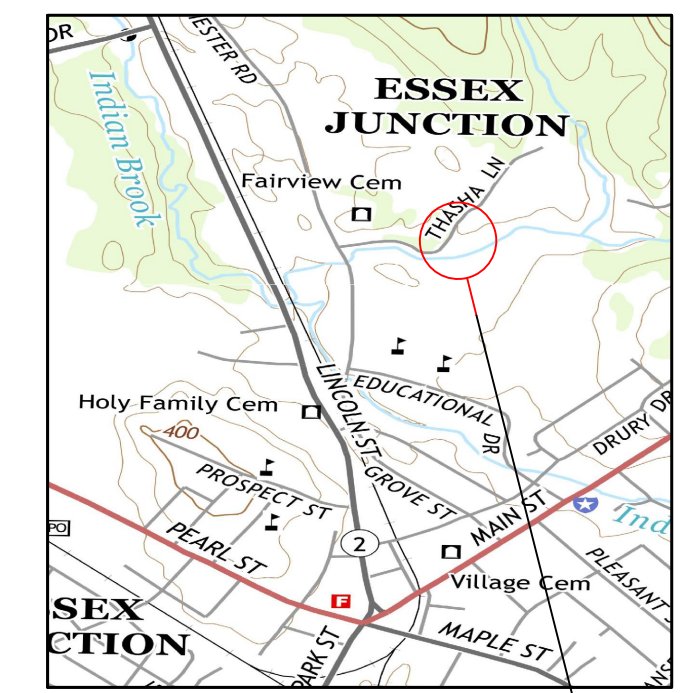
C2-05



WATER/SEWER NOTE:
 THE CONTRACTOR SHALL CONTACT DIGSAFE AND UNDERGROUND UTILITIES SHALL BE LOCATED PRIOR TO WORK. SEE PLAN SHEET C1-03 FOR DISCONNECTION AND DEMOLITION NOTES. ALL WATER AND SEWER CONNECTIONS, DISCONNECTIONS, CAPPING, CORING, AND DISTURBANCE OF EXISTING WATER/SEWER MAINS, MANHOLES, OR HYDRANTS SHALL BE COORDINATED AND OBSERVED BY THE CITY OF ESSEX JUNCTION PUBLIC WORKS DEPARTMENT AND THE PROJECT ENGINEER. NO WATER LINE CAPPING, WATER LINE TAPS, HYDRANT RELOCATION, OR MANHOLE CORING SHALL OCCUR WITHOUT CITY OF ESSEX JUNCTION NOTIFICATION AND APPROVAL PRIOR TO WORK. THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE CONDITION OF PROPOSED SEWER CORES AND WATER TAPS PRIOR TO WORK.

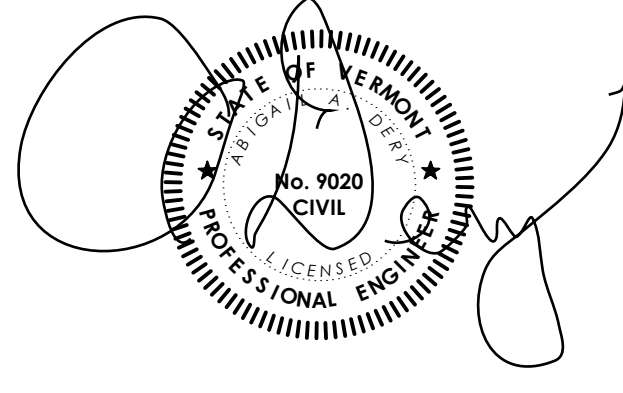
"I HEREBY CERTIFY THAT, IN THE EXERCISE OF MY REASONABLE PROFESSIONAL JUDGMENT, THE DESIGN RELATED INFORMATION SUBMITTED WITH THIS APPLICATION IS TRUE AND CORRECT AND THE DESIGN INCLUDED IN THIS APPLICATION FOR A PERMIT COMPLIES WITH THE VERMONT WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES." (REF. ENVIRONMENTAL PROTECTION RULES CHAPTER 1 §1-306 (b)).

LAST REVISED 02/25/2020



Revisions	No.	Description	Date	By
△	1	Issued for Permits	11/18/22	AAD
△	2	City Comments	01/05/23	AAD
△	3	City Comments	03/24/23	AAD

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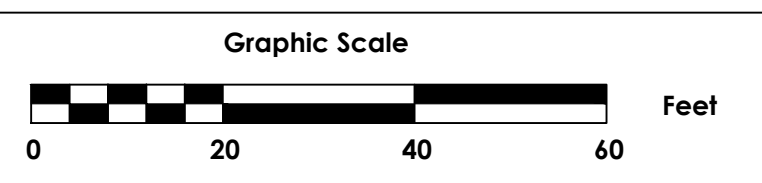
Project Title

Autumn Pond Phase II
 169 Autumn Pond Way
 Essex Junction, Vermont

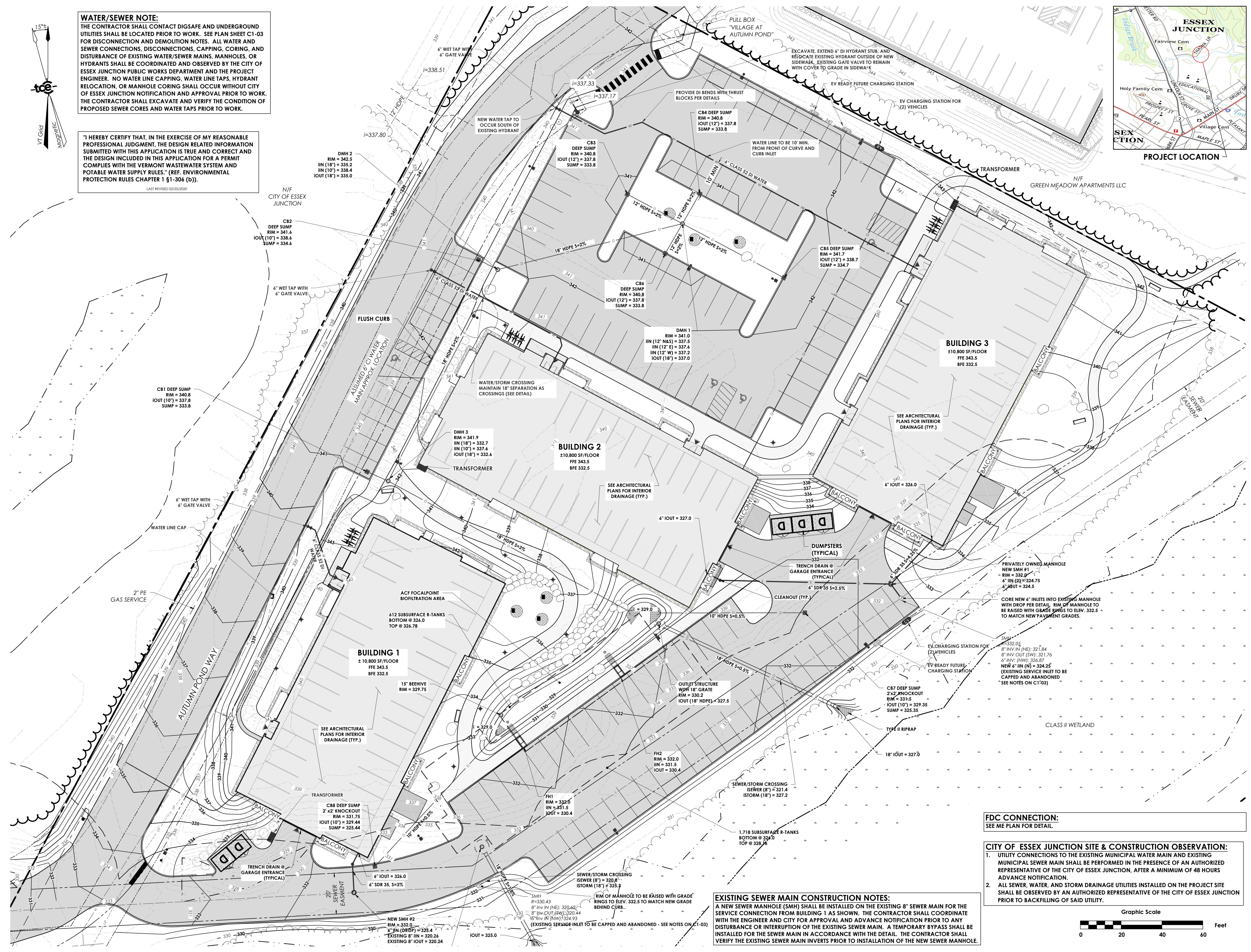
Sheet Title

Utility Plan

Date:	09/30/2022
Scale:	1" = 20'
Project Number:	20-247
Drawn By:	
Project Engineer:	AAD
Approved By:	
Field Book:	



C3-01

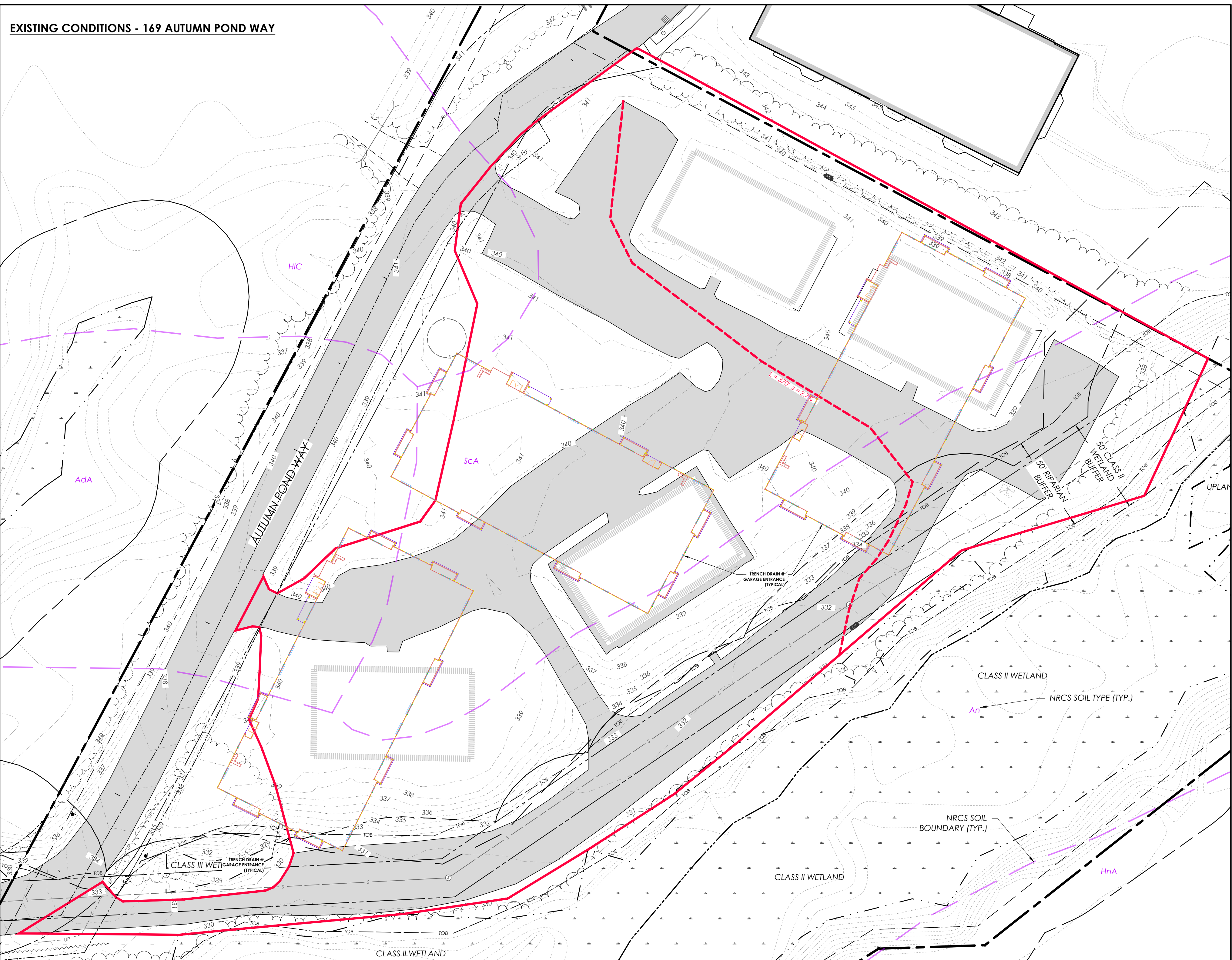


FDC CONNECTION:
 SEE ME PLAN FOR DETAIL.

CITY OF ESSEX JUNCTION SITE & CONSTRUCTION OBSERVATION:
 1. UTILITY CONNECTIONS TO THE EXISTING MUNICIPAL WATER MAIN AND EXISTING MUNICIPAL SEWER MAIN SHALL BE PERFORMED IN THE PRESENCE OF AN AUTHORIZED REPRESENTATIVE OF THE CITY OF ESSEX JUNCTION, AFTER A MINIMUM OF 48 HOURS ADVANCE NOTIFICATION.
 2. ALL SEWER, WATER, AND STORM DRAINAGE UTILITIES INSTALLED ON THE PROJECT SITE SHALL BE OBSERVED BY AN AUTHORIZED REPRESENTATIVE OF THE CITY OF ESSEX JUNCTION PRIOR TO BACKFILLING OF SAID UTILITY.

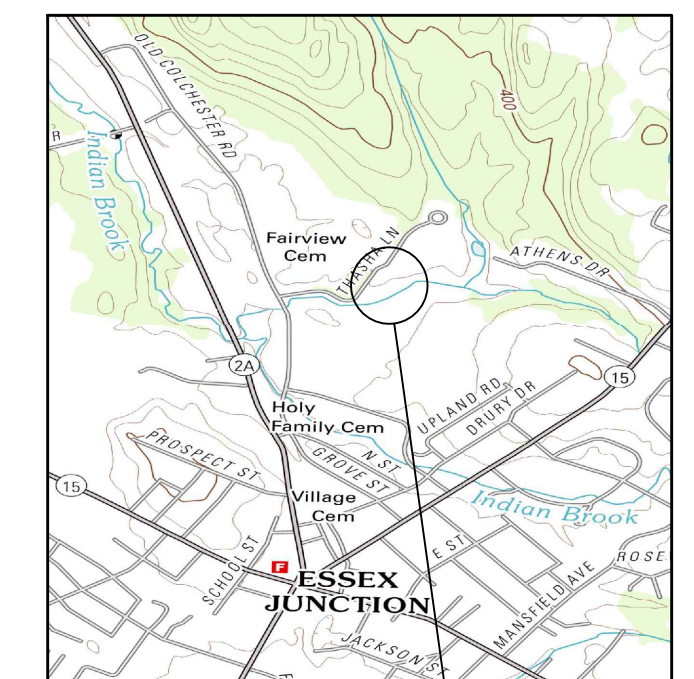
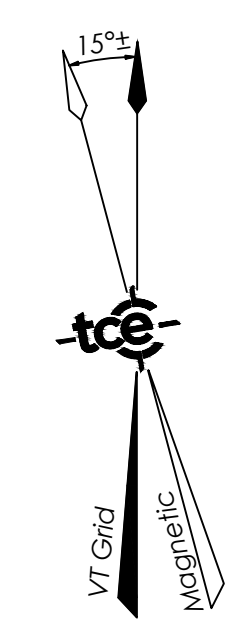
EXISTING SEWER MAIN CONSTRUCTION NOTES:
 A NEW SEWER MANHOLE (SMH) SHALL BE INSTALLED ON THE EXISTING 8" SEWER MAIN FOR THE SERVICE CONNECTION FROM BUILDING 1 AS SHOWN. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND CITY FOR APPROVAL AND ADVANCE NOTIFICATION PRIOR TO ANY DISTURBANCE OR INTERRUPTION OF THE EXISTING SEWER MAIN. A TEMPORARY BYPASS SHALL BE INSTALLED FOR THE SEWER MAIN IN ACCORDANCE WITH THE DETAIL. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER MAIN INVERTS PRIOR TO INSTALLATION OF THE NEW SEWER MANHOLE.

EXISTING CONDITIONS - 169 AUTUMN POND WAY

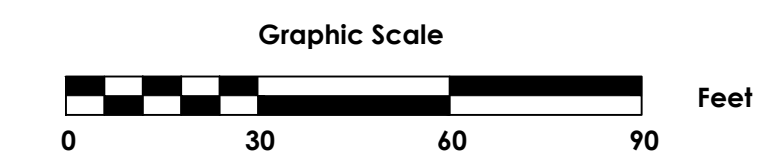


LEGEND

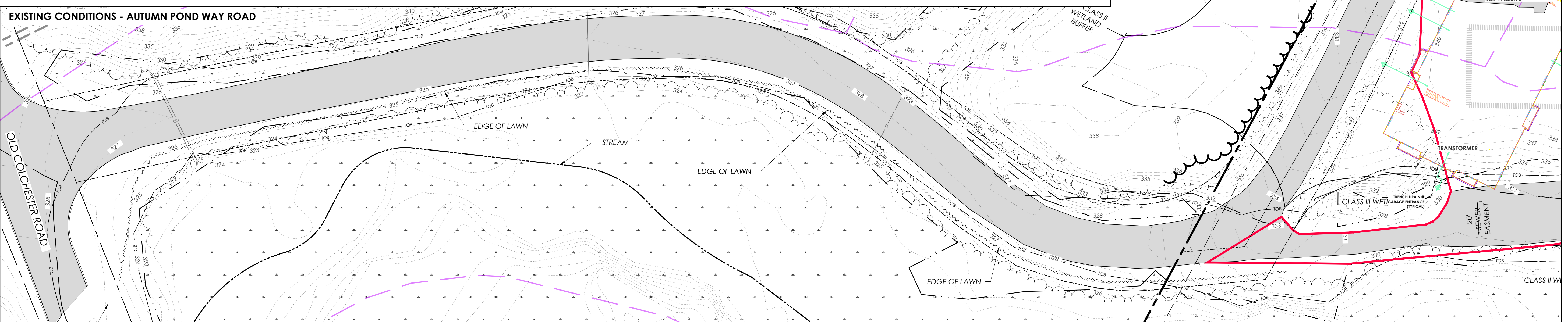
- DRAINAGE AREA TO S/N 001 (2.71 AC TOTAL, 1.29 AC IMPERVIOUS)
- TIME OF CONCENTRATION



PROJECT LOCATION



EXISTING CONDITIONS - AUTUMN POND WAY ROAD



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Revisions	No.	Description	Date	By
Revisions For Stormwater Permitting			10/26/2022	MMJ
City Comments			01/05/23	AAD

SPAN: 20706614229 PARCEL: 1006013000

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For Permitting Only

Project Title

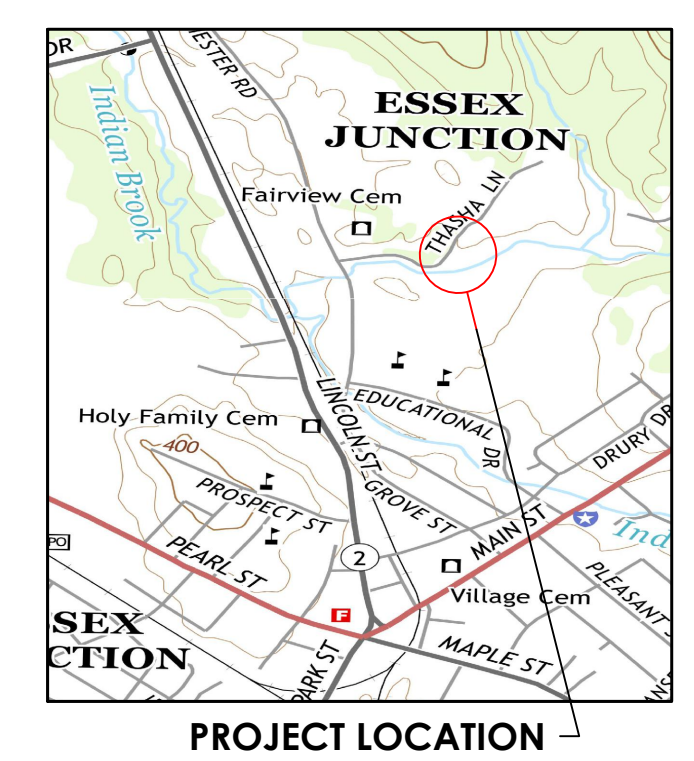
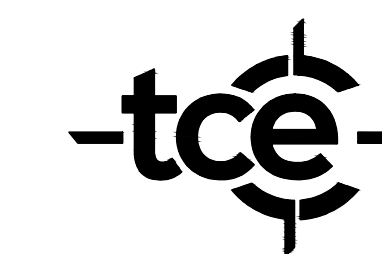
Autumn Pond Phase II
169 Autumn Pond Way
Essex Junction, Vermont

Sheet Title

Existing Stormwater Plan

Date:	09/30/2022
Scale:	1" = 30'
Project Number:	20-247
Drawn By:	MMJ
Project Engineer:	AAD
Approved By:	
Field Book:	

C4-01



Revisions	No.	Description	Date	By
Issued for Permits			11/18/22	AAD
City Comments			01/05/23	AAD
City Comments			03/24/23	AAD

SPAN: 20706614229 PARCEL: 1006013000

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Project Title

Autumn Pond Phase II

169 Autumn Pond Way
 Essex Junction, Vermont

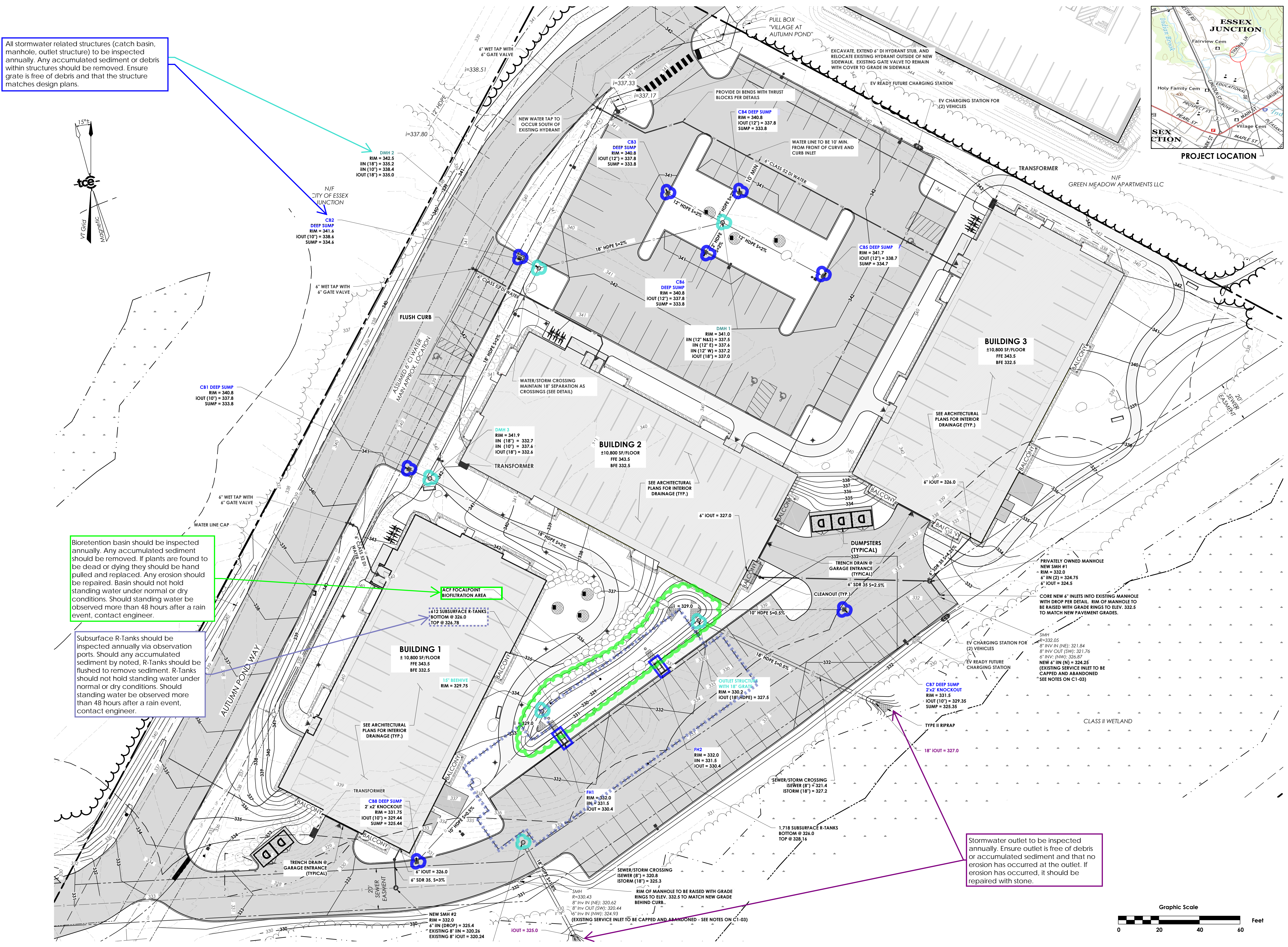
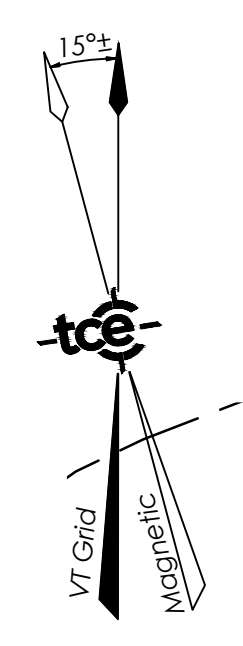
Sheet Title

Stormwater Maintenance Plan

Date: 09/30/2022
 Scale: 1" = 20'
 Project Number: 20-247
 Drawn By:
 Project Engineer: AAD
 Approved By:
 Field Book:

C4-03

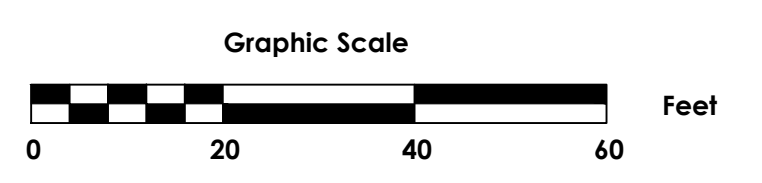
All stormwater related structures (catch basin, manhole, outlet structure) to be inspected annually. Any accumulated sediment or debris within structures should be removed. Ensure grate is free of debris and that the structure matches design plans.

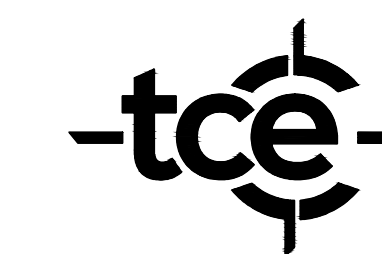


Bioretention basin should be inspected annually. Any accumulated sediment should be removed. If plants are found to be dead or dying they should be hand pulled and replaced. Any erosion should be repaired. Basin should not hold standing water under normal or dry conditions. Should standing water be observed more than 48 hours after a rain event, contact engineer.

Subsurface R-Tanks should be inspected annually via observation ports. Should any accumulated sediment be noted, R-Tanks should be flushed to remove sediment. R-Tanks should not hold standing water under normal or dry conditions. Should standing water be observed more than 48 hours after a rain event, contact engineer.

Stormwater outlet to be inspected annually. Ensure outlet is free of debris or accumulated sediment and that no erosion has occurred at the outlet. If erosion has occurred, it should be repaired with stone.





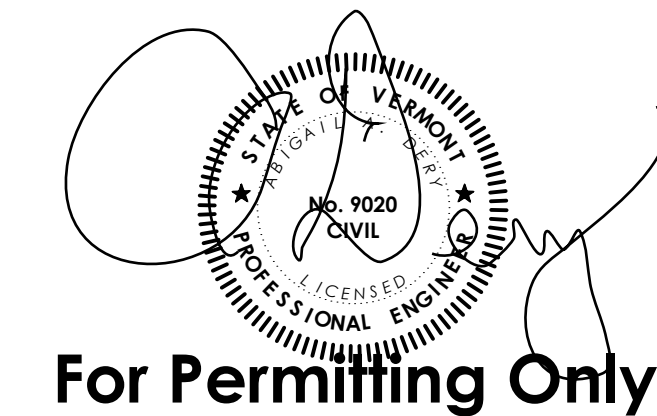
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Revisions	No.	Description	Date	By
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SPAN: 20706614229 PARCEL: 1006013000

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For Permitting Only

Project Title
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 169 Autumn Pond Way
 Essex Junction, Vermont

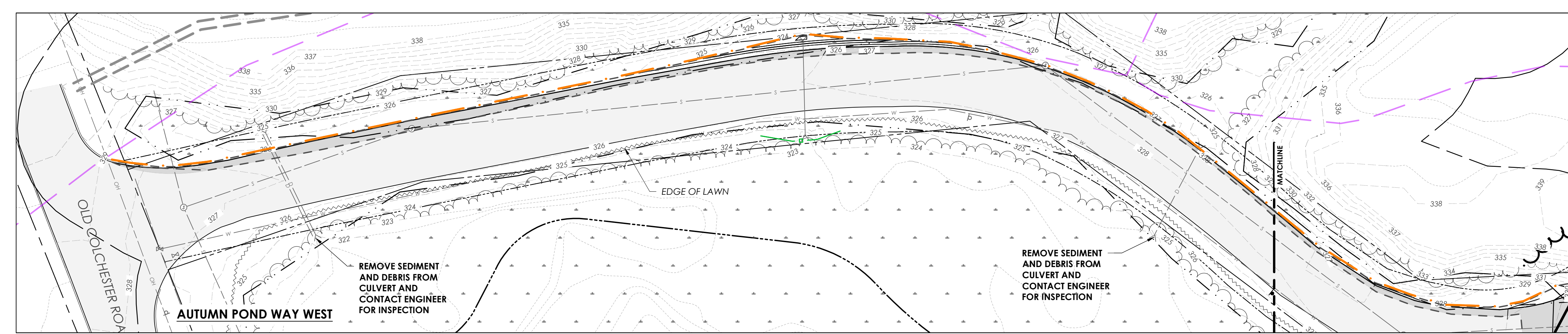
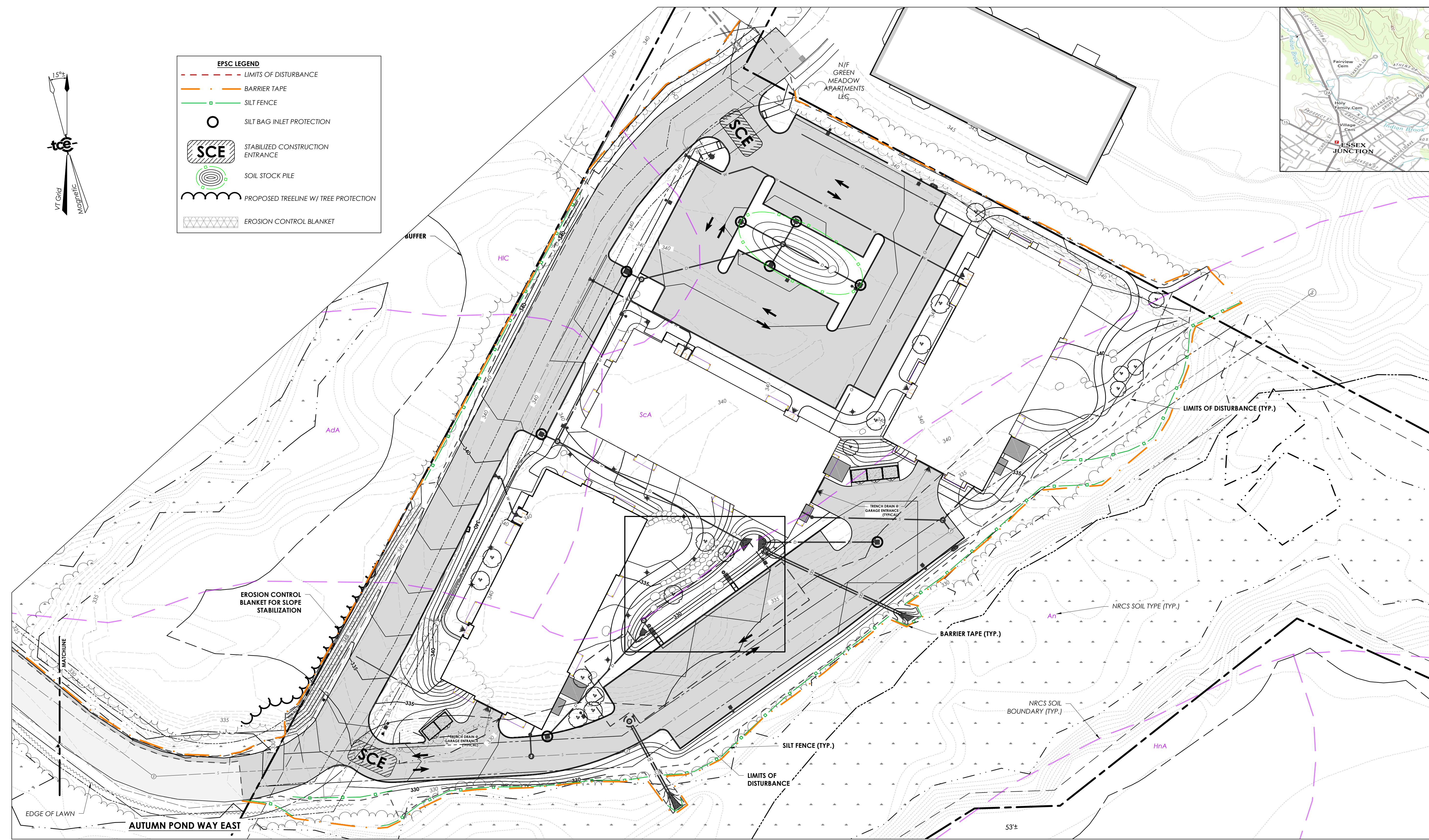
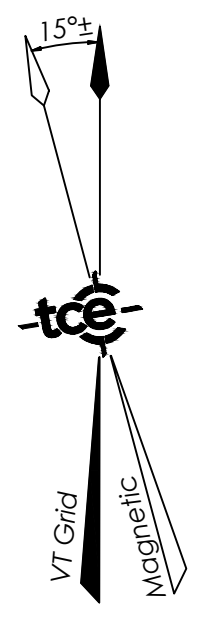
Sheet Title

EPSC Plan

Date: 09/30/2022
 Scale: 1" = 30'
 Project Number: 20-247
 Drawn By:
 Project Engineer: AAD
 Approved By:
 Field Book:

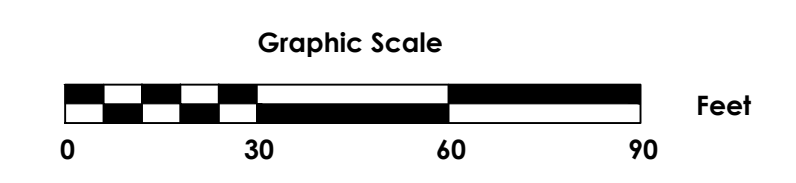
C5-01

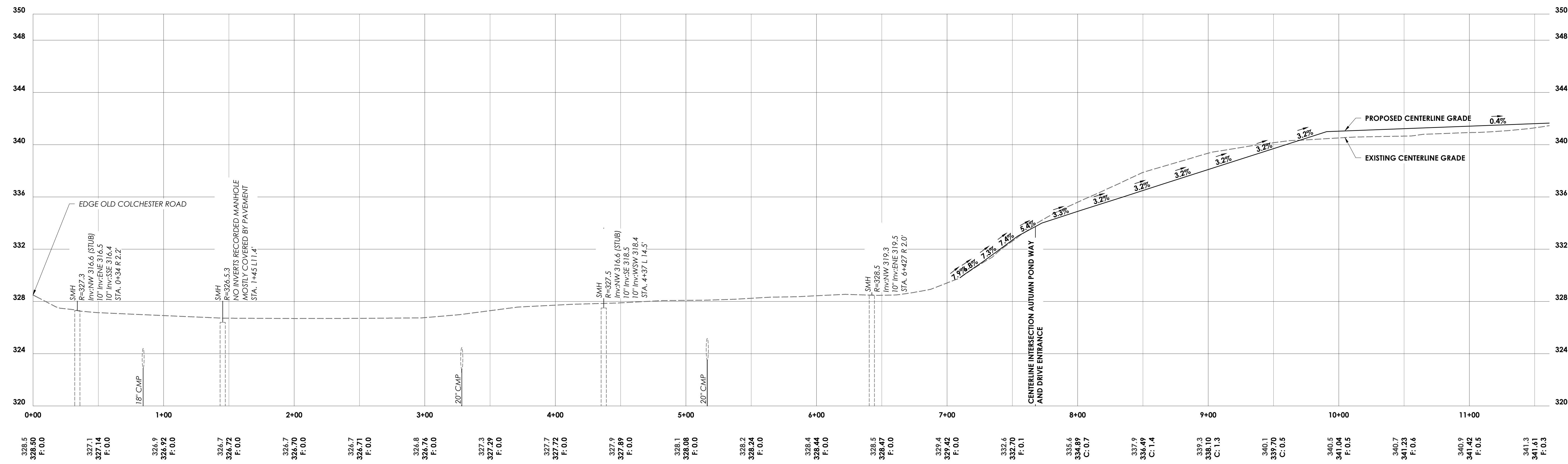
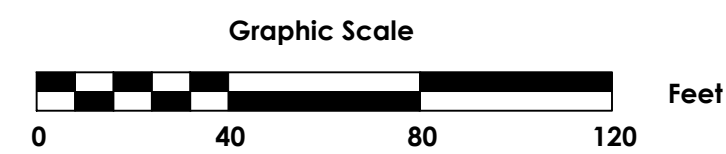
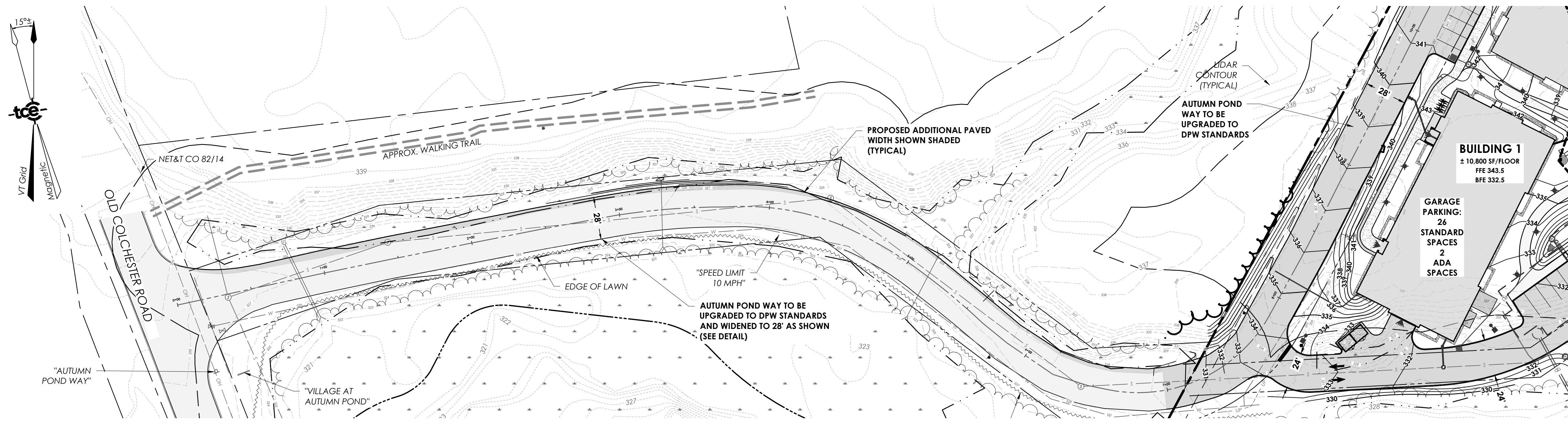
EPSC LEGEND	
	LIMITS OF DISTURBANCE
	BARRIER TAPE
	SILT FENCE
	SILT BAG INLET PROTECTION
	STABILIZED CONSTRUCTION ENTRANCE
	SOIL STOCK PILE
	PROPOSED TREELINE W/ TREE PROTECTION
	EROSION CONTROL BLANKET



NOTE:
 ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THAT THE SILT FENCE IS INTACT TO PREVENT NEGATIVE IMPACTS TO THE EXISTING CLASS II WETLANDS. ALL DISTURBED SOILS SHALL BE STABILIZED IN ACCORDANCE WITH DETAILS UPON FINALIZATION OF CONSTRUCTION. SEE CB-401, 402, 403 FOR EPSC DETAILS.

TOTAL DISTURBED AREA = 3.52 ACRES





AUTUMN POND WAY CENTERLINE PROFILE
SCALE: 1" = 40' HORIZ.
1" = 4' VERT.

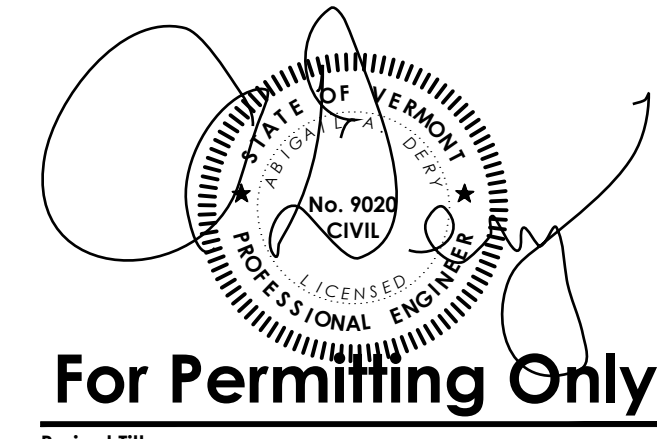
Revisions

No.	Description	Date	By
1	Issued for Permits	11/18/22	AAD

SPAN: 20706614229 PARCEL: 1006013000

Use of These Drawings

- Unless otherwise noted, these Drawings are intended for preliminary planning, coordination with other disciplines or utilities, and/or approval from the regulatory authorities. They are not intended as construction drawings unless noted as such or marked approved by a regulatory authority.
- By use of these drawings for construction of the Project, the Owner represents that they have reviewed, approved, and accepted the drawings, obtained all necessary permits, and have met with all applicable parties/disciplines, including but not limited to, the Engineer and the Architect, to insure these plans are properly coordinated including, but not limited to, contract documents, specifications, owner/contractor agreements, building and mechanical plans, private and public utilities, and other pertinent permits for construction.
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Autumn Pond Phase II
169 Autumn Pond Way
Essex Junction, Vermont

Autumn Pond Way Centerline Profile

Date: 09/30/2022

Scale: Shown

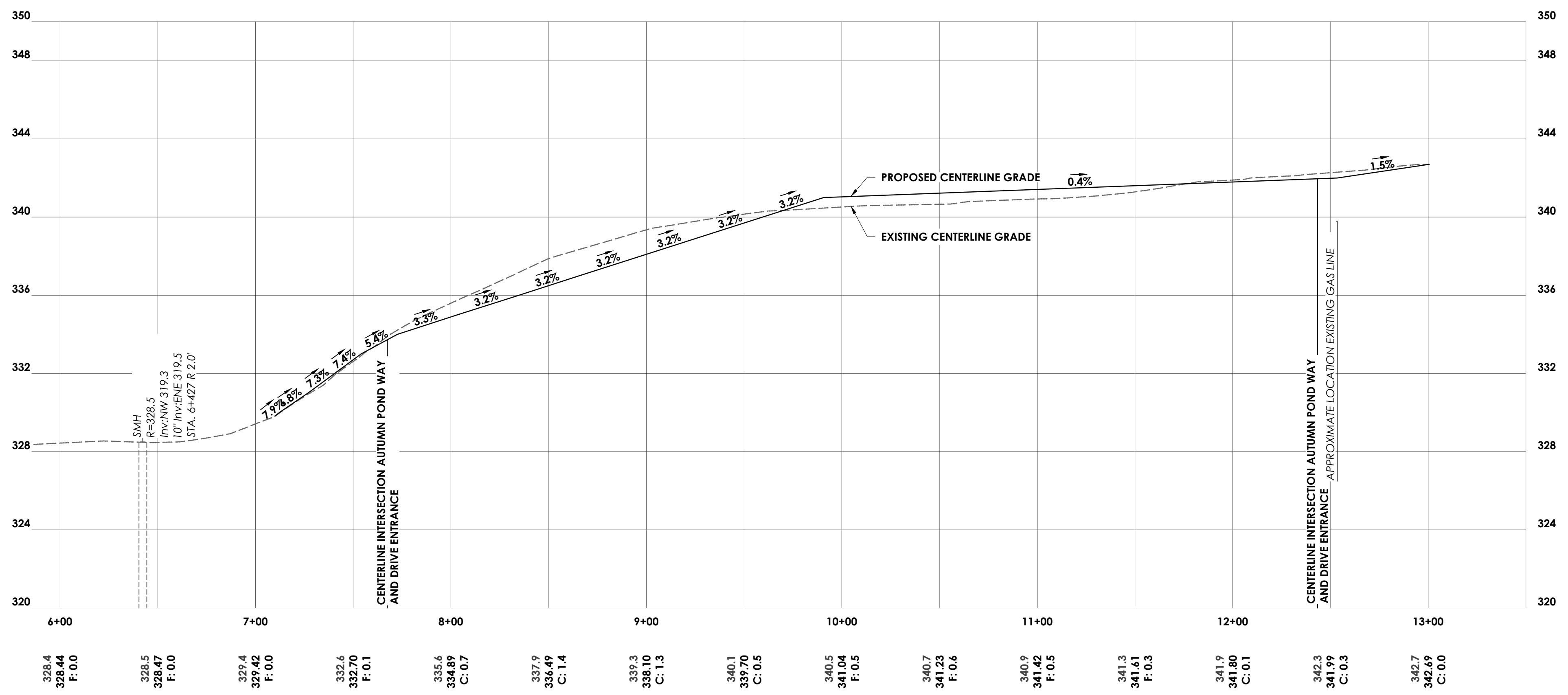
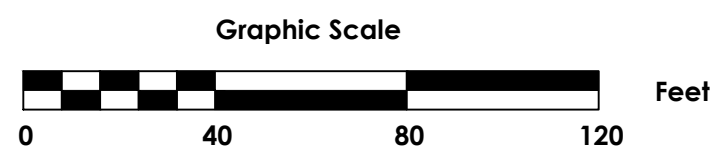
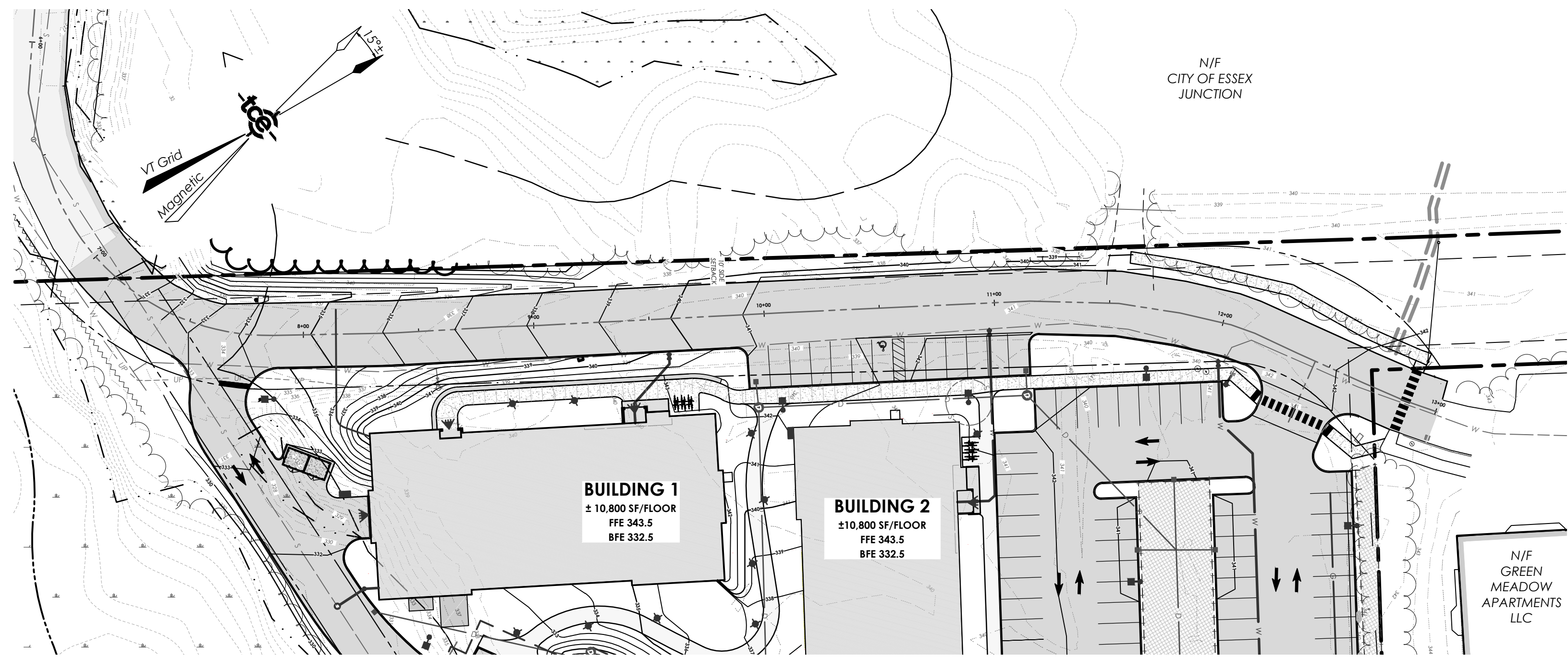
Project Number: 20-247

Drawn By: RMP

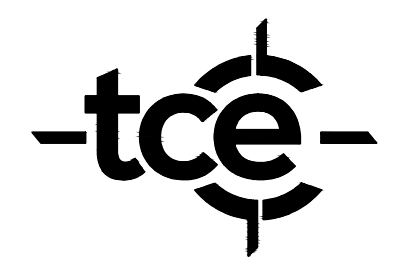
Project Engineer: AAD

Approved By:

Field Book:



AUTUMN POND WAY CENTERLINE PROFILE
SCALE: 1" = 40' HORIZ.
1" = 4' VERT.



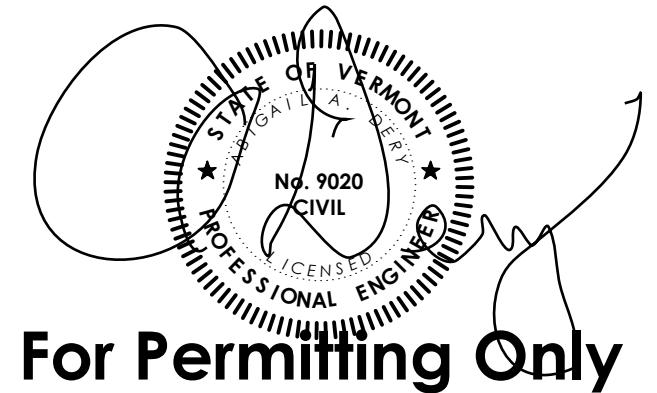
ENGINEERING • SURVEY
PLANNING • ENVIRONMENTAL
478 BLAIR PARK ROAD | WILLISTON, VERMONT 05495
802.879.6531 | WWW.TCEVT.COM

Revisions	No.	Description	Date	By
△	Issued for Permits		11/18/22	AAD

SPAN: 20706614229 PARCEL: 1006013000

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For Permitting Only

Project Title
Autumn Pond Phase II
169 Autumn Pond Way
Essex Junction, Vermont


Sheet Title
Autumn Pond Way Centerline Plan + Profile

Date:	09/30/2022
Scale:	Shown
Project Number:	20-247
Drawn By:	RMP
Project Engineer:	AAD
Approved By:	
Field Book:	

C6-02

PAVEMENT MARKINGS

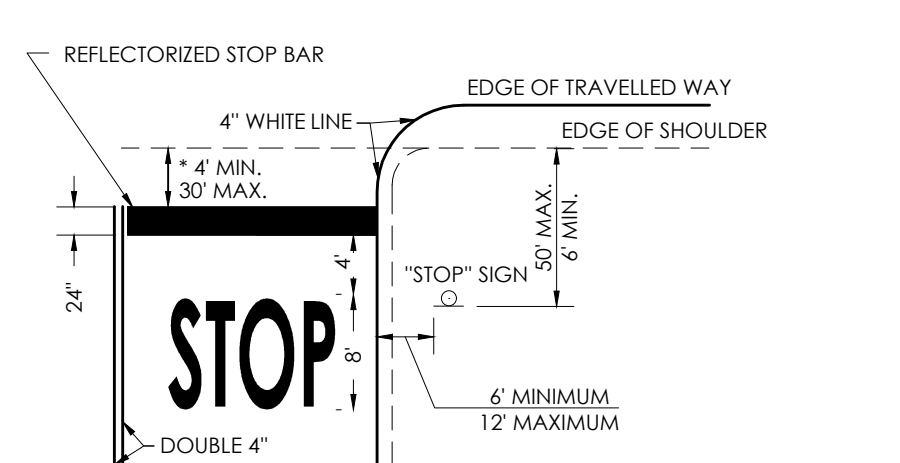
- 1.1 QUALITY ASSURANCE
Regulatory Requirements: Comply with materials, workmanship, and other applicable requirements of state DOT or local municipality for pavement-marking work.
- 1.2 FIELD CONDITIONS
Environmental Limitations: Proceed with pavement marking only on clean, dry surfaces and at a minimum ambient or surface temperature of 40 deg F for alkyl materials, 55 deg F for water-based materials, and not exceeding 95 deg F.
- 1.3 PAVEMENT-MARKING PAINT
 - A. Pavement-Marking Paint: Alkyd-resin type, lead and chromate free, ready mixed, complying with AASHTO M 248; colors complying with FS TT-P-1952. Color: As indicated.
 - B. All pavement marking within Vtrans and City right-of-way shall be in accordance with Vtrans specifications.
- 1.4 PAVEMENT MARKING
Apply temporary pavement marking before traffic is allowed on any newly paved area or as site conditions dictate. Allow final wearing surface to age for a minimum of 30 days before applying final permanent pavement marking.
- 1.5 PROTECTING AND CLEANING
 - A. Protect pavement markings from damage and wear during remainder of construction period.
 - B. Clean spillage and soiling from adjacent construction using cleaning agents and procedures recommended by manufacturer of affected construction.



PAVEMENT MARKINGS

TRUDELL CONSULTING ENGINEERS LAST REVISED 03/14/2018 NON-STD

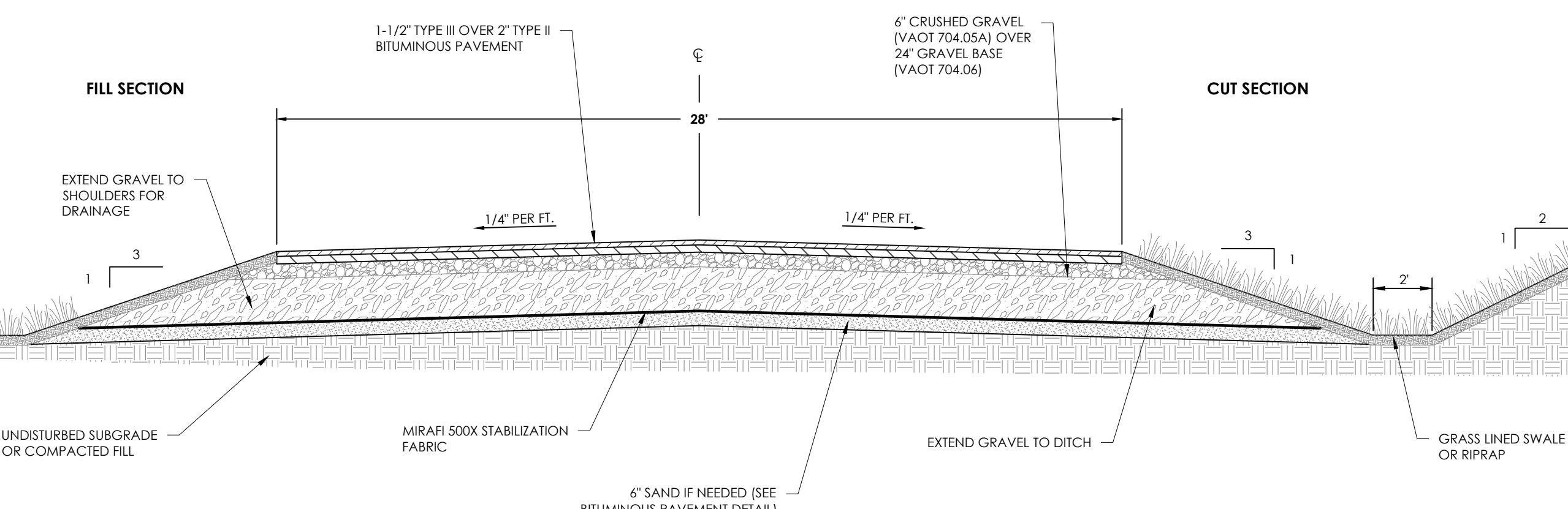
ARROWS AND WORD MARKINGS THAT CONFORM TO THE DIMENSIONS SHOWN ON THIS SHEET OR AS DETAILED IN VTRANS STANDARD E-193 FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (CURRENT EDITION) PREPARED BY THE FEDERAL HIGHWAY ADMINISTRATION.



TYPICAL STOP BAR & STOP SIGN PLACEMENT

1"=1'

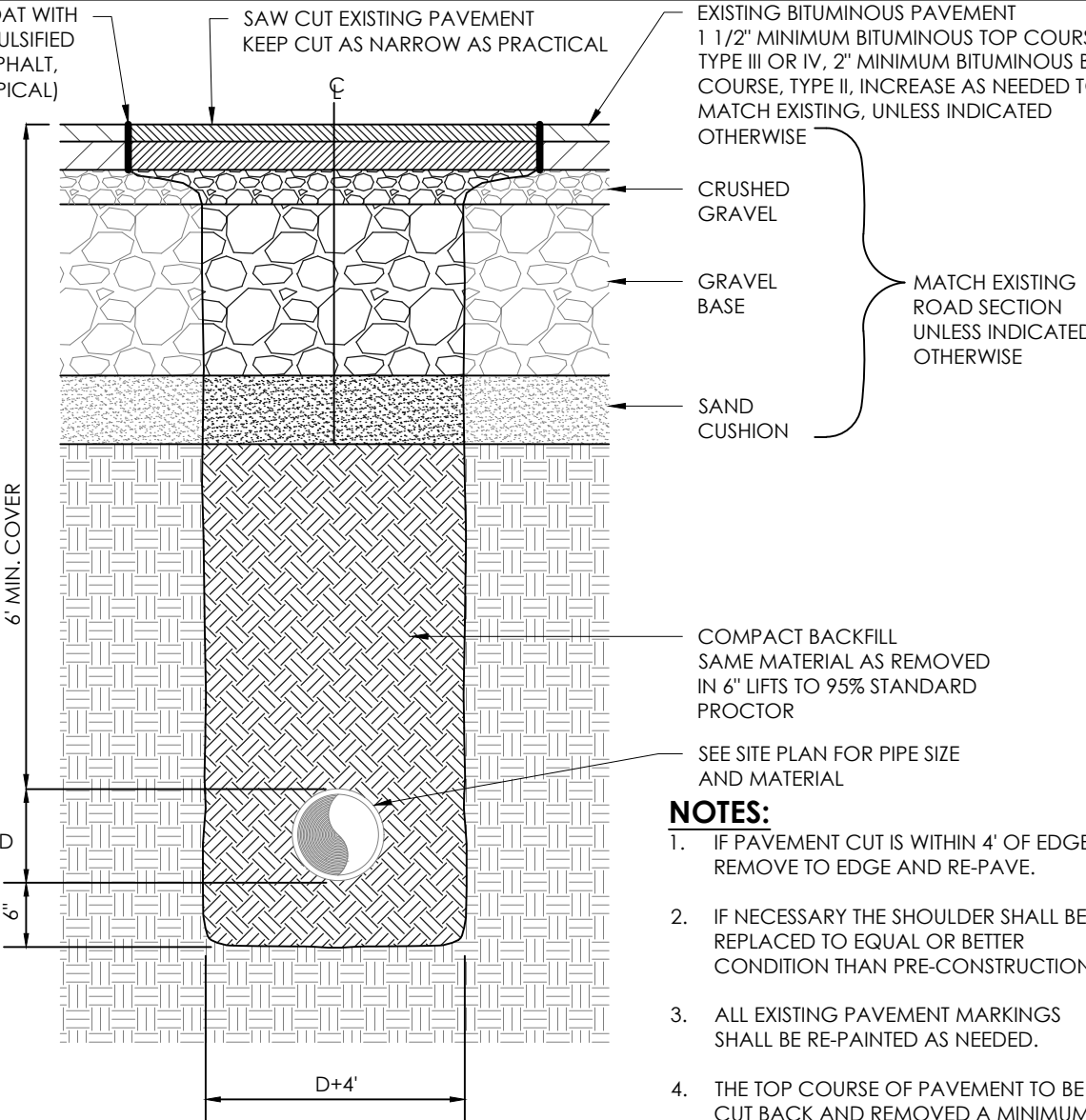
TRUDELL CONSULTING ENGINEERS LAST REVISED 02/10/2021 MS-020.1.1



TYPICAL AUTUMN POND ROAD ROAD CROSS SECTION

1"=1'

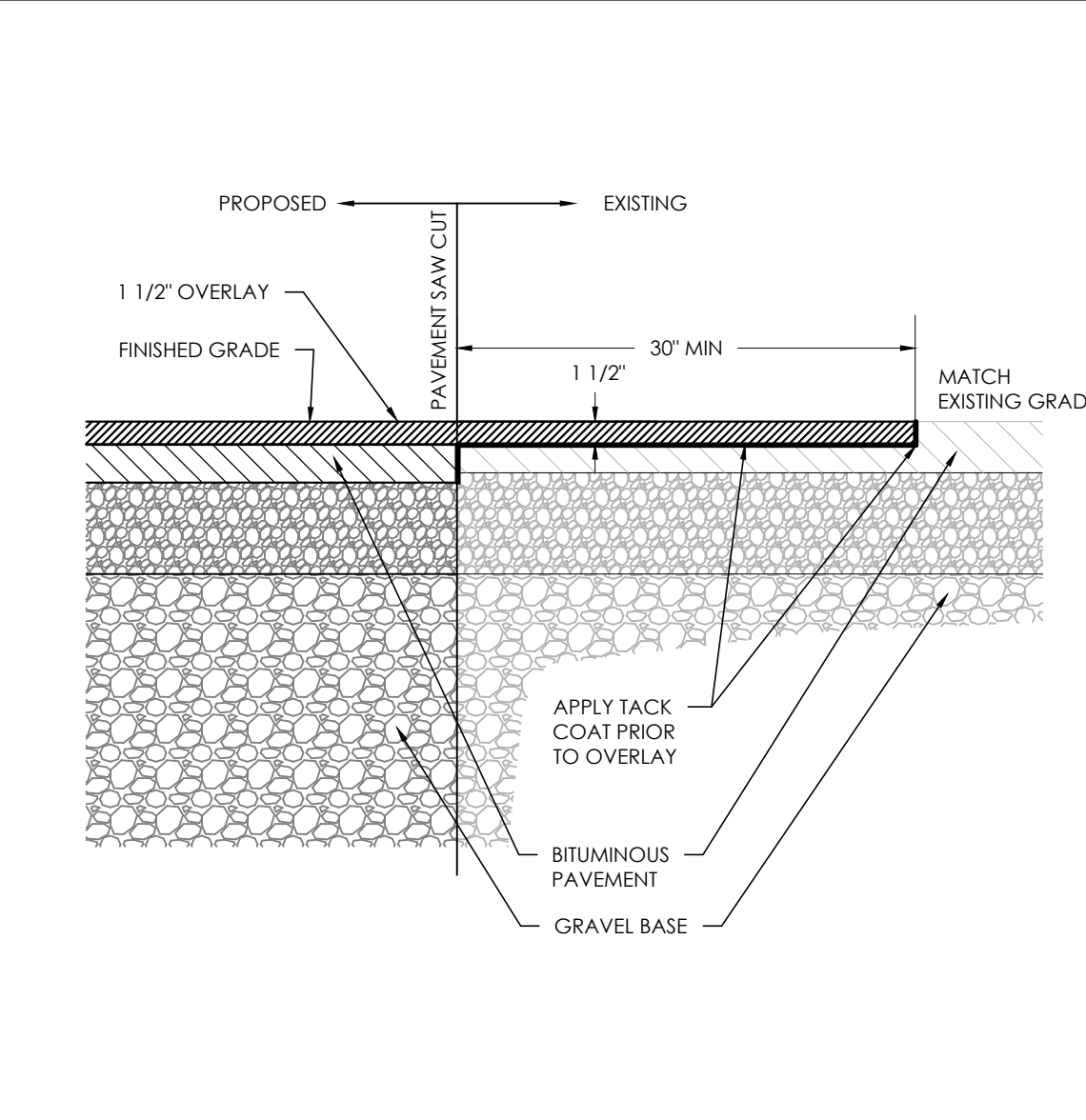
TRUDELL CONSULTING ENGINEERS LAST REVISED 03/11/2021 SD 010.1.1



PAVEMENT CUT TRENCH

3/4" = 1'-0"

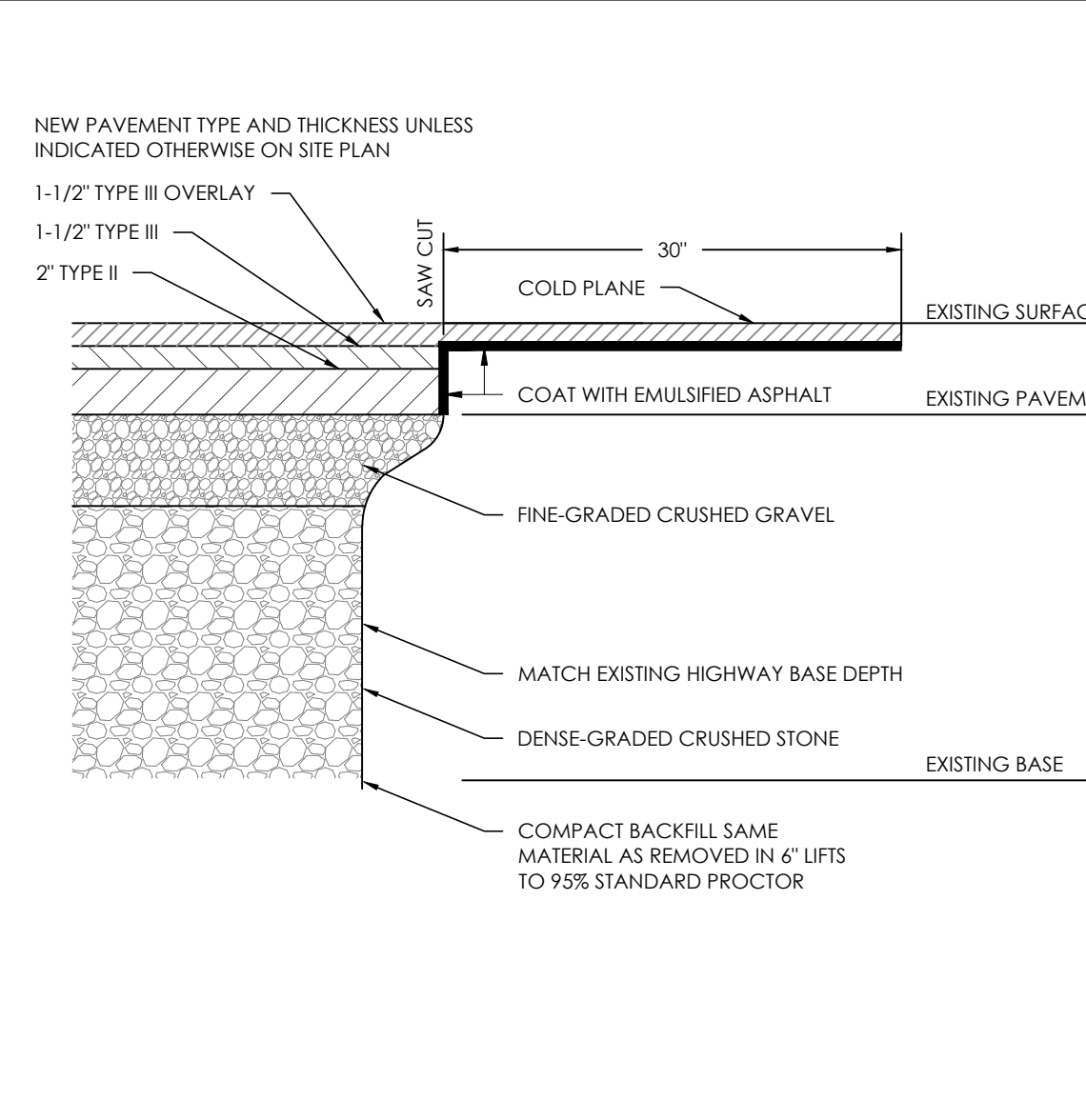
TRUDELL CONSULTING ENGINEERS LAST REVISED 03/10/2021 SD 090.1.2



BITUMINOUS ASPHALT - VERTICAL BUTT JOINT

1"=1'

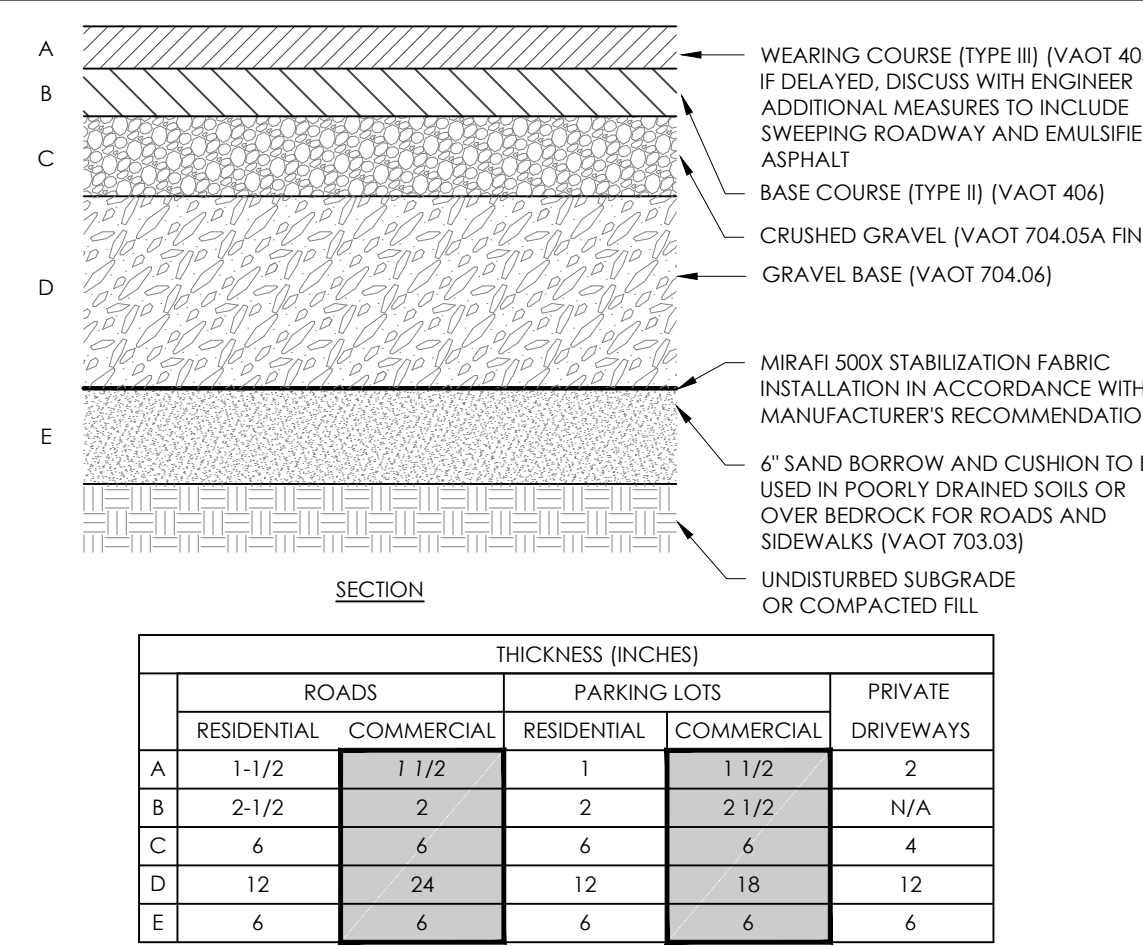
TRUDELL CONSULTING ENGINEERS LAST REVISED 03/02/2021 SD 010.0.1



PAVEMENT JOINT DETAIL WITH COLD PLANE

1"=1'

TRUDELL CONSULTING ENGINEERS LAST REVISED 03/02/2021 SD 010.0.3



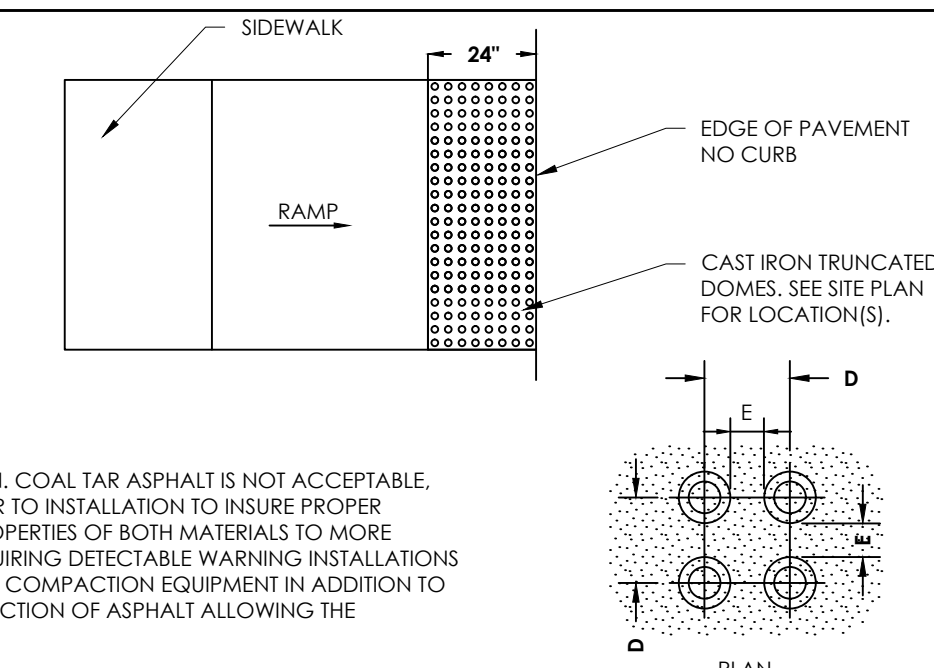
TYPICAL BITUMINOUS PAVEMENT

	THICKNESS (INCHES)			
	ROADS	PARKING LOTS	PRIVATE	
A	1-1/2	1	1 1/2	2
B	2-1/2	2	2 1/2	N/A
C	6	6	6	4
D	12	24	18	12
E	6	6	6	6

TYPICAL BITUMINOUS PAVEMENT

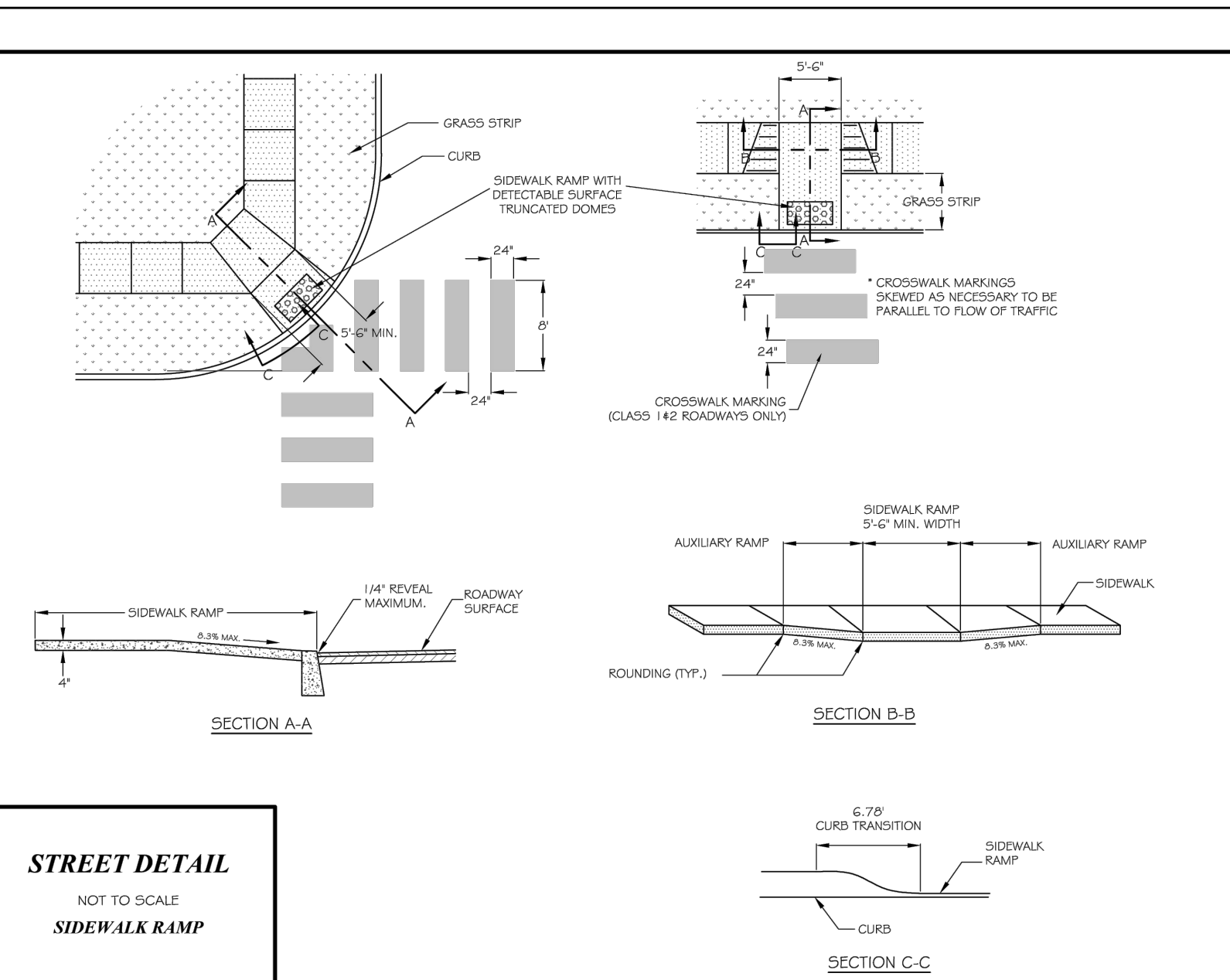
1"=1'

TRUDELL CONSULTING ENGINEERS LAST REVISED 03/04/2021 SD 010.0.1



WARNING TEXTURE

TRUDELL CONSULTING ENGINEERS LAST REVISED 03/03/2021 SD 030.1.1

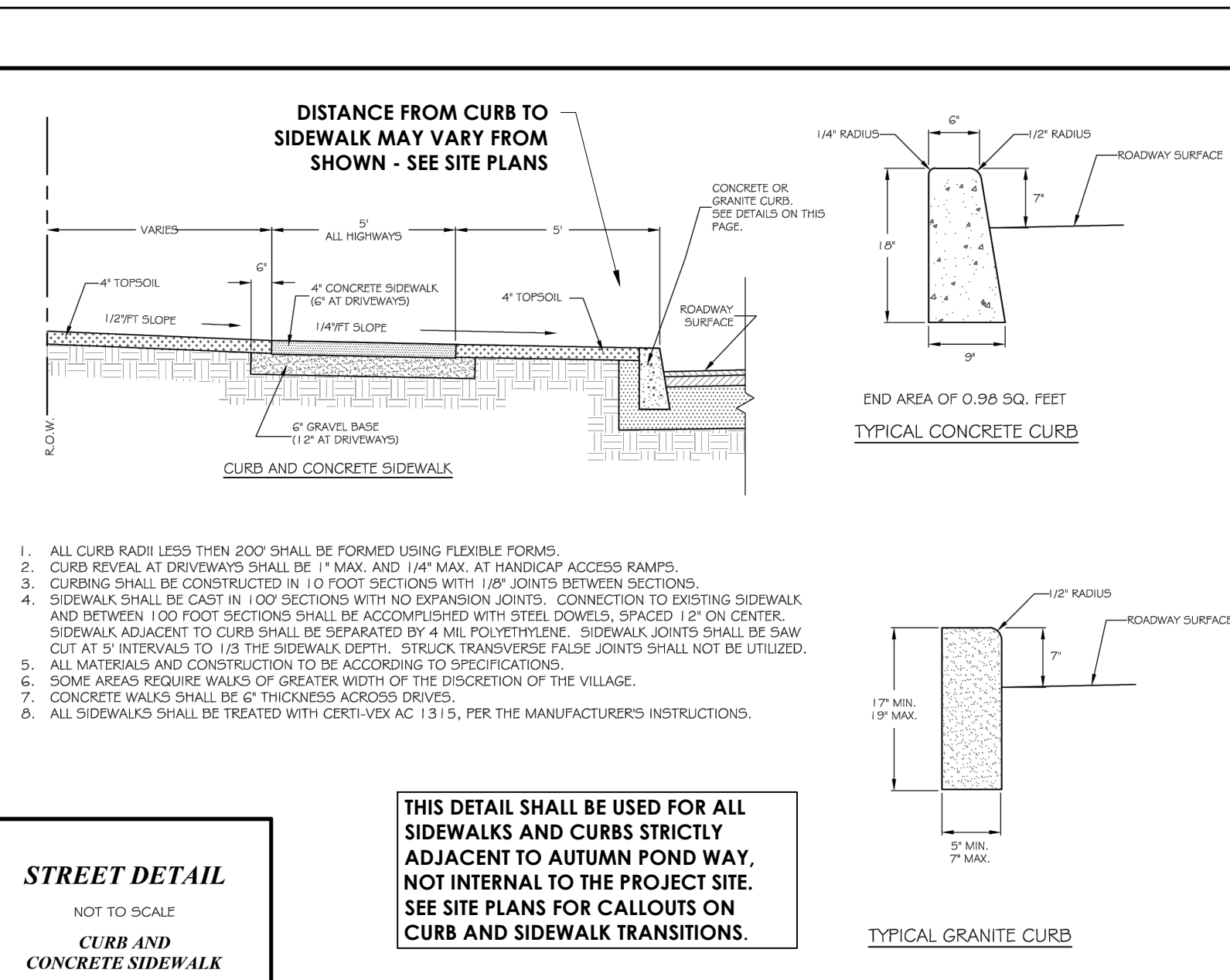


STREET DETAIL

NOT TO SCALE

SIDEWALK RAMP

PAGE D-7 04/2 1/201 6



STREET DETAIL

NOT TO SCALE

CURB AND CONCRETE SIDEWALK

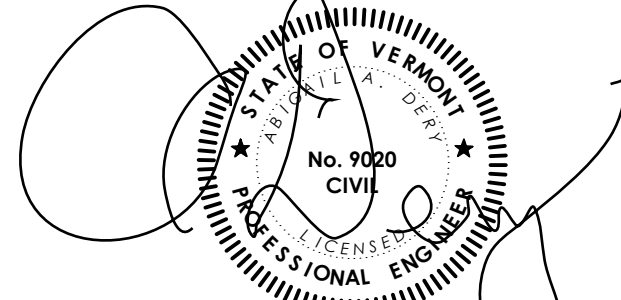
PAGE D-4 04/2 1/201 6

Revisions

No.	Description	Date	By
1	Issued for Permits	11/18/22	AAD
2	City Comments	01/05/23	AAD

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Project Title

Autumn Pond Phase II
169 Autumn Pond Way
Essex Junction, Vermont

Sheet Title

Site Details

Date: 09/30/2022

Scale: Shown

Project Number: 20-247

Drawn By:

Approved By: AAD

Project Engineer:

Field Book: