



**CITY OF ESSEX JUNCTION
CITY COUNCIL
REGULAR MEETING AGENDA - REVISED**

Online & 2 Lincoln St.
Essex Junction, VT 05452
Wednesday, March 27, 2024
6:30 PM

E-mail: admin@essexjunction.org

www.essexjunction.org

Phone: (802) 878-6944

This meeting will be in-person at 2 Lincoln Street and available remotely. Options to watch or join the meeting remotely:

- **WATCH:** the meeting will be live streamed on [Town Meeting TV](#)
- **JOIN ONLINE:** [Join Zoom Meeting](#)
- **JOIN CALLING:** (toll free audio only): (888) 788-0099 | Meeting ID: 944 6429 7825; Passcode: 635787

1. **CALL TO ORDER** [6:30 PM]
2. **AGENDA ADDITIONS/CHANGES**
3. **APPROVE AGENDA**
4. **PUBLIC TO BE HEARD**
 - a. Comments from Public
5. **BUSINESS ITEMS**
 - a. Library DH Brief to Council
 - b. Update from Tree Advisory Committee
 - c. 2 Lincoln Remodel Update and Discussion
 - d. Discussion & Consideration of Green Mountain Transit Funding Support
6. **CONSENT ITEMS**
 - a. Approve Meeting Minutes: March 13, 2024
 - b. Approve Finance Policy Updates
 - c. Approve Annual Local Emergency Management Plan
 - d. Approve Gem & Mineral Club Banner Application
7. **COUNCIL MEMBER COMMENTS & CITY MANAGER REPORT**
8. **READING FILE**
 - a. Check Warrant #24039 3/22/24
 - b. Planning Commission Minutes 3/7/24
 - c. Bike Walk Advisory Committee Minutes 3/18/24
 - d. Essex Restorative Justice Report
9. **EXECUTIVE SESSION**
10. **ADJOURN**

Members of the public are encouraged to speak during the Public to Be Heard agenda item, during a Public Hearing, or, when recognized by the President, during consideration of a specific agenda item. The public will not be permitted to participate when a motion is being discussed except when specifically requested by the President. Regarding zoom participants, if individuals interrupt, they will be muted; and if they interrupt a second time they will be removed. This agenda is available in alternative formats upon request. Meetings of the City Council, like all programs and activities of the City of Essex Junction, are accessible to people with disabilities. For information on accessibility or this agenda, call the City Manager's office at 802-878-6944 TTY: 7-1-1 or (800) 253-0191.

Memo

To: City Council

From: Wendy Hysko, Brownell Library Director

Meeting Date: March 27, 2024

Agenda Item: Department Head Conversation

This is intended to be an opportunity for the Council to engage with the Department Head and to have a conversation that is not driven by a business item or budget need, but an honest look into their operations, staff, and services. The Department Head will begin with a few highlights from each of the three sections below before opening it up to a dialogue with the Council. The intention is for this conversation to be 10-15 minutes.

Six-Month Department Look Back (celebrations, accomplishments, mistakes, challenges, staff, volunteers, community members, partnerships, budgets, programs, initiatives, efforts, etc.)

- Brownell is a department that serves the public with a variety of services and we are professionally staffed to plan and provide those services. While we continue to have longtime community members use the library as a place to read and work and seek information and entertainment resources, we are seeing changing demographics involving people who know public libraries a safe place to spend time, and seeking information to achieve more stability in their lives. We are open to all and welcome people regardless of their socioeconomic status to Brownell, and provide library services and a safe place, along with excellent resources and programming to engage the community. The changing dynamics require more problem solving and staff time, and this is something public libraries are seeing across the country. Staff connect with area libraries regularly due to shared resources and experiences and these library relationships and networks are excellent sources of ideas and information to help navigate these unprecedented times. Building and growing this network of relationships with fellow librarians is a worthy investment for mutual brainstorming and support.
- Brownell continues to be challenged in managing our workflow, with our priority being to serve the public with library services provided by a professional staff. While we can't plan day to day what may happen at Brownell, we plan larger desk projects by season or year, and the unexpected projects and requests from outside the library involving a significant investment of library staff time have been an incredible challenge. Library staff have managed a lot of changes in the past several years with merger, separation and pandemic operations. We have managed to fulfill these additional requests asking for documentation and completion of larger initiatives that continue to come up frequently and organically, while continuing to serve the public and manage professional library operations. The unexpected and extra asks from beyond our department has been hard on library staff who plan desk work as much as possible to be able to have flexibility to respond to the public with a level of service we can be proud of.
- Our library staff have shown time and again their ability to work as a team among themselves and select other departments, and countless outside organizations including the Teen Center, Police, Outreach, Brownell Library Board, area businesses and nonprofits, Chittenden County

libraries, the VT Dept of Libraries, Vermont Library Association, Green Mountain Library Association, community members and library volunteers to tap into and share resources that benefit Brownell and the community. These positive relationships and successful partnerships energize staff to continue to collaborate and work to enhance Brownell Library services. Brownell continues to be a leader in the state because of our solid and knowledgeable staff, and the Essex Junction community continues to benefit from those partnerships.

- With the Brownell budget singled out this budget season, the impact has been felt by all staff in this unprecedented situation, and this has been extremely hard, and staff have come together to navigate the evolving situation resulting from the inquiry. The number of community members who have taken their time to share their care and concern for staff, Brownell services, and fellow patrons has brought unexpected light during these challenging times.
- Our new locker pickup system has had most of the glitches worked out and patrons are thrilled to have this hold pickup flexibility.
- Our now annual seed swap, and handing out eclipse glasses and Covid tests have been very well received by library visitors.

Six-Month Department Look Ahead (celebrations, accomplishments, mistakes, challenges, staff, volunteers, community members, partnerships, budgets, programs, initiatives, efforts, etc.)

- We have really appreciated the contact from City leaders who have taken time to better understand library operations, and share the goal of a more positive working relationship with our department and Library Board and look forward building on that.
- Lincoln Hall renovations have resulted in a lot of inquiries for use of our community room space. We are being as flexible as possible to accommodate requests while continuing to offer expected library services and appreciate the positive interactions of these inquiries and patience as we anticipate potential impacts and what can work, and potential partnerships that may be mutually beneficial for new users of our community room space.

Anything you think the Council should know

- Library staff have truly been exemplary in working together to manage library services, and back each other up at desks, with difficult visitors and managing injuries and illness resulting in unscheduled absences and I couldn't be more proud of my team's commitment to service and each other.



The Essex Junction Tree Advisory Committee, (TAC), serves in an advisory capacity to the City of Essex Junction Council, Planning Department, City Manager and the Department of Public Works. TAC was established in 2014 to provide a mechanism for the planting, maintenance, protection and removal of trees and shrubs on public streets, parks, and city owned properties within the City of Essex Junction. The committee works in cooperation with the City Tree Warden.

Street trees, the trees in your yard, and trees in our parks comprise the city's urban forest and contribute to our city's livability and beauty. The benefits of trees are numerous. Trees control erosion, lessen storm water runoff, dampen wind and sound, help cool our homes and buildings, provide food and shelter for wildlife, convert carbon dioxide into oxygen, and add immeasurable beauty to our environment.

In 2023, TAC accomplished many projects that will benefit Essex Junction for years to come. As we continue our tree planting effort, we are happy to report that we planted 37 new trees that now grace our city streets! Over the past 10 years over 250 trees have been planted throughout the city.

In 2019 TAC began a partnership with the Branch Out Burlington nursery to grow our own trees for Essex Junction. Tree Committee members, as well as other volunteers from the Junction, plant and care for the trees throughout the growing season until they are ready, usually in two years, to be transplanted to our streets. 2023 marks the second year that we did not purchase any trees but sourced them all from our nursery which amounts to significant savings for the city. We greatly appreciate Branch Out Burlington for giving TAC the opportunity to be part of their organization!

In early January the Emerald Ash Borer was discovered in the city. Fortunately, TAC developed an EAB management plan in 2018 to deal with this threat. In a few neighborhoods ash trees were planted on both sides of the street. Once the infestation begins, the trees will die, changing the street scape dramatically. Our strategy is to interplant new trees where possible but also begin the removal process and replant trees

in the same location. This effort will lessen the impact of the Ash Borer and create a more diverse tree canopy that can better withstand invasive pests. This year we planted new trees on Hayden, Wilkinson, Tyler and Lavoie Drives.

In celebration of Arbor Day, students at Hiawatha from the Earth Rangers Club researched the benefit of trees and assisted in planting a tree in honor of a teacher. One goal of the Tree Committee is to educate residents about the value of the urban forest. Schools offer a unique opportunity to teach the importance of trees to our youth and help them become the future stewards of this valuable resource. Every year TAC has held an Arbor Day event at one of the 5 schools in the Junction.

The City of Essex Junction has been designated a Tree City USA by the National Arbor Day Association. Communities that receive this award, have shown their commitment to the urban forest. This marks eight straight years that the Junction has been honored for caring for and expanding the urban forest.

TAC has collaborated with the Planning Department and Design Review Board on reviewing landscape plans in development applications. In numerous surveys residents have placed a high value on trees and increasing the Junction greenspace. TAC suggested language to the Land Development Code that was added. This language will assist the design Review Board as they review new development applications.

One goal of TAC is to educate and engage residents as to the benefit of trees in their city. This year we held two new events. In June we organized a combined tree and EJ history walk led by Warren Spinner, Essex Jct. Tree Warden and Tim Jerman, Essex historian. Over 25 people participated and we hope it becomes a regular event. In the fall we held the first Greatest Tree Contest that attracted many entries. Participants listed their favorite tree accompanied by a short narrative. TAC members judged the entries and prizes were awarded. The grand prize was \$100 and we would like to thank Northfield Savings Bank for their generous donation.

In closing, the Committee would like to thank the residents of Essex Junction, the City Council, and the Public Works Department for their continued support.

Respectfully submitted,

Nick Meyer

The Village of Essex Junction Tree Advisory Committee

Memo

To: City Council and City Manager Regina Mahony
From: Harlan Smith, Interim, City Building Coordinator
Meeting Date: March 27, 2024
Re: 2 Lincoln Remodel Update and Discussion

Issue: The purpose of this agenda item is to provide the Council with information on project scope and cost progression as well as a review of the construction plans.

Discussion:

The renovation to the 2 Lincoln building to house the newly formed City of Essex Junction is at the 50% design phase, and the associated cost estimate and value engineering suggestions has been provided by the Construction Manager. Value Engineering is the process of removing several key aspects of the project scope to achieve the budget, which to date has not reduced project costs to the available funds.

The attached document outlines the two estimates provided to date and the Value Engineering recommendations to reduce the cost of the project at each estimate. This document also includes items not entered into the second estimate that were requested in the scope, and a list of items that have not been included but we envision we'll need eventually. After the first cost estimate (at 20% design phase drawings), Value Engineering reductions were made that Staff felt were manageable reductions (see the "Value Engineering 12/21/23" list in the attached document). However, the Value Engineering reduction recommendations associated with the second cost estimate (at 50% design phase drawings), are not as manageable (see the "Value Engineering 3/21/24" list in the attached document).

This is a summary of how the scope has evolved:

Original scope of renovation:

- Upgrade building to 3 phase power
- Relocate generator
- Add elevator
- Address lobby and service to residents
- Address public bathrooms and meeting spaces
- Address office space layout for security, work flow, and efficiency.
- Address HVAC system to provide air exchange
- HVAC to be located on roof top to maintain basement storage
- Accommodate Teen Center needs as possible.

Second scope for second estimate:

- Leave power as single phase
- Change some aspects of lobby
- Reduce vestibule to one bay and address ADA to vestibule
- Move HVAC to basement
- Add Sewer line lining
- Address Teen center types of flooring
- Address door replacements

The cost estimate is just that until the project is put out to bid. Staff feel that the cost estimate is close enough to the available funds to put the project out to bid to understand the true cost. At that time the scope of the project will either be reduced to fit the budget or additional funds will be needed.

Current status:

1. Scope has not changed at this time.
2. Architect and engineering team are working toward complete 100% construction drawings *without* the second Value Engineering reductions.
3. CM working toward going out to bid to provide the Guaranteed Maximum Price (will proceed after 100% drawings are complete).

Cost: Estimated at current scope = \$2,975,933. Available funds = \$2,649,329

If the actual cost (Guaranteed Maximum Price) is above the budget, the scope of the project will either be reduced to fit the budget or additional funds will be needed. There is no source of additional funds at this time.

Recommendation:

No Council decision is needed at this time; however, staff would like input from the Council on project scope.

Attachments:

Renovation Estimate Process
Lincoln Hall 50% Construction Drawings

First estimate 11/16/23	\$2,994,683.00
out of pocket	\$403,000.00
Total project	\$3,397,683.00
Value Engineering 12/21/23	
Reduce vestibule to single bay	\$28,500.00
Delete window resto & repair	\$46,000.00
Delete blower door testing	\$5,000.00
Delete lobby Vaulted ceiling	\$23,000.00
Delete vestibule bench	\$5,600.00
Replace solid surface counter top with laminate	\$5,000.00
Stay with single phase power delete three phase generator/ no new primary feed or transformer	\$222,000.00
Remove heat pump HVAC system. Stay with standard Nat Gas	\$82,500.00
Change HVAC controls from DDC/full to app based version	\$55,000.00
Sub Total	\$2,925,083.00
CM fee reduction	\$23,630.00
Contractor contingency reduction	\$49,623.00
Total after VE applied	\$2,851,830.00
Second estimate 3/21/24	\$2,572,933.00
out of pocket	\$403,000.00
Total project	\$2,975,933.00
Value Engineering 3/21/24	
Delete teen center kitchen cabinets	\$7,676.00
Delete Additional lobby window	\$1,693.00
Remove HVAC zone 4 Basement system	\$18,060.00
Utilize return air plenum, reduce return air duct	\$13,545.00
Reduce # return air diffusers	\$1,976.00

NOTES

20% drawings

Contingency, permits, insurance, abatement, office move, furnishings

Originally three bays with generator move
sealing and repairing
test to find leaks
added historical look

Heat pumps operational to 40 degrees then nat gas kicks in

Full DDC is computer controlled and monitored/ app notifies of fault

50% drawing with change in scope

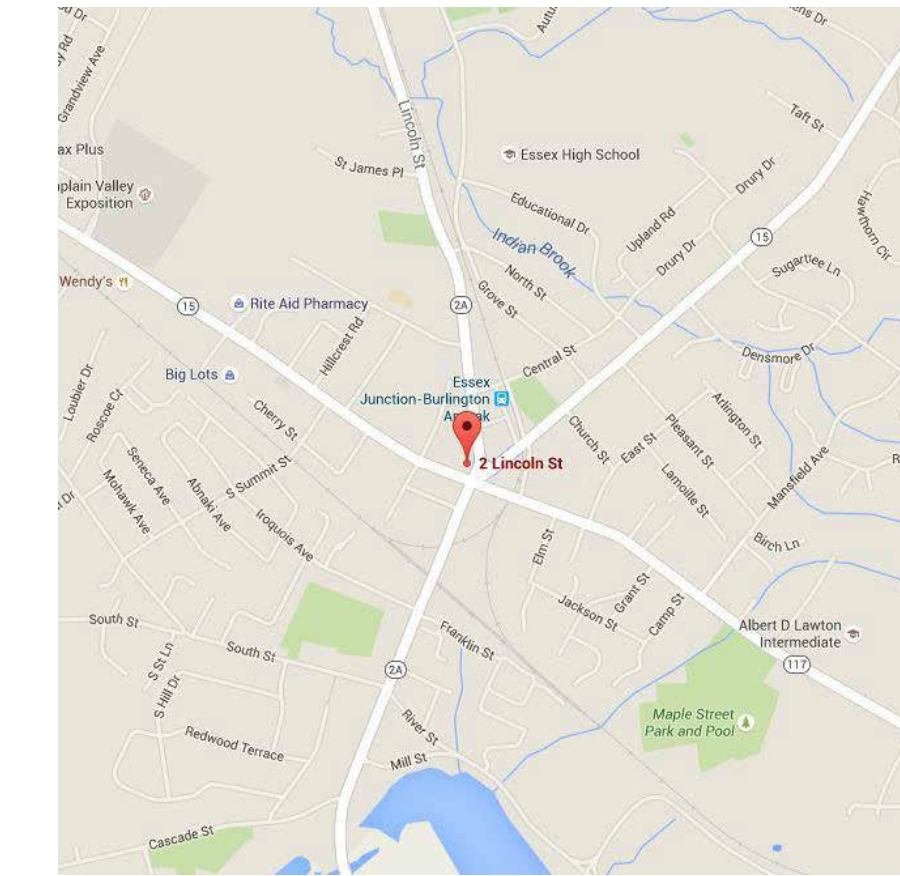
Storage closet removed and window added
added from original scope
Need explanation from engineer

Change drinking fountains to standard, no bottle fill.	\$3,386.00
Delete lining of existing sewer line	\$17,157.00
Delete Car charging station	\$8,466.00
Delete vestibule and associated site work	\$128,306.00
Sub Total including 7.5% contingency & 5% CM fee	\$2,775,668.00
Change in scope not included in 2nd estimate.	
Zone 3 HVAC system / Teen center space	\$36,120.00
Flooring upgrade / teen center	Not estimated
Not included above	
New AV for meeting spaces	\$50,000.00
Security cameras	\$12,000.00
Security system	\$7,000.00
Door access controls	\$30,000.00

Needs to be done added scope for second estimate
Code if parking lot was changed
large air exchange. Inefficient

See marked drawing for zone 3 area

LINCOLN HALL ESSEX JUNCTION MUNICIPAL OFFICES



LOCATION MAP



PROJECT LOCATION:

**2 Lincoln Street
Essex Junction, VT 05452**

Owner

City of Essex Junction
2 Lincoln Street
Essex Junction, VT 05452
P: (802) 878-6944

Architect

Scott + Partners, Inc., Architects
7 Carmichael Street
Essex Junction, VT 05452
P: (802) 879-5153
E: jba@scottpartners.com

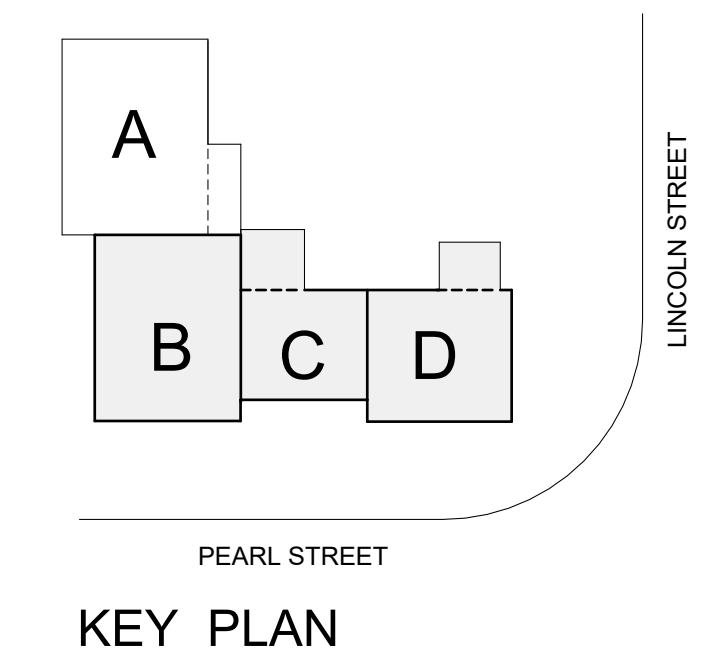


DRAWING LIST:

A0.1	GENERAL NOTES
LIFE SAFETY	
LS 1.0	LIFE SAFETY BASEMENT PLAN
LS 2.0	LIFE SAFETY FIRST FLOOR PLAN
LS 3.0	LIFE SAFETY SECOND FLOOR PLAN
CIVIL	
C-1	EXISTING CONDITIONS PLAN
C-2	DEMOLITION PLAN
C-3	PROPOSED SITE PLAN
STRUCTURAL	
S-1	FOUNDATION PLAN
S-2	FIRST FLOOR FRAMING PLAN
S-3	SECOND FLOOR FRAMING PLAN
S-4	ATTIC AND LOW ROOF FRAMING PLAN
S-5	ROOF FRAMING PLAN
S-6	SECTIONS
S-7	TYPICAL SECTIONS
S-8	STRUCTURAL NOTES
ARCHITECTURAL	
A1.0	BASEMENT + FIRST FLOOR/ DEMO PLAN
A1.1	SECOND FLOOR + ATTIC EXISTING/DEMO PLANS
A2.0	BASEMENT PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ATTIC PLAN
A3.0	EXTERIOR ELEVATIONS
A4.0	BUILDING SECTIONS
A4.1	ENLARGED ELEVATOR PLANS AND SECTIONS
A4.2	ENLARGED STAIR SECOND FLOOR PLAN
A8.0	ENLARGED PLANS AND INTERIOR ELEVATIONS
A8.1	ENLARGED PLANS AND INTERIOR ELEVATIONS
A8.2	ENLARGED PLANS AND INTERIOR ELEVATIONS
A9.0	WALL TYPES
A9.1	INTERIOR DETAILS
A9.2	INTERIOR DETAILS
A9.3	EXTERIOR DETAILS ENLARGED LOWER ROOF PLAN
A11.0	FINISH PLANS & SCHEDULE
A11.1	DOOR & WINDOW SCHEDULE & DETAILS
MECHANICAL	
M1.0	MECHANICAL LEGEND AND GENERAL NOTES
M2.0	BASEMENT MECHANICAL PLAN - DEMOLITION
M2.1	FIRST FLOOR MECHANICAL PLAN - DEMOLITION
M2.2	SECOND FLOOR MECHANICAL PLAN - DEMOLITION
M3.0	BASEMENT AIR DISTRIBUTION PLAN
M3.1	FIRST FLOOR AIR DISTRIBUTION PLAN
M3.2	SECOND FLOOR AIR DISTRIBUTION PLAN
M3.3	ATTIC MECHANICAL PLAN
M4.0	BASEMENT HYDRONICS PLAN
M4.1	FIRST FLOOR HYDRONICS PLAN
M4.2	SECOND FLOOR HYDRONICS PLAN
M4.3	ATTIC HYDRONICS PLAN
M5.0	MECHANICAL DETAILS
M6.0	MECHANICAL SCHEDULES
ELECTRICAL	
E1.0	ELECTRICAL LEGEND, SCHEDULES, & DETAILS
E2.0	ELECTRICAL DEMOLITION PLANS
E3.0	POWER PLANS
E4.0	ELECTRICAL LIGHTING PLAN
E5.0	BASEMENT AND FIRST FLOOR FIRE ALARM PLANS
E5.1	SECOND FLOOR FIRE ALARM PLAN
E6.0	ELECTRICAL ONE LINE DIAGRAM
PLUMBING	
P1.0	PLUMBING LEGEND AND GENERAL NOTES
P2.0	BASEMENT PLUMBING PLAN - DEMOLITION
P2.1	FIRST FLOOR PLUMBING PLAN - DEMOLITION
P2.2	SECOND FLOOR PLUMBING PLAN - DEMOLITION
P3.0	BASEMENT PLUMBING PLAN
P3.1	FIRST FLOOR PLUMBING PLAN
P3.2	SECOND FLOOR PLUMBING PLAN
P4.0	PLUMBING SCHEDULES AND DETAILS

ALTERNATE LIST:

- ALTERNATE #1:**
DEDUCT - ROOM 219 TEEN CENTER KITCHENETTE CABINETS; BASE AND WALL, KITCHEN COUNTER. PROVIDE PLUMBING FIT UP. PROVIDE ELECTRICAL FIT UP. PROVIDE OUTLETS FOR FUTURE EQUIPMENT, OVEN, REFRIGERATOR.
- ALTERNATE #2:**
ADD FLOORING UPGRADES FROM CPT-1; TO LVT-1 TO TEEN CENTER ART ROOM 216, TO CPT - 2 IN TEEN ACTIVITY CENTER ROOM 217, AND LVT-1 IN 219.
- ALTERNATE #3:**
ADD MECHANICAL ZONE FOR AIR CONDITIONING/HEATING TO THE TEEN CENTER AREAS; KITCHENETTE 219, ACTIVITY ROOM 217, ART ROOM 227, THE EXISTING RADIATORS WILL BE DEACTIVATED, THE HISTORIC UNITS WILL REMAIN IN PLACE.
- ALTERNATE #4:**
DEDUCT WOOD VAULT CEILING LWC-1 IN LOBBY 101.
- ALTERNATE #5:**
DEDUCT EXTERIOR WINDOW A IN LOBBY 101.
- ALTERNATE #6:**
DEDUCT VESTIBULE 100 AND ALL RELATED SCOPE.



LINCOLN HALL

COVER SHEET
02/15/2024

**50 % CONSTRUCTION SET 02/15/2024
NOT FOR CONSTRUCTION**

ABBREVIATIONS

#	Number of Pounds	FE	Fire Extinguisher	PRESS	Pressure
&	And	FEF	Fire Extinguisher Cab	PSF	Pounds Per Square Foot
=	Equal	FFE	Finished Floor Elevatio	PSI	Pounds Per Square Inch
@	At	FGL	Fiberglass	PT	Paint or Point
A/C	Air Conditioning	FHC	Fire Hose Cabinet	PTD	Painted
A/E	Architect/Engineer	FIN	Finished	PVC	Poly Vinyl Chloride
ABV	Above	FIX	Fixture	PVT	Pavement
AC	Acoustical	FLASH	Flashing	PVR	Paver
ACT	Acoustic Ceiling Tile	FLEX	Flexible	QTY	Quantity
AD	Access Door	FLR	Floor	R	Radius/Riser
ADD	Area Drain	FLRG	Flooring	RA	Return Air
ADJ	Additional	FLOUR	Fluorescent	RAD	Radiation
ADJT	Adjustable	FW	Face of Wall	RD	Roof Drain, Road
AFF	Above Finished Floor	FP	Fire Proofing	REBAR	Reinforcing Bar
AFG	Above Finished Grade	FR	Fire Rated	REC	Recessed
ALT	Alternate	FRM	Frame	REF	Reference
ALUM	Aluminum	FRP	Fiberglass Reinf.	REFL	Reflected
ANCH	Anchor	FRT	Fire Ret. Treated	REFR	Refrigerator
ANCH B	Anchor Bolt	FT	Foot or Feet	REG	Register
ANOD	Anodized	FTG	Footing	REIN	Reinforced
AP	Access Panel	FTR	Fin Tube Radiation	REM	Remove
APPROX	Approximately	FUR	Furred or Furring	REQD	Required
ARCH	Architect/Architectural	FURN	Furnished	RES	Resistant
ASB	Asbestos	FUT	Future	RESIL	Resilient
AUTO	Automatic	FXD	Fixed	RET	Retaining
AUX	Auxiliary	GA	Gauge	REV	Revision/Reverse
AV	Audio Visual	GALV	Galvanize(d)	RF	Roof
AVG	Average	GB	Grab Bar	RFG	Roofing
B	Bolt	GC	General Contractor	RM	Room or Roof Membrane
BC	Brick Course	GD	Grade	RO	Rough Opening
BD	Board	GDR	Guardrail	RSL	Resilient Flooring
BEL	Between	GEN	General	S	South
BET	Between	GL	Glass	SAT	Suspended
BIT	Bituminous	GRD	Ground	SC	Solid Core
BL	Blanket	GS	Gravel Stop	SCHED	Schedule
BLDG	Building	GT	Grout	SECT	Section
BLK	Block	GWB	Gypsum Wall Board	SF	Square Feet
BLKG	Blocking	GYP	Gypsum	SHLV	Shelving
BM	Beam, Bench Mark	HB	Hose Bib	SHT	Sheet
BN	Bull Nose	HBD	Hardboard	SIM	Similar
BO	Bottom of	HC	Hollow Core or	SLDG	Sliding
BOS	Bottom of Step	HD	Handicap Accessible	SLNT	Slant
BOT	Bottom	HDWD	Hardwood	SPCG	Spacing
BRCG	Bracing	HDR	Handrail	SPEC	Specification
BRG	Bearing	HDW	Hardware	SPKR	Speaker
BRK	Brick	HM	Hollow Metal	SPR HD	Sprinkler Head
BRKT	Bracket	HOR	Horizontal	SS	Stainless Steel
BS	Both Sides	HP	High Pressure	SQ	Square
BSMT	Basement	HR	Hour	STC	Sound Transmission Class
BW	Both Ways	HT	Height	STD	Standard
BUR	Built up Roofing	HTG	Heating	STIFF	Stiffener
CAB	Cabinet	HTR	Heater	STL	Steel
CAB	Catch Basin	HVAC	Heating, Vent. & A/C	STOR	Storage
CEM	Cement	HW	Hot Water	STRUCT	Structural
CER	Ceramic	ID	Inside Diameter	SURF	Surface
CF	Cubic Feet	IN	Inch	SUSP	Suspended
CG	Corner Guard	INCL	Included/ing	SV	Sheet Vinyl
CH	Ceiling Height	INFO	Information	SYM	Symbol
CHAM	Chamfer	INSUL	Insulation	SYS	System
CIR	Circle	INT	Interior	T	Tread, Tile
CIRC	Circumference	INTER	Intermediate	T&G	Tongue and Groove
CJ	Control Joint	JAN	Janitor	TBD	Tack Board
CL	Construction Joint	JB	Junction Box	TEL	Telephone
CL	Center Line	JC	Janitor's Closet	TEMP	Temporary, Temperature
CLF	Chain Link Fence	JST	Joist	TFLI	Tenant Furnished
CLNG	Ceiling	JT	Joint	TFTI	Landlord Installed
CLOS	Closet	K PL	Kick Plate	TFTI	Tenant Furnished
CLR	Clear	KD	Knock Down	TK BD	Tack Board
CLS	Closure or Closer	LAM	Laminate	TK	Tenant Installed
CM	Construction Manager	LAV	Lavatory	THERM	Thermometer
CMU	Cement Masonry Unit	LBS	Pounds	THRU	Through
CO	Clean Out	LF	Lineal Feet	THK	Thick
COL	Column	LQ	Liquid	THR	Threshold
COMP	Compressible	LQC	Location	TK BD	Tack Board
CONC	Concrete	LT	Light	TOC	Top of curb
CONST	Construction	LF F	Light Fixture	TOF	Top of Footing
CONT	Continuous	LTG	Lighting	TOS	Top of Steel
CONTR	Contractor	LTL	Lintel	TOW	Top of Wall
COORD	Coordinate	LVR	Louver	TLT	Toilet
COR	Corrugated	LW	Long Way	TR	Trench
CORR	Corridor	FLI	Landlord Furnished	TRT	Treated
CPT	Carpet	LFI	Landlord Installed	TYP	Typical
CRS	Course	LFTI	Landlord Furnished	UC	Under Cut
CSMT	Casement	UL	Underwriter's Laboratories	UH	Unit Heater
CT	Ceramic Tile	MACH	Machine	UNFIN	Unfinished
CTR	Center	MAINT	Maintenance	UNO	Unless Noted
CR	Chair Rail	MAS	Masonry		Otherwise
CTS	Countersunk	MAT	Material	UTIL	Utility
CU	Cubic	MAX	Maximum	UR	Urinal
CUH	Cabinet Unit Heater	MD	Metal Decking	VAC	Vacuum
CW	Cold Water	MECH	Mechanical	VAR	Variable
CYL	Cylinder	MED	Medium	VB	Vapor Barrier
D	Deep or Depth	MEMB	Member	VC	Vinyl Composite Tile
DB	Descals	MCF	Metal Furring Channel	VEH	Vehicle
DBL	Double	MFR	Manufacturer	VERT	Vertical
DEM	Demolish	MH	Manhole	VEST	Vestibule
DEPT	Department	MHO	Magnetic Hold Open	VIF	Verify in Field
DET	Detail	MIN	Minimum or Minute	VNR	Veneer
DF	Drinking Fountain	MIR	Mirror	VOL	Volume
DIA	Diameter	MISC	Miscellaneous	VP	Vent Pipe
DIAG	Diagonal	MLD	Molding	VTR	Vent Through Roof
DIFF	Diffuser	MO	Masonry Opening	VWC	Vinyl Wall Covering
DIM	Dimension	MOV	Movable	W	West
DISP	Dispenser	MR	Moisture Resistant	W	With
DMT	Demountable	MTD	Mounted	W/O	With Out
DN	Down	MTL	Metal	WC	Water Closet
DP	Damp Proofing	MULL	Mullion	WD	Wood
DR	Door or Drain	N	North	WIN	Window
DS	Down Spout	N/A	Not Applicable	WF	Wide Flange
DWG	Drawing	NIC	Not in Contract	WG	Wire Glass
E	East	NOM	Nominal	WP	Water Proof
EA	Each	NO	Number	WR	Water Resistant
EIFS	Exterior Insulation	NTS	Not to Scale	WS	Water Stop
EJ	+ Finish System	OC	On Center	WT	Weight
EL	Expansion Joint	OD	Outside Diameter	WWF	Welded Wire Fabric
ELEV	Elevation	OF	Outside Face		
ELEC	Electric or Electrical	OFE	Owner Furnished Equipment		
ELEV	Elevator	OFF	Office		
EMER	Emergency	OFCI	Owner Furnished Contractor Installed		
ENAM	Enamel	OFI	Owner Furnished Installed		
ENCL	Enclosure	OH	Overhead		
ENG	Engineer	OHD	Over Head Door		
ENT	Entrance	EQ	Equal		
EOS	Edge of Slab	EQ	Equal		
EQ	Equipment	OPNG	Opening		
EQUIP	Equipment	OPP	Opposite		
EXIST	Existing	OPPH	Opposite Hand		
EXP	Expansion	OZ	Ounce		
EW	Each Way	PART	Partition		
EWC	Elec. Water Cooler	PC	Precast or Piece		
EKH	Exhaust	PED	Pedestal		
EXIST	Existing	PERF	Perforated		
EXPD	Expanded	PERIM	Perimeter		
EXPO	Exposed	PFN	Prefinished		
EXT	Exterior	PH	Partial Height		
EXTR	Extruded	PL	Plate		
FA	Fire Alarm	PLAM	Plastic Laminate		
FAS	Fastener	PLAS	Plaster		
FB	Face Brick or Flat Bar	PLUM	Plumbing		
FC	Flexible Connection	PLWD	Plowwood		
FD	Floor Drain or	PNL	Panel		
FDN	Foundation	PORC	Porcelain		
		PREFAB	Prefabricated		

GENERAL NOTES

- THIS BUILDING IS LISTED ON THE HISTORIC REGISTER. A SPECIAL LEVEL OF ATTENTION AND PURPOSE MUST BE USED TO PRESERVE THE HERITAGE OF THIS BUILDING. ALL CARE AND ATTENTION TO EXISTING DETAIL, MATERIAL, AND LOCATION WILL BE AFFORDED THE EXTERIOR ELEMENTS OF THIS BUILDING. THE U.S. SECRETARY OF THE INTERIOR'S STANDARDS FOR PRESERVATION ARE TO BE FOLLOWED FOR THE EXTERIOR WORK OF THIS PROJECT. STRICTLY FOLLOW THE WORK SCOPE(S) INDICATED. CONSULT THE ARCHITECT PRIOR TO BEGINNING ALL WORK TO THE BUILDING EXTERIOR.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO STARTING ANY WORK.
- DIMENSIONS TO EXISTING CONSTRUCTION SHALL BE TO FACE OF SURFACE MATERIAL, UNLESS OTHERWISE NOTED OR INDICATED.
- DIMENSIONS TO NEW CONSTRUCTION SHALL BE TO FACE OF STUD OR FRAMING, UNLESS OTHERWISE NOTED OR INDICATED.
- PATCH AND REPAIR ALL SURFACES/MATERIALS THAT ARE DAMAGED BY DEMOLITION. PATCH AND REPAIR ANY CRACKS, DINGS, HOLES, ETC., NOT RELATED TO DEMOLITION, AT ALL EXPOSED SURFACES SCHEDULED TO BE PAINTED. SEE SPECIFICATIONS.
- ALL NEW GWB WALLS SHALL BE FULL HEIGHT, FROM SUBFLOOR TO UNDERSIDE OF STRUCTURE/DECK ABOVE- UNLESS NOTED OR OTHERWISE INDICATED.
- ALL NEW GWB WALLS SHALL BE TAPED, SMOOTH FINISHED, AND PAINTED W/ (1) COAT OF LATEX PRIMER AND (2) TOPCOATS OF LATEX PAINT. SEE SPECIFICATION SECTION 09 9123- PAINTING.
- CONTRACTOR SHALL COMPLETELY PAINT ALL ROOMS WITH ANY NEW WORK OCCURRING IN THEM UNLESS NOTED OTHERWISE.
- ALL FIRE RATED WALL AND DECK PENETRATIONS TO BE FIRESEALED AND DRAFT STOPPED. SEE THE LIFE SAFETY DRAWINGS FOR EXTENT OF RATED WALLS.
- ALL FLOOR/CEILING (DECK) ASSEMBLIES TO BE SMOKE TIGHT. SEAL ALL HOLES, GAPS AND AROUND ALL EXISTING AND NEW PENETRATIONS.
- SURFACE MOUNTED CONDUIT WILL BE ALLOWED AT EXISTING WALLS WHERE SNAKING/ FISHING IS NOT ACHIEVABLE. ALL PROPOSED SURFACE MOUNTED CONDUIT SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- MECHANICAL UNITS ARE REQUIRED TO CONDITION THE FORCED AIR SYSTEM, WITH LIMITED EXTERIOR SPACE FOR THIS EQUIPMENT .TWO OPTIONS ARE PROVIDED. ALL REQUIRE DUCT SPACE TO DISTRIBUTE AIR.THE PROJECT IS SHOWING A BASE BID AND ONE ALTERNATE: BASE BID = ZONES 1-3. ALTERNATE = ZONE 4.
- THE EXISTING MINI- SPLIT SERVING THE LARGE CONFERENCE ROOM TO REMAIN.

INSULATION AND AIR SEALING NOTES:

- PROVIDE AIR SEALING MEASURES WHERE INDICATED ON PLAN, GENERALLY AS RELATED TO NEW WORK ONLY. ALL NEWLY INSTALLED WINDOWS AND DOORS SHALL BE AIR SEALED TO THE SURROUNDING BUILDING CONSTRUCTION IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, CURRENT INDUSTRY BEST PRACTICES, AND IN COMPLIANCE WITH VT-CBES 2020.
- THE PROJECT IS NOT INTENDING TO ADDRESS ALL EXISTING CONDITIONS. HOWEVER, WHERE EXTERIOR WALLS OR ROOFS ARE EXPOSED BY REMOVALS, THE CONTRACTOR SHALL INSPECT THE EXPOSED AREAS WITH THE ARCHITECT AND IDENTIFY ANY POTENTIAL REMEDIAL IMPROVEMENTS TO THE BUILDING SHELL.
- WHERE APPLICABLE, GENERAL AIR SEALING MEASURES WILL BE INSTALLED THROUGH THE USE OF INDUSTRY STANDARD MATERIALS AND TECHNIQUES, INCLUDING: USE OF MINIMUM EXPANDING FOAM AND SEALANTS TO SEAL CRACKS GAPS AND VOIDS.



project name:
LINCOLN HALL

project address:
2 LINCOLN STREET
05452

ESSEX JUNCTION, VT

scale: As indicated
project no. 21-1457
checked by: JA
drawn by: LMW, TN
proj. date: 2024
sheet date: 02/15/2024

No	Date	Revisions

sheet title:
GENERAL NOTES

sheet no.
A0.1

50% CD SET- NOT FOR CONSTRUCTION

BUILDING CONSTRUCTION TYPE:	EXTINGUISH REQUIREMENTS:
<input type="checkbox"/> TYPE 1 <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> TYPE 2 <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> TYPE 3 <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> TYPE 4 <input type="checkbox"/> A <input type="checkbox"/> B <input checked="" type="checkbox"/> TYPE 5 <input type="checkbox"/> A <input checked="" type="checkbox"/> B	<input type="checkbox"/> SPRINKLER SYSTEM <input checked="" type="checkbox"/> PORTABLE FIRE EXTINGUISHERS CLASS A: <input type="checkbox"/> CLASS B & C: <input type="checkbox"/> REQUIRED TRAVEL DISTANCE TO EXTINGUISHER: 75'-0"
FIRE DETECTION SYSTEM:	
<input checked="" type="checkbox"/> NO DETECTION AND ALARM, OR COMMUNICATION SYSTEM REQUIRED OR PROVIDED <input checked="" type="checkbox"/> FIRE ALARM SYSTEM PROVIDED	
SPRINKLER PROTECTION	
<input type="checkbox"/> SPRINKLED, <input checked="" type="checkbox"/> NOT SPRINKLED, EXCEPT FOR A PARTIAL SPRINKLER IN THE MECHANICAL ROOM	

DRAWING PHASE KEY
<input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> DEMOLITION <input type="checkbox"/> EXISTING

CODE REVIEW SUMMARY

THIS PROJECT IS REVIEWED UNDER THE 2015 VT FIRE & BUILDING SAFETY CODE, INCLUDING REFERENCES TO THE 2015 INTERNATIONAL BUILDING CODE (IBC AND IEBC), THE 2015 NFPA 1 FIRE CODE, THE 2015 NFPA 101 LIFE SAFETY CODE, THE 2010 FEDERAL ADA ACCESS RULES AND THE 2012 VERMONT ACCESS RULES. VT CBES 2020 ALSO APPLIES TO THE NEW MECHANICAL COMPONENTS.

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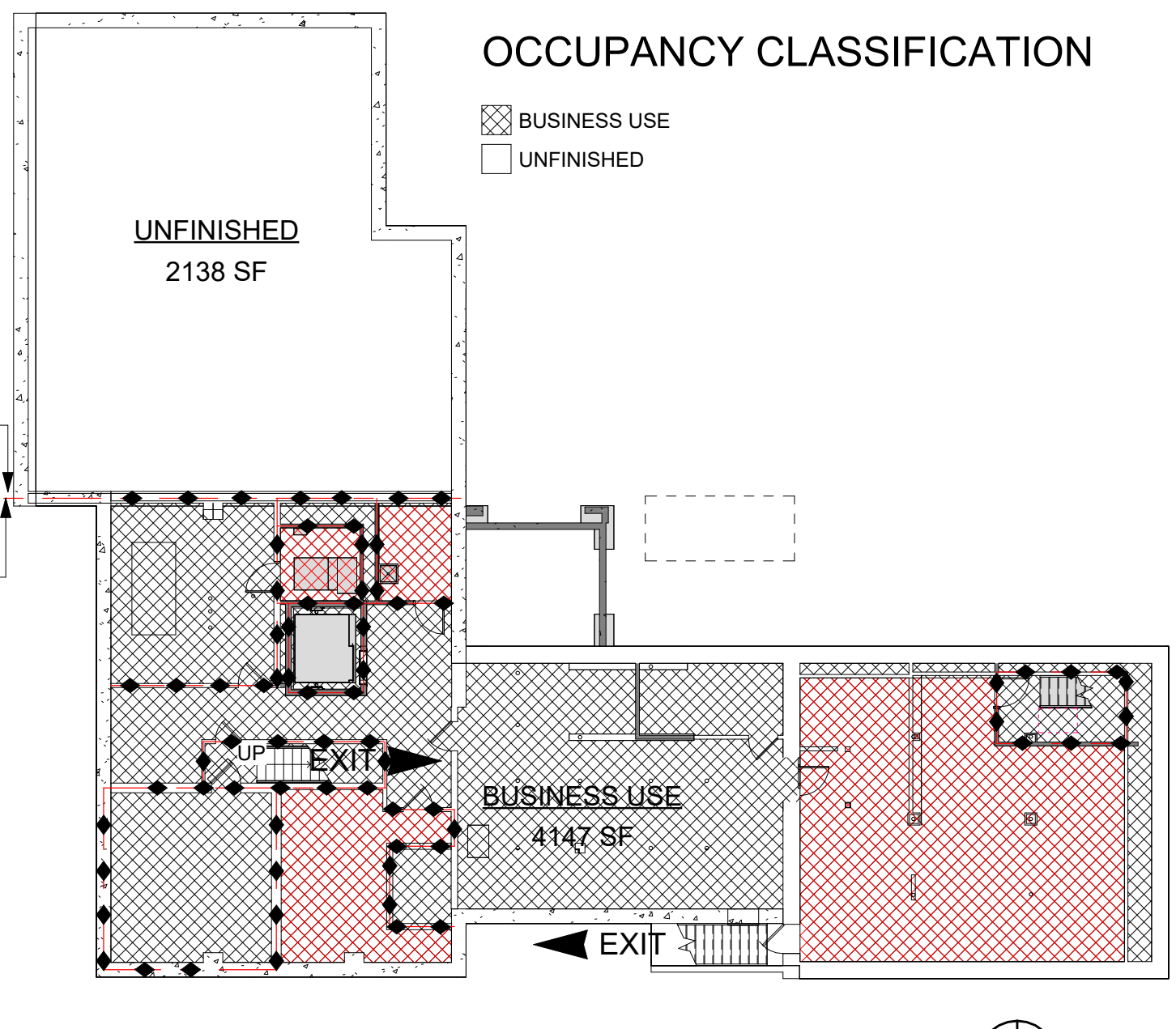
THE BUILDING WILL CONTINUE TO BE MIXED USE: BUSINESS USE (MUNICIPAL TOWN OFFICES) WITH A3 - ASSEMBLY SPACES.

2015 NFPA 101 (2015 VERMONT FIRE AND BUILDING SAFETY CODE)			
CHAPTER 6	CLASSIFICATION OF OCCUPANCY		
	EXISTING ASSEMBLY - A: CHAPTER 13		
	EXISTING BUSINESS - B: CHAPTER 39		
	MULTIPLE OCCUPANCIES:	HISTORIC EXISTING MIXED OCCUPANCY ASSEMBLY/BUSINESS PROPOSED SEPARATED OCCUPANCY ASSEMBLY/BUSINESS	
REQUIRED SEPARATION:	ASSEMBLY LESS THAN 300 OCCUPANCY AND BUSINESS = 1 HOUR		
CHAPTER 7	MEANS OF EGRESS		
OCCUPANT LOAD	ASSEMBLY USE: 15 NET /PERSON		
	EXISTING FIRST FLOOR SECOND FLOOR TOTAL		
	ASSEMBLY: 2,208 SF 2,208 SF = 4,416 SF		
	148 PERSON 148 PERSON = 296 PERSON		
	BUSINESS USE: 100 NET /PERSON		
	EXISTING FIRST FLOOR SECOND FLOOR TOTAL		
	BUSINESS: 4,387 SF 4,046 SF = 8,433 SF		
	44 PERSON 41 PERSON = 85 PERSON		
	(44 PERSON CONFERENCE)		
	TOTAL AREA: = 15,000		
	TYPE VB, UNPROTECTED: NS NOT SPRINKLED:		
	EXISTING FIRST FLOOR SECOND FLOOR TOTAL		
	MIXED: 6,595 SF 6,254 SF = 12,849 SF		
	192 PERSON 189 PERSON = 381 PERSON		

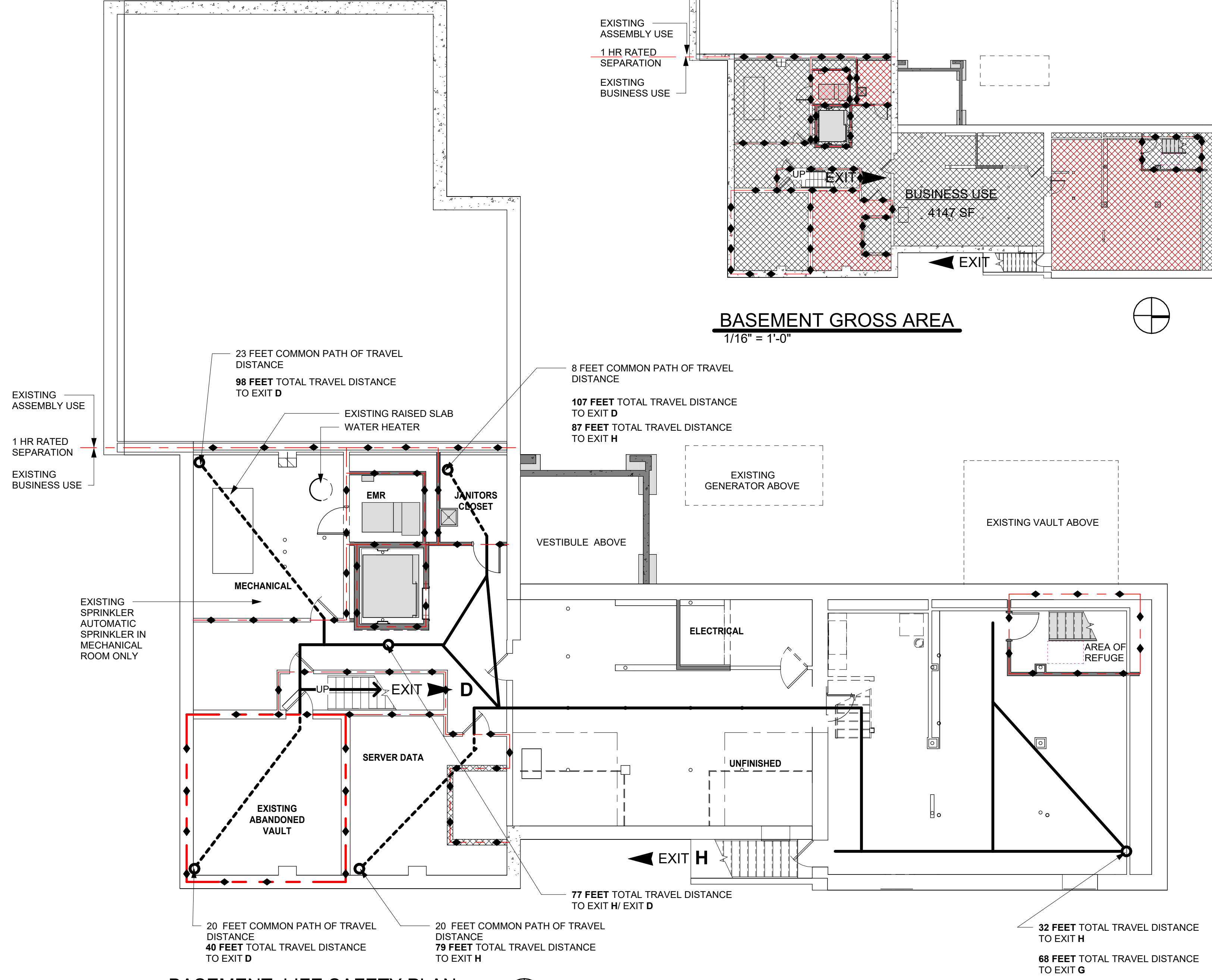
2015 NFPA 101 (2015 VERMONT FIRE AND BUILDING SAFETY CODE)	
CHAPTER 13	EXISTING ASSEMBLY:
CONSTRUCTION TYPE LIMITATIONS:	CONSTRUCTION TYPE V NS, 2 STORIES IN HEIGHT. NOT PERMITTED. IF SPRINKLERED X4 PERMITTED FOR ASSEMBLY TO AN OCCUPANCY LOAD 300 OR LESS.
MAIN ENTRANCE/EXIT:	MAIN ENTRANCE/EXIT SHALL BE OF WIDTH THAT ACCOMMODATE ONE-HALF OF THE TOTAL OCCUPANT LOAD
DEAD END CORRIDORS:	NS: NON SPRINKLERED = NOT TO EXCEED 20 FT MAXIMUM DEAD-END CORRIDOR 9FT -9IN (1ST FLR) NONE (2ND FLR)
COMMON PATH OF TRAVEL:	NS: NON SPRINKLERED = NOT TO EXCEED 75 FT WHERE THE COMMON PATH SERVES NOT MORE THAN 50 OCCUPANTS = NOT TO EXCEED 20FT FROM ANY POINT WHERE THE COMMON PATH SERVES ANY NUMBER OF OCCUPANTS MAXIMUM COMMON PATH OF TRAVEL 20 FT (1ST FLR) MAXIMUM COMMON PATH OF TRAVEL 24 FT (2ND FLR) MAXIMUM COMMON PATH OF TRAVEL 23 FT (BASEMENT)
TRAVEL DISTANCE TO EXITS:	NS: NON SPRINKLERED = NOT TO EXCEED 200 FT FROM ANY POINT IN THE BUILDING PROJECT MAXIMUM TRAVEL DISTANCE TO EXIT: 98 FT (BASEMENT) 50 FT (1ST FLR) 104 FT (2ND FLR)
EMERGENCY LIGHTING:	EMERGENCY LIGHTING WILL BE PROVIDED.
INTERIOR WALL + CEILING FINISH:	CLASS A, IN ENCLOSED STAIRS CLASS A,B IN CORRIDORS AND LOBBIES
INTERIOR WALL FINISH:	CLASS A,B OR C IN ASSEMBLY AREAS
DETECTION:	FIRE ALARM SYSTEM TO BE CONFIRMED
CORRIDORS:	NO REQUIREMENTS. (13.3.6)
CHAPTER 39	EXISTING BUSINESS:
DEAD END CORRIDORS:	NS: NON SPRINKLERED = NOT TO EXCEED 20 FT MAXIMUM DEAD-END CORRIDOR 9FT -9IN (1ST FLR) NONE (2ND FLR)
COMMON PATH OF TRAVEL:	NS: NON SPRINKLERED = NOT TO EXCEED 75 FT MAXIMUM COMMON PATH OF TRAVEL 20 FT (1ST FLR) MAXIMUM COMMON PATH OF TRAVEL 24 FT (2ND FLR) MAXIMUM COMMON PATH OF TRAVEL 23 FT (BASEMENT)
TRAVEL DISTANCE TO EXITS:	NS: NON SPRINKLERED = NOT TO EXCEED 200 FT FROM ANY POINT IN THE BUILDING PROJECT MAXIMUM TRAVEL DISTANCE TO EXIT: 98 FT (BASEMENT) 50 FT (1ST FLR) 104 FT (2ND FLR)
EMERGENCY LIGHTING:	EMERGENCY LIGHTING WILL BE PROVIDED.
INTERIOR FLOOR FINISH:	CLASS I OR CLASS II IN EXIT ENCLOSURES
DETECTION:	FIRE ALARM SYSTEM NOT REQUIRED. REQUIRES SMOKE ALARMS IN ALL AREAS OPENING TO EXIT ACCESS STAIRS IN ACCORDANCE WITH 9.6.2.10 POWER TO SMOKE ALARMS SHALL BE DIRECTLY WIRE TO A NON-DEDICATED ELECTRICAL BRANCH CIRCUIT FOR THE BUILDING AND BY BATTERY OR OTHER METHOD APPROVED BY THE AHJ ALL SMOKE ALARMS SHALL BE THE PHOTOELECTRIC SMOKE ALARMS.
CORRIDORS:	MINIMUM 1-HOUR FIRE RESISTANCE RATING UNLESS WITHIN A SPACE SERVED BY A SINGLE TENANT. NO RATING DUE TO SINGLE TENANT.

OCCUPANCY CLASSIFICATION

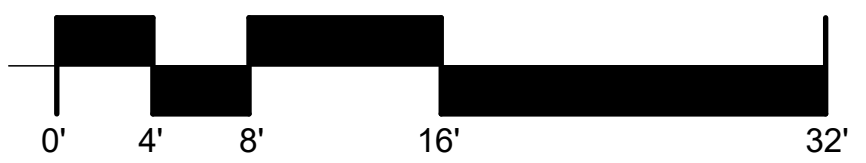
- BUSINESS USE
- UNFINISHED



BASEMENT GROSS AREA 1/16" = 1'-0"



BASEMENT LIFE SAFETY PLAN 1/8" = 1'-0"



MINIMUM EGRESS WIDTH: 44 INCHES; CLEAR WIDTH OF ANY CORRIDOR 44"
NUMBER OF EXITS: TWO SEPARATE MEANS REQUIRED. 2 PROVIDED
EXIT ACCESS CORRIDORS:

1 HOUR FIRE RESISTANCE RATING UNLESS

- SHALL NOT APPLY TO EXISTING BUILDINGS, PROVIDED THAT THE OCCUPANCY CLASSIFICATION DOES NOT CHANGE.

VT EXCEPTION: 101-38.3.1.1 (5) AND 39.3.1.1 (6) - ALLOWS UNENCLOSED EXITS IN TWO STORY BUILDINGS WHEN TRAVEL DISTANCE IS LESS THAN 75' AND ALL AREAS OPEN TO EXIT ACCESS STAIRS ARE PROVIDED WITH SMOKE DETECTORS PER 9.2.6.10.

HEADROOM: IN EXISTING BUILDINGS, THE CEILING HEIGHT SHALL NOT BE LESS THAN 7 FT FROM THE FLOOR, WITH PROJECTIONS FROM THE CEILING NOT LESS THAN 6 FT 8 IN NOMINAL ABOVE THE FLOOR.

FLOOR LEVEL: IN EXISTING BUILDINGS, EXTERIOR EXIT ACCESS, THE FLOOR LEVEL OUTSIDE THE DOOR OPENING SHALL BE PERMITTED TO BE ONE STEP LOWER THAN THAT OF THE INSIDE, NOT MORE THAN 8 INCHES.

IN EXISTING BUILDINGS, A DOOR ASSEMBLY AT THE TOP OF A STAIR SHALL BE PERMITTED TO OPEN DIRECTLY AT A STAIR PROVIDED THAT THE DOOR LEAF DOES NOT SWING OVER THE STAIR AND THAT THE DOOR SERVES AN OCCUPANT LOAD LESS THAN 50 PERSONS.

STAIRS: 36" WIDTH EXISTING, 44" WIDTH NEW

HANDRAILS: HANDRAILS ONE SIDE ONLY MAY BE ALLOWED FOR EXISTING STAIRS. NOTE SPECIAL PROVISIONS FOR FALL PROTECTION AND HANDRAILS HAVE BEEN DIRECTED BY SHPO TO ALLOW EXISTING HISTORIC HANDRAIL TO REMAIN. NEW HANDRAILS SHALL BE INSTALLED TO PROVIDE A CLEARANCE OF NOT LESS THAN 1 1/2" NOR MORE THAN 2 1/4" BETWEEN THE HANDRAIL AND THE WALL TO WHICH IT IS FASTENED.

GUARDS: EXISTING GUARDS ON EXISTING STAIRS SHALL BE PERMITTED TO BE NOT LESS THAN 30 IN. NEW FALL PROTECTION ADDED. NEW WALL MOUNTED HANDRAIL ADDED.

AREA OF REFUGE: EACH ELEVATOR LANDING PROVIDED WITH TWO-WAY COMMUNICATION SYSTEM FOR COMMUNICATION
 SIZED TO ACCOMMODATE 30 IN X 38 IN SPACE AND MAINTAIN A WIDTH OF FOR A MEANS OF EGRESS TO NOT LESS THAN THE REQUIRED FOR THE OCCUPANT LOAD SERVES = 44 IN.

CHAPTER 8 FIRE PROTECTION
 BE CLASSIFIED AS RESTRAINED OR UNRESTRAINED IN ACCORDANCE WITH ASTM E 119. THE CONSTRUCTION SHALL BE CONSIDERED RESTRAINED ONLY WHERE A REGISTERED DESIGN PROFESSIONAL HAS FURNISHED THE AUTHORITY HAVING JURISDICTION WITH SATISFACTORY DOCUMENTATION VERIFYING THAT THE CONSTRUCTION IS RESTRAINED. THE CLASSIFICATION OF FIRE RESISTANCE-RATED FLOOR AND ROOF CONSTRUCTION SHALL BE IDENTIFIED ON THE PLANS AS RESTRAINED OR UNRESTRAINED.

ELEVATOR: ELEVATOR HOIST WAY
 1 - HOUR, WALLS
 1 - HOUR, FIRE DOOR ASSEMBLY
 ELEVATOR LOBBY - NOT REQUIRED - ONLY REQUIRED IF THREE STORIES OR MORE. IBC 713.14

SPECIAL HAZARD PROTECTION: ANY AREA HAVING A DEGREE OF HAZARD GREATER THAN THAT NORMAL TO THE GENERAL OCCUPANCY REQUIRES ONE OF THE FOLLOWING:
 1 HOUR RATING ENCLOSING THE AREA WITHOUT WINDOWS, OR PROTECTING THE AREA WITH AN APPROVED SPRINKLER SYSTEM

VERTICAL SHAFTS: 1-HOUR FIRE BARRIERS

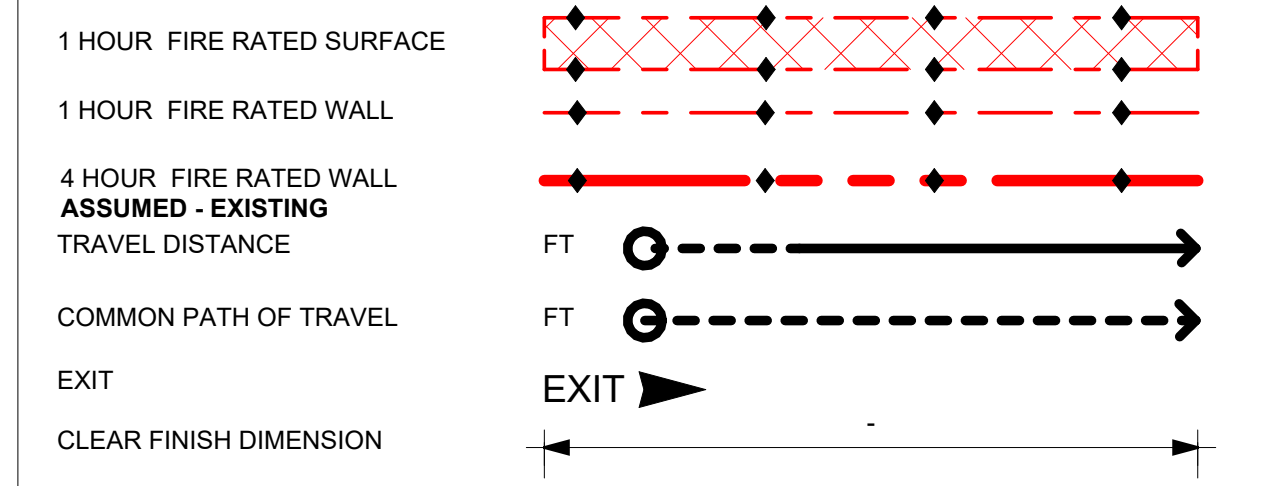
DOORS: 1-HOUR IN EXITS
 20 MIN IN 1 HOUR EXIT ACCESS CORRIDOR.

CHAPTER 13 EXISTING ASSEMBLY:
 EXISTING BUILDINGS HOUSING AN ASSEMBLY OCCUPANCY ESTABLISHED PRIOR TO THE EFFECTIVE DATE OF THIS CODE SHALL BE PERMITTED TO BE APPROVED FOR CONTINUED USE IF IT CONFORMS TO, OR IS MADE TO CONFORM TO, THE PROVISION OF THIS CODE TO THE EXTENT THAT, IN THE OPINION OF THE AUTHORITY HAVING JURISDICTION, REASONABLE LIFE SAFETY AGAINST THE HAZARDS OF FIRE, EXPLOSION, AND PANIC IS PROVIDED AND MAINTAINED.

EXISTING PORTIONS OF THE STRUCTURE SHALL NOT BE REQUIRED TO BE MODIFIED, PROVIDED THAT BOTH OF THE FOLLOWING CRITERIA ARE MET:

- THE NEW CONSTRUCTION HAS NOT DIMINISHED THE FIRE SAFETY FEATURES OF THE FACILITY.
- THE ADDITION DOES NOT RESULT IN AN INCREASE IN THE REQUIRED MINIMUM NUMBER OF SEPARATE MEANS OF EGRESS IN ACCORDANCE WITH 7.4.1.2

LIFE SAFETY DESIGNATION



CHAPTER 43 HISTORIC BUILDING:
EXTINGUISHING SYSTEMS:

FIRST FLOOR
 RECONSTRUCTION WORK AREA = 39% (40%)
 TOTAL RECONSTRUCTION AREA: 2,562 SF
 TOTAL BUILDING AREA: 6,595 SF * (6,415 SF)
 (NOT INCLUDING THE ADDITION IN TOTAL BUILDING AREA)
NO AUTOMATIC SPRINKLER SYSTEMS SHALL BE REQUIRED.
 VESTIBULE ADDITION: 180 SF RECONSTRUCTION: 442 SF
 MODIFICATION: 1,940 SF

SECOND FLOOR
 RECONSTRUCTION WORK AREA = 13%
 TOTAL RECONSTRUCTION AREA: 840 SF
 TOTAL BUILDING AREA: 6,254 SF
NO AUTOMATIC SPRINKLER SYSTEMS SHALL BE REQUIRED.
 RECONSTRUCTION: 460 SF MODIFICATION: 380 SF

*MODIFICATION WORK THAT IS EXCLUSIVELY ELECTRICAL, PLUMBING, MECHANICAL, FIRE PROTECTION SYSTEM, OR STRUCTURAL WORK (BUT SHALL NOT BE CONSIDERED A RECONSTRUCTION, REGARDLESS OF ITS EXTENT.

DOOR SWING: WHERE APPROVED BY AUTHORITY EXISTING FRONT DOORS SHALL NOT BE REQUIRED TO SWING IN THE DIRECTION OF EGRESS TRAVEL PROVIDED THAT OTHER APPROVED EXISTS HAVE SUFFICIENT EGRESS CAPACITY. YES- SEE PLAN. OCCUPANCY LOAD LESS THAN 300.

INTERIOR FINISHES: INTERIOR WALL, CEILING FINISHES SHALL MEET CLASS A, B OR C INTERIOR MATERIALS NOT MEETING A MINIMUM OF CLASS C SHALL BE SURFACED WITH AN APPROVED FIRE-RETARDANT PAINT OR FINISH.

STAIRWAY ENCLOSURE: STAIRWAYS SHALL BE PERMITTED TO BE UNENCLOSED

ONE HOUR FIRE RATED ASSEMBLIES: EXISTING WOOD LATH AND PLASTER WALL AND CEILINGS IN GOOD CONDITION ARE EXEMPT FROM THE MINIMUM 1 HOUR FIRE RESISTANT RATING CONSTRUCTIONS OF OTHER SECTIONS OF THIS CODE.

STAIRWAY HANDRAILS/ GUARDS: EXISTING GRAND STAIRWAYS SHALL BE EXEMPT FROM THE HANDRAIL AND GUARD REQUIREMENTS OF OTHER SECTION OF THIS CODE. NEW WALL HANDRAIL + NEW GUARD RAIL ADDED TO EXISTING.

GRAB BARS: REQUIRED FOR BATHTUBS, SHOWERS

2021 IPC (2021 VERMONT PLUMBING RULES)

FIXTURE COUNT:	BUSINESS GROUP - B WC: 3 REQUIRED LAVATORIES: 2 REQUIRED SERVICE SINK: 1 REQUIRED DRINKING FOUNTAIN: 1 REQUIRED 1 PER 100
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50% CD SET- NOT FOR CONSTRUCTION

SCOTT + PARTNERS
ARCHITECTURE

7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
P. 802.879.5193 | F. 802.872.2764 | SCOTT+PARTNERS.COM

LINCOLN HALL

project name: LINCOLN HALL
 project address: 2 LINCOLN STREET 05452
 project location: ESSEX JUNCTION, VT

scale:	As indicated	
project no.	21-1457	
checked by:	JA	
drawn by:	LMW	
proj. date:	2024	
sheet date:	02/15/2024	
No	Date	Revisions

sheet title:
LIFE SAFETY BASEMENT PLAN

sheet no.
LS 1.0

BUILDING CONSTRUCTION TYPE:	EXTINGUISH REQUIREMENTS:
<input type="checkbox"/> TYPE 1 <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> TYPE 2 <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> TYPE 3 <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> TYPE 4 <input type="checkbox"/> A <input type="checkbox"/> B <input checked="" type="checkbox"/> TYPE 5 <input type="checkbox"/> A <input checked="" type="checkbox"/> B	<input type="checkbox"/> SPRINKLER SYSTEM <input checked="" type="checkbox"/> PORTABLE FIRE EXTINGUISHERS CLASS A: <input type="checkbox"/> CLASS B & C: <input type="checkbox"/> REQUIRED TRAVEL DISTANCE TO EXTINGUISHER: 75'-0"
FIRE DETECTION SYSTEM:	
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SPRINKLER PROTECTION	
<input type="checkbox"/> SPRINKLED, <input checked="" type="checkbox"/> NOT SPRINKLED, EXCEPT FOR A PARTIAL SPRINKLER IN THE MECHANICAL ROOM	

DRAWING PHASE KEY
NEW CONSTRUCTION
DEMOLITION
EXISTING

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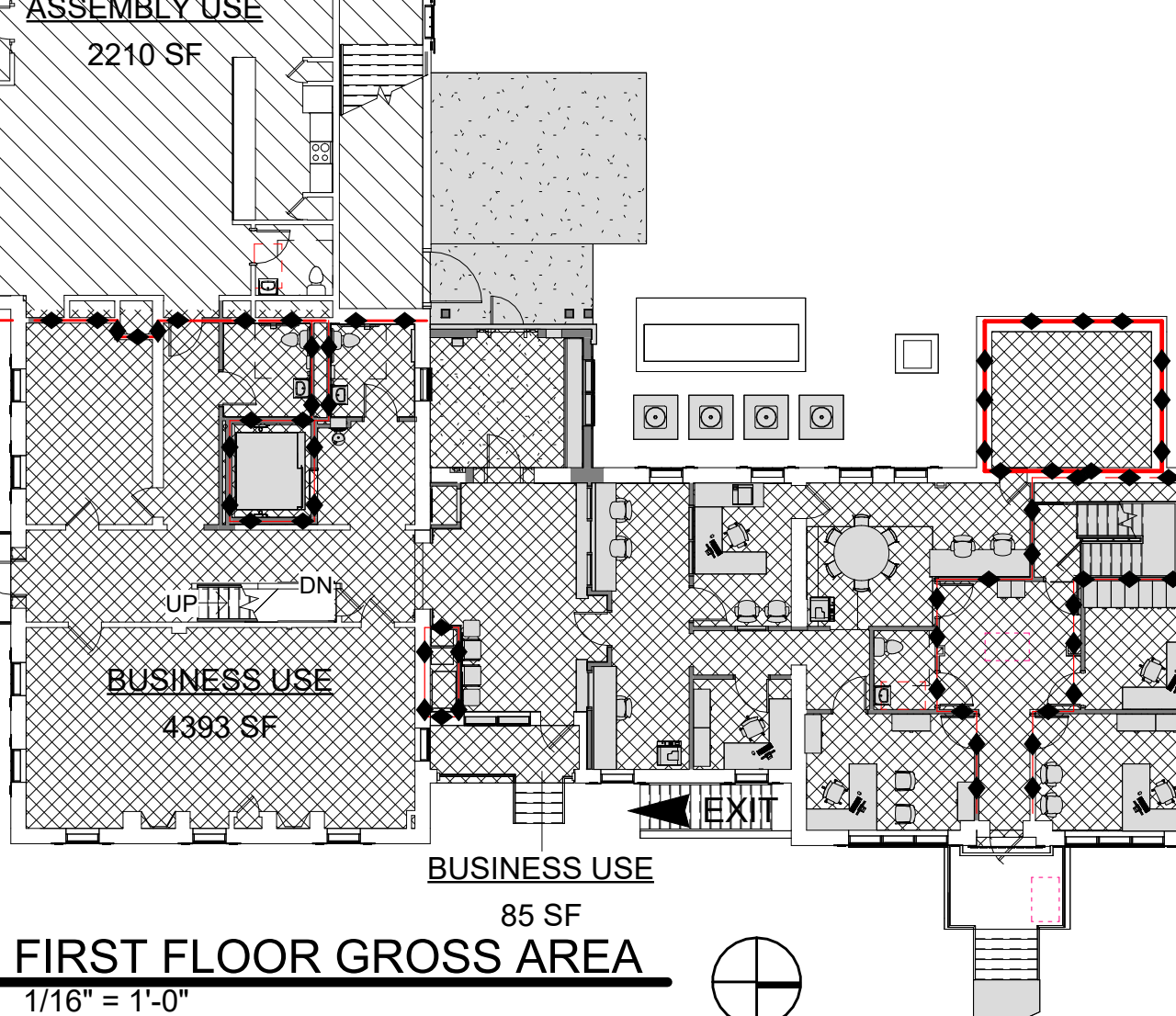
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2015 NFPA 101 (2015 VERMONT FIRE AND BUILDING SAFETY CODE)	
CHAPTER 6	CLASSIFICATION OF OCCUPANCY EXISTING ASSEMBLY - A: CHAPTER 13 EXISTING BUSINESS - B: CHAPTER 39 MULTIPLE OCCUPANCIES: HISTORIC EXISTING MIXED OCCUPANCY ASSEMBLY/BUSINESS PROPOSED SEPARATED OCCUPANCY ASSEMBLY/BUSINESS
REQUIRED SEPARATION:	ASSEMBLY LESS THAN 300 OCCUPANCY AND BUSINESS = 1 HOUR
CHAPTER 7	MEANS OF EGRESS
OCCUPANT LOAD	ASSEMBLY USE: 15 NET /PERSON EXISTING FIRST FLOOR SECOND FLOOR TOTAL ASSEMBLY: 2,208 SF 2,208 SF = 4,416 SF 148 PERSON 148 PERSON = 296 PERSON BUSINESS USE: 100 NET /PERSON EXISTING FIRST FLOOR SECOND FLOOR TOTAL BUSINESS: 4,397 SF 4,046 SF = 8,443 SF 44 PERSON 41 PERSON = 85 PERSON (44 PERSON CONFERENCE) TOTAL AREA: = 15,000 TYPE VB, UNPROTECTED: NS NOT SPRINKLED: EXISTING FIRST FLOOR SECOND FLOOR TOTAL MIXED: 6,595 SF 6,254 SF = 12,849 SF 192 PERSON 189 PERSON = 381 PERSON

2015 NFPA 101 (2015 VERMONT FIRE AND BUILDING SAFETY CODE)	
CHAPTER 13	EXISTING ASSEMBLY:
CONSTRUCTION TYPE LIMITATIONS:	CONSTRUCTION TYPE V NS, 2 STORIES IN HEIGHT. NOT PERMITTED. IF SPRINKLERED X4 PERMITTED FOR ASSEMBLY TO AN OCCUPANCY LOAD 300 OR LESS.
MAIN ENTRANCE/EXIT:	MAIN ENTRANCE/EXIT SHALL BE OF WIDTH THAT ACCOMMODATE ONE-HALF OF THE TOTAL OCCUPANT LOAD
DEAD END CORRIDORS:	NS: NON SPRINKLERED = NOT TO EXCEED 20 FT MAXIMUM DEAD-END CORRIDOR 9FT -9IN (1ST FLR) NONE (2ND FLR)
COMMON PATH OF TRAVEL:	NS: NON SPRINKLERED = NOT TO EXCEED 75 FT WHERE THE COMMON PATH SERVES NOT MORE THAN 50 OCCUPANTS = NOT TO EXCEED 20 FT FROM ANY POINT WHERE THE COMMON PATH SERVES ANY NUMBER OF OCCUPANTS MAXIMUM COMMON PATH OF TRAVEL 20 FT (1ST FLR) MAXIMUM COMMON PATH OF TRAVEL 24 FT (2ND FLR) MAXIMUM COMMON PATH OF TRAVEL 23 FT (BASEMENT)
TRAVEL DISTANCE TO EXITS:	NS: NON SPRINKLERED = NOT TO EXCEED 200 FT FROM ANY POINT IN THE BUILDING PROJECT MAXIMUM TRAVEL DISTANCE TO EXIT: 98 FT (BASEMENT) 50 FT (1ST FLR) 104 FT (2ND FLR)
EMERGENCY LIGHTING:	EMERGENCY LIGHTING WILL BE PROVIDED.
INTERIOR WALL + CEILING FINISH:	CLASS A, IN ENCLOSED STAIRS CLASS A,B IN CORRIDORS AND LOBBIES
INTERIOR WALL FINISH:	CLASS A,B OR C IN ASSEMBLY AREAS
DETECTION:	FIRE ALARM SYSTEM TO BE CONFIRMED
CORRIDORS:	NO REQUIREMENTS. (13.3.6)
CHAPTER 39	EXISTING BUSINESS:
DEAD END CORRIDORS:	NS: NON SPRINKLERED = NOT TO EXCEED 20 FT MAXIMUM DEAD-END CORRIDOR 9FT -9IN (1ST FLR) NONE (2ND FLR)
COMMON PATH OF TRAVEL:	NS: NON SPRINKLERED = NOT TO EXCEED 75 FT MAXIMUM COMMON PATH OF TRAVEL 20 FT (1ST FLR) MAXIMUM COMMON PATH OF TRAVEL 24 FT (2ND FLR) MAXIMUM COMMON PATH OF TRAVEL 23 FT (BASEMENT)
TRAVEL DISTANCE TO EXITS:	NS: NON SPRINKLERED = NOT TO EXCEED 200 FT FROM ANY POINT IN THE BUILDING PROJECT MAXIMUM TRAVEL DISTANCE TO EXIT: 98 FT (BASEMENT) 50 FT (1ST FLR) 104 FT (2ND FLR)
EMERGENCY LIGHTING:	EMERGENCY LIGHTING WILL BE PROVIDED.
INTERIOR FLOOR FINISH:	CLASS I OR CLASS II IN EXIT ENCLOSURES
DETECTION:	FIRE ALARM SYSTEM NOT REQUIRED. REQUIRES SMOKE ALARMS IN ALL AREAS OPENING TO EXIT ACCESS STAIRS IN ACCORDANCE WITH 9.6.2.10 POWER TO SMOKE ALARMS SHALL BE DIRECTLY WIRE TO A NON-DEDICATED ELECTRICAL BRANCH CIRCUIT FOR THE BUILDING AND BY BATTERY OR OTHER METHOD APPROVED BY THE AHJ ALL SMOKE ALARMS SHALL BE THE PHOTOELECTRIC SMOKE ALARMS.
CORRIDORS:	MINIMUM 1-HOUR FIRE RESISTANCE RATING UNLESS WITHIN A SPACE OCCUPIED BY A SINGLE TENANT. NO RATING DUE TO SINGLE TENANT.
CHAPTER 43	HISTORIC BUILDING:
EXTINGUISHING SYSTEMS:	FIRST FLOOR RECONSTRUCTION WORK AREA = 39% (40%) TOTAL RECONSTRUCTION AREA: 2,562 SF TOTAL BUILDING AREA: 6,595 SF (6,415 SF) *NOT INCLUDING THE ADDITION IN TOTAL BUILDING AREA) NO AUTOMATIC SPRINKLER SYSTEMS SHALL BE REQUIRED. VESTIBULE ADDITION: 180 SF RECONSTRUCTION: 442 SF MODIFICATION: 1,940 SF SECOND FLOOR RECONSTRUCTION WORK AREA = 13% TOTAL RECONSTRUCTION AREA: 840 SF TOTAL BUILDING AREA: 6,254 SF NO AUTOMATIC SPRINKLER SYSTEMS SHALL BE REQUIRED. RECONSTRUCTION: 450 SF MODIFICATION: 380 SF *MODIFICATION WORK THAT IS EXCLUSIVELY ELECTRICAL, PLUMBING, MECHANICAL, FIRE PROTECTION SYSTEM, OR STRUCTURAL WORK (935 SF) SHALL NOT BE CONSIDERED A RECONSTRUCTION, REGARDLESS OF ITS EXTENT.
DOOR SWING:	WHERE APPROVED BY AUTHORITY EXISTING FRONT DOORS SHALL NOT BE REQUIRED TO SWING IN THE DIRECTION OF EGRESS TRAVEL PROVIDED THAT OTHER APPROVED EXISTS HAVE SUFFICIENT EGRESS CAPACITY. YES- SEE PLAN. OCCUPANCY LOAD LESS THAN 300.
INTERIOR FINISHES:	INTERIOR WALL, CEILING FINISHES SHALL MEET CLASS A, B OR C INTERIOR MATERIALS NOT MEETING A MINIMUM OF CLASS C SHALL BE SURFACED WITH AN APPROVED FIRE-RETARDANT PAINT OR FINISH.
STAIRWAY ENCLOSURE:	STAIRWAYS SHALL BE PERMITTED TO BE UNENCLOSED
ONE HOUR FIRE RATED ASSEMBLIES:	EXISTING WOOD LATH AND PLASTER WALL AND CEILINGS IN GOOD CONDITION ARE EXEMPT FROM THE MINIMUM 1 HOUR FIRE RESISTANT RATING CONSTRUCTIONS OF OTHER SECTIONS OF THIS CODE.
STAIRWAY HANDRAILS/ GUARDS:	EXISTING GRAND STAIRWAYS SHALL BE EXEMPT FROM THE HANDRAIL AND GUARD REQUIREMENTS OF OTHER SECTION OF THIS CODE. NEW WALL HANDRAIL + NEW GUARD RAIL ADDED TO EXISTING.
GRAB BARS:	REQUIRED FOR BATHTUBS, SHOWERS

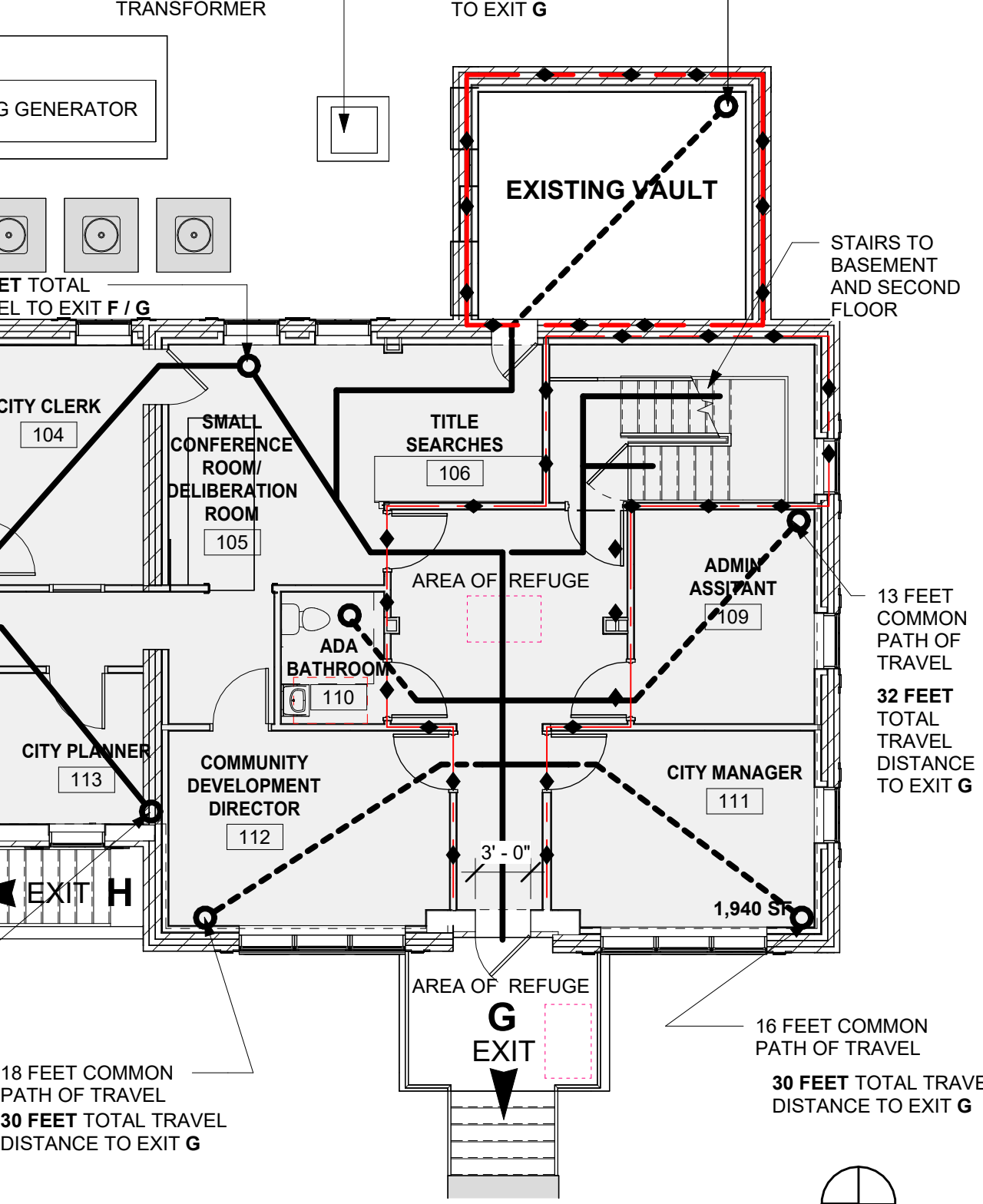
OCCUPANCY CLASSIFICATION

ASSEMBLY USE
 BUSINESS USE



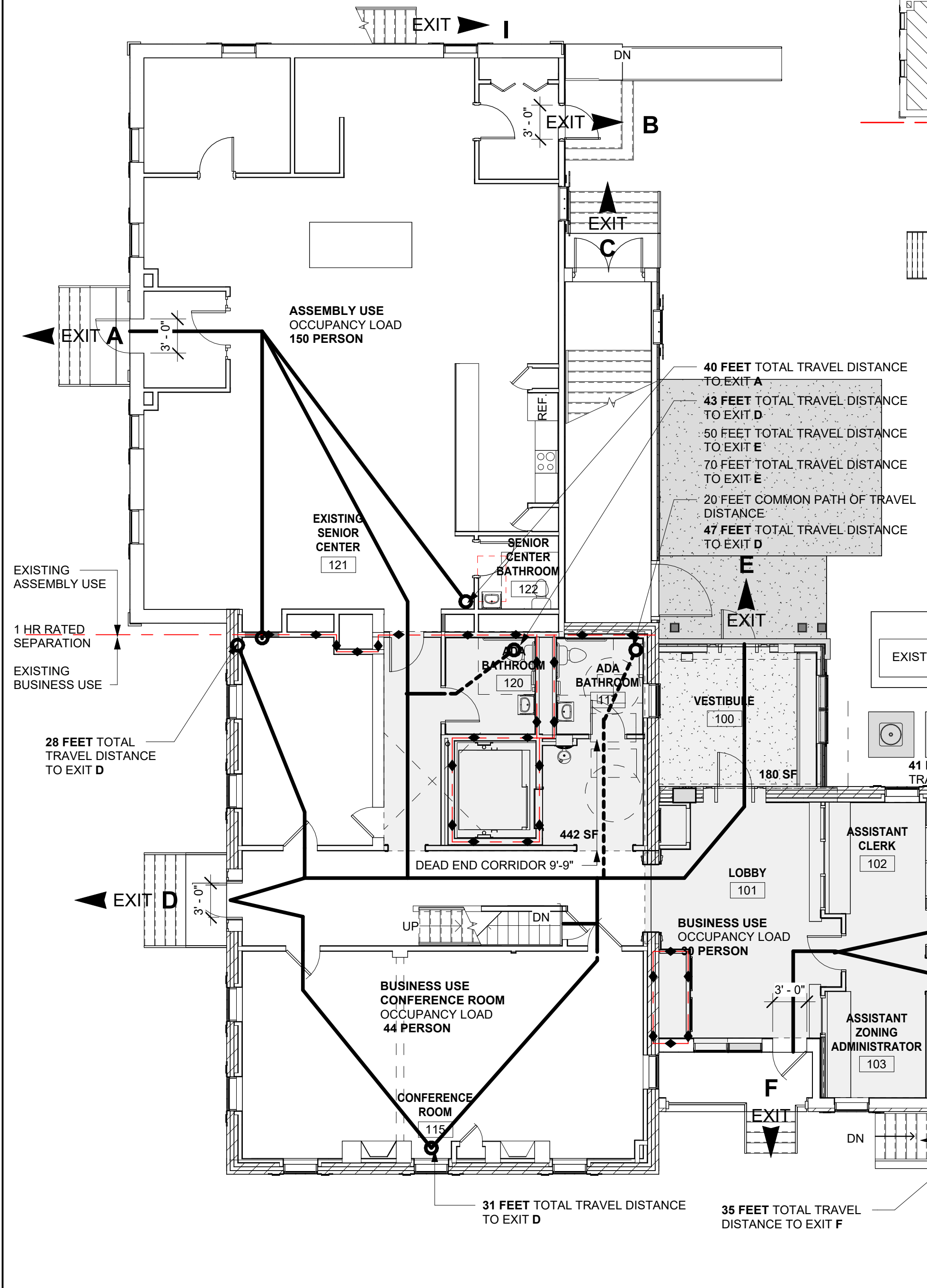
FIRST FLOOR GROSS AREA

85 SF
1/16" = 1'-0"



18 FEET COMMON PATH OF TRAVEL
30 FEET TOTAL TRAVEL DISTANCE TO EXIT G

16 FEET COMMON PATH OF TRAVEL



FIRST FLOOR PLAN LIFE SAFETY

1/8" = 1'-0"

MINIMUM EGRESS WIDTH: 44 INCHES; CLEAR WIDTH OF ANY CORRIDOR 44"
NUMBER OF EXITS: EXIT ACCESS CORRIDORS: TWO SEPARATE MEANS REQUIRED. **2 PROVIDED**

1 HOUR FIRE RESISTANCE RATING UNLESS
1. SHALL NOT APPLY TO EXISTING BUILDINGS, PROVIDED THAT THE OCCUPANCY CLASSIFICATION DOES NOT CHANGE.
VT EXCEPTION: 101:38.3.1.1 (5) AND 39.3.1.1 (6) - ALLOWS UNENCLOSED EXITS IN TWO STORY BUILDINGS WHEN TRAVEL DISTANCE IS LESS THAN 75' AND ALL AREAS OPEN TO EXIT ACCESS STAIRS ARE PROVIDED WITH SMOKE DETECTORS PER 9.2.6.10.

HEADROOM: IN EXISTING BUILDINGS, THE CEILING HEIGHT SHALL NOT BE LESS THAN 7 FT FROM THE FLOOR, WITH PROJECTIONS FROM THE CEILING NOT LESS THAN 6 FT 6 IN NOMINAL ABOVE THE FLOOR.

FLOOR LEVEL: IN EXISTING BUILDINGS, EXTERIOR EXIT ACCESS, THE FLOOR LEVEL OUTSIDE THE DOOR OPENING SHALL BE PERMITTED TO BE ONE STEP LOWER THAN THAT OF THE INSIDE, NOT MORE THAN 8 INCHES.

IN EXISTING BUILDINGS, A DOOR ASSEMBLY AT THE TOP OF A STAIR SHALL BE PERMITTED TO OPEN DIRECTLY AT A STAIR PROVIDED THAT THE DOOR LEAF DOES NOT SWING OVER THE STAIR AND THAT THE DOOR SERVES AN OCCUPANT LOAD LESS THAN 50 PERSONS.

STAIRS: 36" WIDTH EXISTING, 44" WIDTH NEW

HANDRAILS: HANDRAILS ONE SIDE ONLY MAY BE ALLOWED FOR EXISTING STAIRS. NOTE SPECIAL PROVISIONS FOR FALL PROTECTION AND HANDRAILS HAVE BEEN DIRECTED BY SHPO TO ALLOW EXISTING HISTORIC HANDRAIL TO REMAIN.
NEW HANDRAILS SHALL BE INSTALLED TO PROVIDE A CLEARANCE OF NOT LESS THAN 1 1/2" NOR MORE THAN 2 1/4" BETWEEN THE HANDRAIL AND THE WALL TO WHICH IT IS FASTENED.

GUARDS: EXISTING GUARDS ON EXISTING STAIRS SHALL BE PERMITTED TO BE NOT LESS THAN 30 IN. NEW FALL PROTECTION ADDED. NEW WALL MOUNTED HANDRAIL ADDED.

AREA OF REFUGE: EACH ELEVATOR LANDING PROVIDED WITH TWO-WAY COMMUNICATION SYSTEM FOR COMMUNICATION
SIZED TO ACCOMMODATE 30 IN X 38 IN SPACE AND MAINTAIN A WIDTH OF FOR A MEANS OF EGRESS TO NOT LESS THAN THE REQUIRED FOR THE OCCUPANT LOAD SERVES = 44 IN.

CHAPTER 8
RATED FLOORS AND ROOF ASSEMBLIES: FIRE PROTECTION BE CLASSIFIED AS RESTRAINED OR UNRESTRAINED IN ACCORDANCE WITH ASTM E 119. THE CONSTRUCTION SHALL BE CONSIDERED RESTRAINED ONLY WHERE A REGISTERED DESIGN PROFESSIONAL HAS FURNISHED THE AUTHORITY HAVING JURISDICTION WITH SATISFACTORY DOCUMENTATION VERIFYING THAT THE CONSTRUCTION IS RESTRAINED. THE CLASSIFICATION OF FIRE RESISTANCE-RATED FLOOR AND ROOF CONSTRUCTION SHALL BE IDENTIFIED ON THE PLANS AS RESTRAINED OR UNRESTRAINED.

ELEVATOR: ELEVATOR HOIST WAY
1 - HOUR, WALLS
1 - HOUR, FIRE DOOR ASSEMBLY
ELEVATOR LOBBY - NOT REQUIRED - ONLY REQUIRED IF THREE STORIES OR MORE. IBC 713.14

SPECIAL HAZARD PROTECTION: ANY AREA HAVING A DEGREE OF HAZARD GREATER THAN THAT NORMAL TO THE GENERAL OCCUPANCY REQUIRES ONE OF THE FOLLOWING:
1 HOUR RATING ENCLOSING THE AREA WITHOUT WINDOWS, OR PROTECTING THE AREA WITH AN APPROVED SPRINKLER SYSTEM

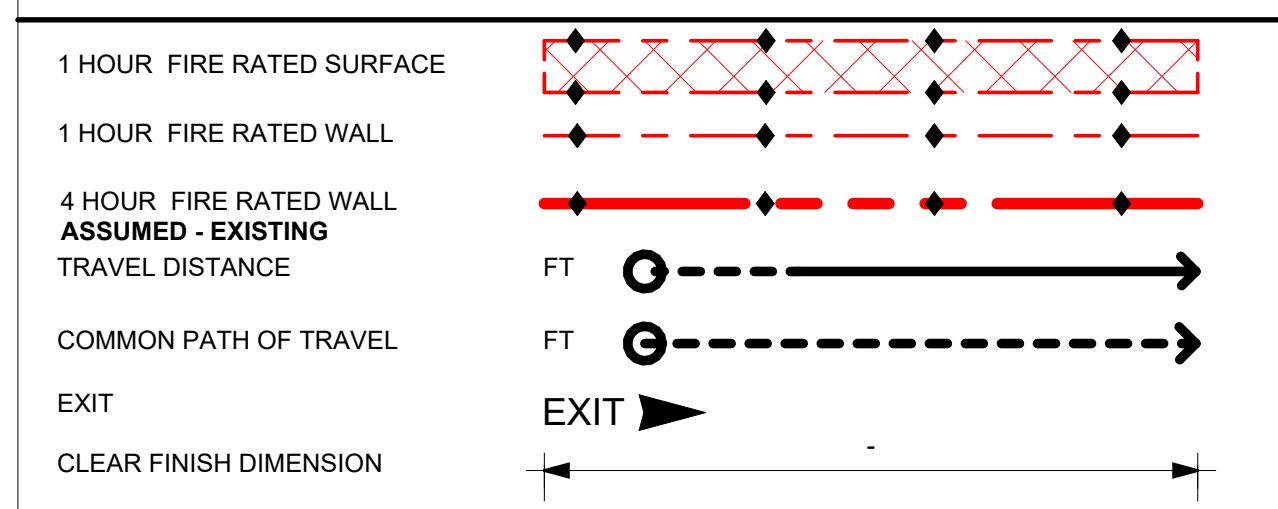
VERTICAL SHAFTS: **1-HOUR FIRE BARRIERS**

DOORS: **1-HOUR IN EXITS**
20 MIN IN 1 HOUR EXIT ACCESS CORRIDOR.

CHAPTER 13
EXISTING ASSEMBLY:
EXISTING BUILDINGS HOUSING AN ASSEMBLY OCCUPANCY ESTABLISHED PRIOR TO THE EFFECTIVE DATE OF THIS CODE SHALL BE PERMITTED TO BE APPROVED FOR CONTINUED USE IF IT CONFORMS TO, OR IS MADE TO CONFORM TO, THE PROVISION OF THIS CODE TO THE EXTENT THAT, IN THE OPINION OF THE AUTHORITY HAVING JURISDICTION, REASONABLE LIFE SAFETY AGAINST THE HAZARDS OF FIRE, EXPLOSION, AND PANIC IS PROVIDED AND MAINTAINED.

EXISTING PORTIONS OF THE STRUCTURE SHALL NOT BE REQUIRED TO BE MODIFIED, PROVIDED THAT BOTH OF THE FOLLOWING CRITERIA ARE MET:
1. THE NEW CONSTRUCTION HAS NOT DIMINISHED THE FIRE SAFETY FEATURES OF THE FACILITY.
THE ADDITION DOES NOT RESULT IN AN INCREASE IN THE REQUIRED MINIMUM NUMBER OF SEPARATE MEANS OF EGRESS IN ACCORDANCE WITH 7.4.1.2

LIFE SAFETY DESIGNATION



CHAPTER 13
CONSTRUCTION TYPE LIMITATIONS: CONSTRUCTION TYPE V NS, 2 STORIES IN HEIGHT.
NOT PERMITTED.
IF SPRINKLERED X4 PERMITTED FOR ASSEMBLY TO AN OCCUPANCY LOAD 300 OR LESS.

MAIN ENTRANCE/EXIT: MAIN ENTRANCE/EXIT SHALL BE OF WIDTH THAT ACCOMMODATE ONE-HALF OF THE TOTAL OCCUPANT LOAD

DEAD END CORRIDORS: **NS: NON SPRINKLERED = NOT TO EXCEED 20 FT**
MAXIMUM DEAD-END CORRIDOR 9FT -9IN (1ST FLR) NONE (2ND FLR)

COMMON PATH OF TRAVEL: **NS: NON SPRINKLERED = NOT TO EXCEED 75 FT** WHERE THE COMMON PATH SERVES NOT MORE THAN 50 OCCUPANTS
= NOT TO EXCEED 20 FT FROM ANY POINT
WHERE THE COMMON PATH SERVES ANY NUMBER OF OCCUPANTS
MAXIMUM COMMON PATH OF TRAVEL 20 FT (1ST FLR)
MAXIMUM COMMON PATH OF TRAVEL 24 FT (2ND FLR)
MAXIMUM COMMON PATH OF TRAVEL 23 FT (BASEMENT)

TRAVEL DISTANCE TO EXITS: **NS: NON SPRINKLERED = NOT TO EXCEED 200 FT** FROM ANY POINT IN THE BUILDING
PROJECT MAXIMUM TRAVEL DISTANCE TO EXIT:
98 FT (BASEMENT) 50 FT (1ST FLR) 104 FT (2ND FLR)

EMERGENCY LIGHTING: EMERGENCY LIGHTING WILL BE PROVIDED.

INTERIOR WALL + CEILING FINISH: CLASS A, IN ENCLOSED STAIRS
CLASS A,B IN CORRIDORS AND LOBBIES

INTERIOR WALL FINISH: CLASS A,B OR C IN ASSEMBLY AREAS

DETECTION: **FIRE ALARM SYSTEM TO BE CONFIRMED**

CORRIDORS: NO REQUIREMENTS. (13.3.6)

CHAPTER 39
EXISTING BUSINESS:

DEAD END CORRIDORS: **NS: NON SPRINKLERED = NOT TO EXCEED 20 FT**
MAXIMUM DEAD-END CORRIDOR 9FT -9IN (1ST FLR) NONE (2ND FLR)

COMMON PATH OF TRAVEL: **NS: NON SPRINKLERED = NOT TO EXCEED 75 FT**
MAXIMUM COMMON PATH OF TRAVEL 20 FT (1ST FLR)
MAXIMUM COMMON PATH OF TRAVEL 24 FT (2ND FLR)
MAXIMUM COMMON PATH OF TRAVEL 23 FT (BASEMENT)

TRAVEL DISTANCE TO EXITS: **NS: NON SPRINKLERED = NOT TO EXCEED 200 FT** FROM ANY POINT IN THE BUILDING
PROJECT MAXIMUM TRAVEL DISTANCE TO EXIT:
98 FT (BASEMENT) 50 FT (1ST FLR) 104 FT (2ND FLR)

EMERGENCY LIGHTING: EMERGENCY LIGHTING WILL BE PROVIDED.

INTERIOR FLOOR FINISH: CLASS I OR CLASS II IN EXIT ENCLOSURES

DETECTION: **FIRE ALARM SYSTEM NOT REQUIRED.**
REQUIRES SMOKE ALARMS IN ALL AREAS OPENING TO EXIT ACCESS STAIRS IN ACCORDANCE WITH 9.6.2.10
POWER TO SMOKE ALARMS SHALL BE DIRECTLY WIRE TO A NON-DEDICATED ELECTRICAL BRANCH CIRCUIT FOR THE BUILDING AND BY BATTERY OR OTHER METHOD APPROVED BY THE AHJ ALL SMOKE ALARMS SHALL BE THE PHOTOELECTRIC SMOKE ALARMS.

CORRIDORS: **MINIMUM 1-HOUR FIRE RESISTANCE RATING UNLESS**
WITHIN A SPACE OCCUPIED BY A SINGLE TENANT.
NO RATING DUE TO SINGLE TENANT.

CHAPTER 43
EXTINGUISHING SYSTEMS:

project name:
LINCOLN HALL

project address:
2 LINCOLN STREET
05452

project no. 21-1457
checked by: JA
drawn by: LMW
proj. date: 2024
sheet date: 02/15/2024

scale: As indicated

sheet title:
LIFE SAFETY FIRST FLOOR PLAN

sheet no.
LS 2.0

7 CARMICHAEL ST. ESSEX, JUNCTION, VT 05452
P. 802.879.5193 | F. 802.872.2764 | SCOTTTPARTNERS.COM

SCOTT + PARTNERS
ARCHITECTURE

ESSEX JUNCTION, VT

50% CD SET- NOT FOR CONSTRUCTION

BUILDING CONSTRUCTION TYPE:	EXTINGUISH REQUIREMENTS:
<input type="checkbox"/> TYPE 1 <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> TYPE 2 <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> TYPE 3 <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> TYPE 4 <input type="checkbox"/> A <input type="checkbox"/> B <input checked="" type="checkbox"/> TYPE 5 <input type="checkbox"/> A <input checked="" type="checkbox"/> B	<input type="checkbox"/> SPRINKLER SYSTEM <input checked="" type="checkbox"/> PORTABLE FIRE EXTINGUISHERS CLASS A: <input type="checkbox"/> CLASS B & C: <input type="checkbox"/> REQUIRED TRAVEL DISTANCE TO EXTINGUISHER: 75'-0"
FIRE DETECTION SYSTEM:	
<input checked="" type="checkbox"/> NO DETECTION AND ALARM, OR COMMUNICATION SYSTEM REQUIRED OR PROVIDED <input checked="" type="checkbox"/> FIRE ALARM SYSTEM PROVIDED	
SPRINKLER PROTECTION	
<input type="checkbox"/> SPRINKLED, <input checked="" type="checkbox"/> NOT SPRINKLED, EXCEPT FOR A PARTIAL SPRINKLER IN THE MECHANICAL ROOM	

CODE REVIEW SUMMARY

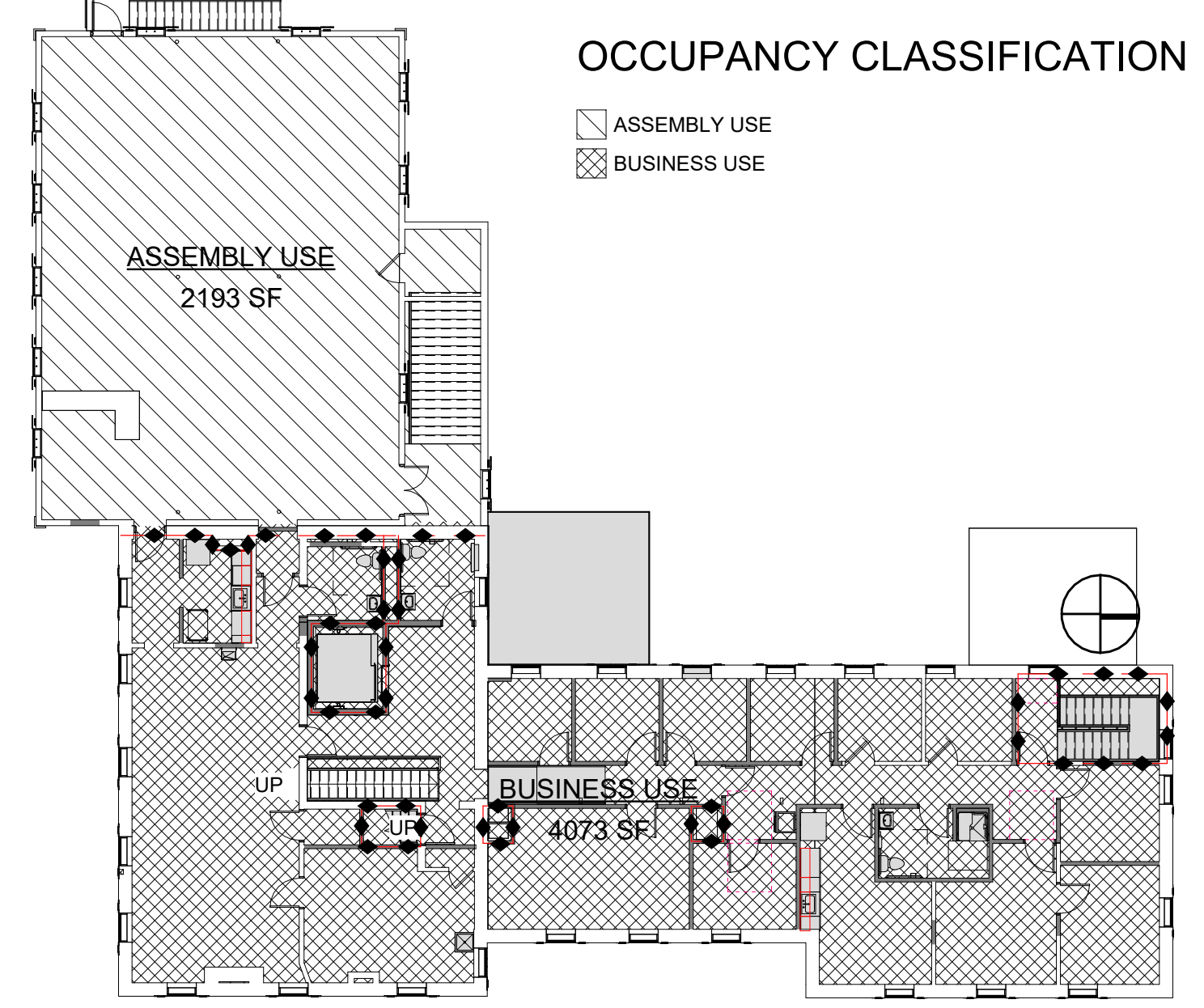
THIS PROJECT IS REVIEWED UNDER THE 2015 VT FIRE & BUILDING SAFETY CODE, INCLUDING REFERENCES TO THE 2015 INTERNATIONAL BUILDING CODE (IBC AND IBC), THE 2015 NFPA 1 FIRE CODE, THE 2015 NFPA 101 LIFE SAFETY CODE, THE 2010 FEDERAL ADA ACCESS RULES AND THE 2012 VERMONT ACCESS RULES. VT CBES 2020 ALSO APPLIES TO THE NEW MECHANICAL COMPONENTS.

PROJECT SUMMARY: THIS PROJECT PROPOSES TARGET IS RENOVATIONS TO AN HISTORIC TWO-STORY BUILDING AND THE ADDITION OF A SMALL ENTRY. THE HISTORIC BUILDING ENCOMPASSES SEVERAL/FOUR ORIGINAL BUILDINGS COMBINED. ONE IS ROUGH SAWN WOOD FRAMED CONSTRUCTION IS TYPE VB (000). THE EXISTING BUILDING EXTERIOR WILL REMAIN AS IS WITH THE ADDITION OF AN ENTRY TO THE NORTHWEST. THIS PROJECT IS UNDER REQUIREMENTS FROM THE STATE HISTORIC PRESERVATION OFFICE (SHPO). THE BUILDING INTERIOR WILL BE RENOVATED TO IMPROVE CIRCULATION FOR THE BUSINESS USE WITH MINOR RENOVATIONS FOR LIFE SAFETY AND NEW MECHANICAL, ELECTRICAL AND PLUMBING. THE BUILDING IS TWO STORIES WITH A PARTIAL BASEMENT. IT IS NOT CURRENTLY SPRINKLERED EXCEPT FOR A PARTIAL SPRINKLER IN THE MECHANICAL ROOM TWO LARGE MEETING ROOMS (A3-ASSEMBLY) ARE CURRENTLY IN USE.

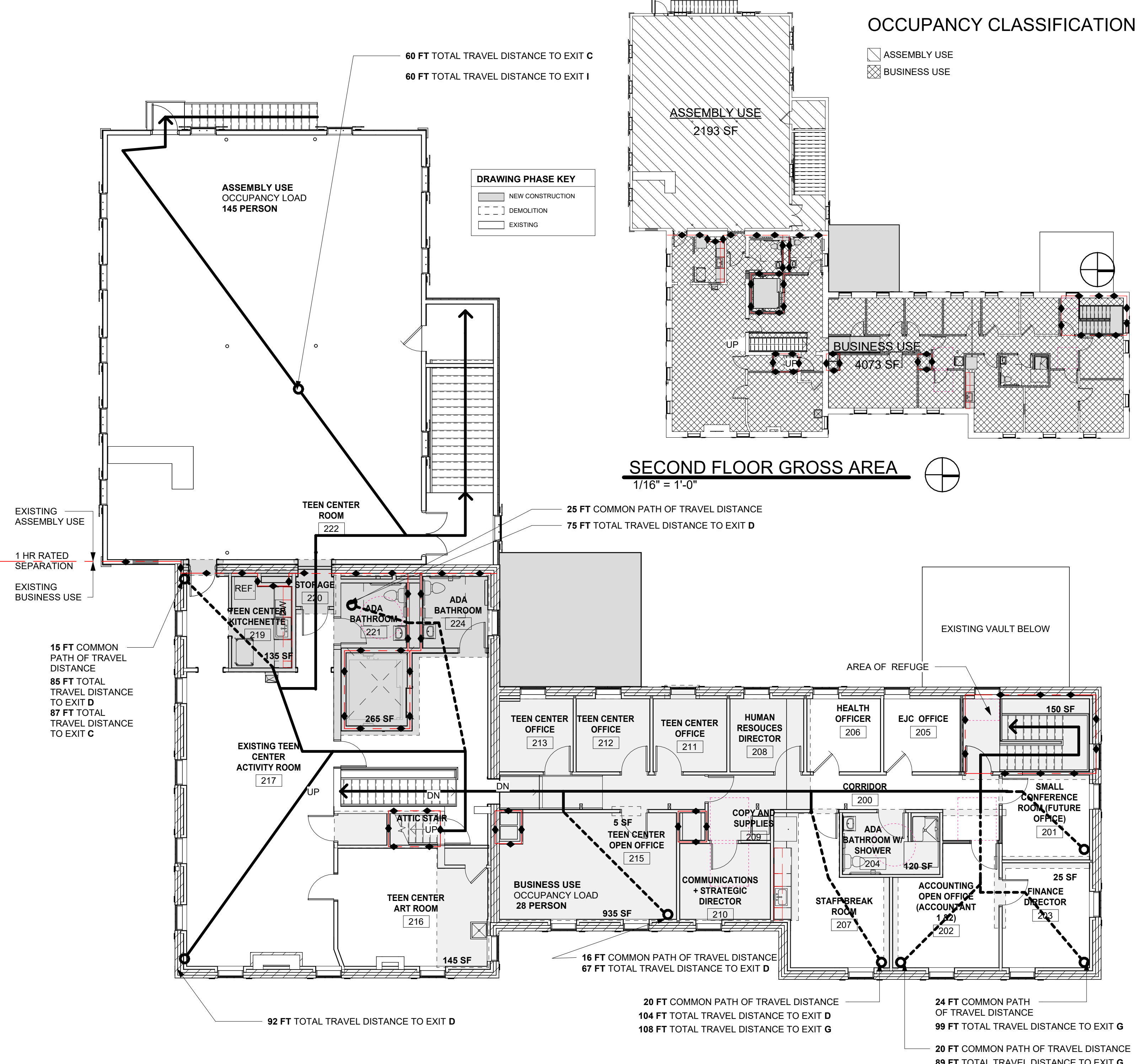
THE BUILDING WILL CONTINUE TO BE MIXED USE: BUSINESS USE (MUNICIPAL TOWN OFFICES) WITH A3 - ASSEMBLY SPACES.

2015 NFPA 101 (2015 VERMONT FIRE AND BUILDING SAFETY CODE)	
CHAPTER 6	CLASSIFICATION OF OCCUPANCY EXISTING ASSEMBLY - A: CHAPTER 13 EXISTING BUSINESS - B: CHAPTER 39 MULTIPLE OCCUPANCIES: HISTORIC EXISTING MIXED OCCUPANCY ASSEMBLY/BUSINESS PROPOSED SEPARATED OCCUPANCY ASSEMBLY/BUSINESS
REQUIRED SEPARATION:	ASSEMBLY LESS THAN 300 OCCUPANCY AND BUSINESS = 1 HOUR
CHAPTER 7	MEANS OF EGRESS
OCCUPANT LOAD	ASSEMBLY USE: 15 NET /PERSON EXISTING: FIRST FLOOR SECOND FLOOR TOTAL ASSEMBLY: 2,208 SF 2,208 SF = 4,416 SF 148 PERSON 148 PERSON = 296 PERSON BUSINESS USE: 100 NET /PERSON EXISTING: FIRST FLOOR SECOND FLOOR TOTAL BUSINESS: 4,387 SF 4,046 SF = 8,433 SF 44 PERSON 41 PERSON = 85 PERSON (44 PERSON CONFERENCE) TOTAL AREA: = 15,000 TYPE VB, UNPROTECTED: NS NOT SPRINKLED: EXISTING: FIRST FLOOR SECOND FLOOR TOTAL MIXED: 6,595 SF 6,254 SF = 12,849 SF 192 PERSON 189 PERSON = 381 PERSON
MINIMUM EGRESS WIDTH:	44 INCHES; CLEAR WIDTH OF ANY CORRIDOR 44"
NUMBER OF EXITS:	TWO SEPARATE MEANS REQUIRED. 2 PROVIDED
EXIT ACCESS CORRIDORS:	1 HOUR FIRE RESISTANCE RATING UNLESS 1. SHALL NOT APPLY TO EXISTING BUILDINGS, PROVIDED THAT THE OCCUPANCY CLASSIFICATION DOES NOT CHANGE. VT EXCEPTION: 101:38.3.1.1 (5) AND 39.3.1.1 (6) - ALLOWS UNENCLOSED EXITS IN TWO STORY BUILDINGS WHEN TRAVEL DISTANCE IS LESS THAN 75' AND ALL AREAS OPEN TO EXIT ACCESS STAIRS ARE PROVIDED WITH SMOKE DETECTORS PER 9.2.6.10.
HEADROOM:	IN EXISTING BUILDINGS, THE CEILING HEIGHT SHALL NOT BE LESS THAN 7 FT FROM THE FLOOR, WITH PROJECTIONS FROM THE CEILING NOT LESS THAN 6 FT 6 IN NOMINAL ABOVE THE FLOOR.
FLOOR LEVEL:	IN EXISTING BUILDINGS, EXTERIOR EXIT ACCESS, THE FLOOR LEVEL OUTSIDE THE DOOR OPENING SHALL BE PERMITTED TO BE ONE STEP LOWER THAN THAT OF THE INSIDE, NOT MORE THAN 8 INCHES. IN EXISTING BUILDINGS, A DOOR ASSEMBLY AT THE TOP OF A STAIR SHALL BE PERMITTED TO OPEN DIRECTLY AT A STAIR PROVIDED THAT THE DOOR LEAF DOES NOT SWING OVER THE STAIR AND THAT THE DOOR SERVES AN OCCUPANT LOAD LESS THAN 50 PERSONS.
STAIRS:	36" WIDTH EXISTING, 44" WIDTH NEW
HANDRAILS:	HANDRAILS ONE SIDE ONLY MAY BE ALLOWED FOR EXISTING STAIRS. NOTE SPECIAL PROVISIONS FOR FALL PROTECTION AND HANDRAILS HAVE BEEN DIRECTED BY SHPO TO ALLOW EXISTING HISTORIC HANDRAIL TO REMAIN. NEW HANDRAILS SHALL BE INSTALLED TO PROVIDE A CLEARANCE OF NOT LESS THAN 1 1/2" NOR MORE THAN 2 1/4" BETWEEN THE HANDRAIL AND THE WALL TO WHICH IT IS FASTENED.
GUARDS:	EXISTING GUARDS ON EXISTING STAIRS SHALL BE PERMITTED TO BE NOT LESS THAN 30 IN. NEW FALL PROTECTION ADDED. NEW WALL MOUNTED HANDRAIL ADDED.
AREA OF REFUGE:	EACH ELEVATOR LANDING PROVIDED WITH TWO-WAY COMMUNICATION SYSTEM FOR COMMUNICATION SIZED TO ACCOMMODATE 30 IN X 38 IN SPACE AND MAINTAIN A WIDTH OF FOR A MEANS OF EGRESS TO NOT LESS THAN THE REQUIRED FOR THE OCCUPANT LOAD SERVES = 44 IN.
CHAPTER 8	FIRE PROTECTION BE CLASSIFIED AS RESTRAINED OR UNRESTRAINED IN ACCORDANCE WITH ASTM E 119. THE CONSTRUCTION SHALL BE CONSIDERED RESTRAINED ONLY WHERE A REGISTERED DESIGN PROFESSIONAL HAS FURNISHED THE AUTHORITY HAVING JURISDICTION WITH SATISFACTORY DOCUMENTATION VERIFYING THAT THE CONSTRUCTION IS RESTRAINED. THE CLASSIFICATION OF FIRE RESISTANCE-RATED FLOOR AND ROOF CONSTRUCTION SHALL BE IDENTIFIED ON THE PLANS AS RESTRAINED OR UNRESTRAINED.
RATED FLOORS AND ROOF ASSEMBLIES:	
ELEVATOR:	ELEVATOR HOIST WAY 1 - HOUR, WALLS 1 - HOUR, FIRE DOOR ASSEMBLY ELEVATOR LOBBY - NOT REQUIRED - ONLY REQUIRED IF THREE STORIES OR MORE. IBC 713.14
SPECIAL HAZARD PROTECTION:	ANY AREA HAVING A DEGREE OF HAZARD GREATER THAN THAT NORMAL TO THE GENERAL OCCUPANCY REQUIRES ONE OF THE FOLLOWING: 1 HOUR RATING ENCLOSING THE AREA WITHOUT WINDOWS, OR PROTECTING THE AREA WITH AN APPROVED SPRINKLER SYSTEM
VERTICAL SHAFTS:	1-HOUR FIRE BARRIERS
DOORS:	1-HOUR IN EXITS 20 MIN IN 1 HOUR EXIT ACCESS CORRIDOR.
CHAPTER 13	EXISTING ASSEMBLY: EXISTING BUILDINGS HOUSING AN ASSEMBLY OCCUPANCY ESTABLISHED PRIOR TO THE EFFECTIVE DATE OF THIS CODE SHALL BE PERMITTED TO BE APPROVED FOR CONTINUED USE IF IT CONFORMS TO, OR IS MADE TO CONFORM TO, THE PROVISION OF THIS CODE TO THE EXTENT THAT, IN THE OPINION OF THE AUTHORITY HAVING JURISDICTION, REASONABLE LIFE SAFETY AGAINST THE HAZARDS OF FIRE, EXPLOSION, AND PANIC IS PROVIDED AND MAINTAINED. EXISTING PORTIONS OF THE STRUCTURE SHALL NOT BE REQUIRED TO BE MODIFIED, PROVIDED THAT BOTH OF THE FOLLOWING CRITERIA ARE MET: 1. THE NEW CONSTRUCTION HAS NOT DIMINISHED THE FIRE SAFETY FEATURES OF THE FACILITY. THE ADDITION DOES NOT RESULT IN AN INCREASE IN THE REQUIRED MINIMUM NUMBER OF SEPARATE MEANS OF EGRESS IN ACCORDANCE WITH 7.4.1.2

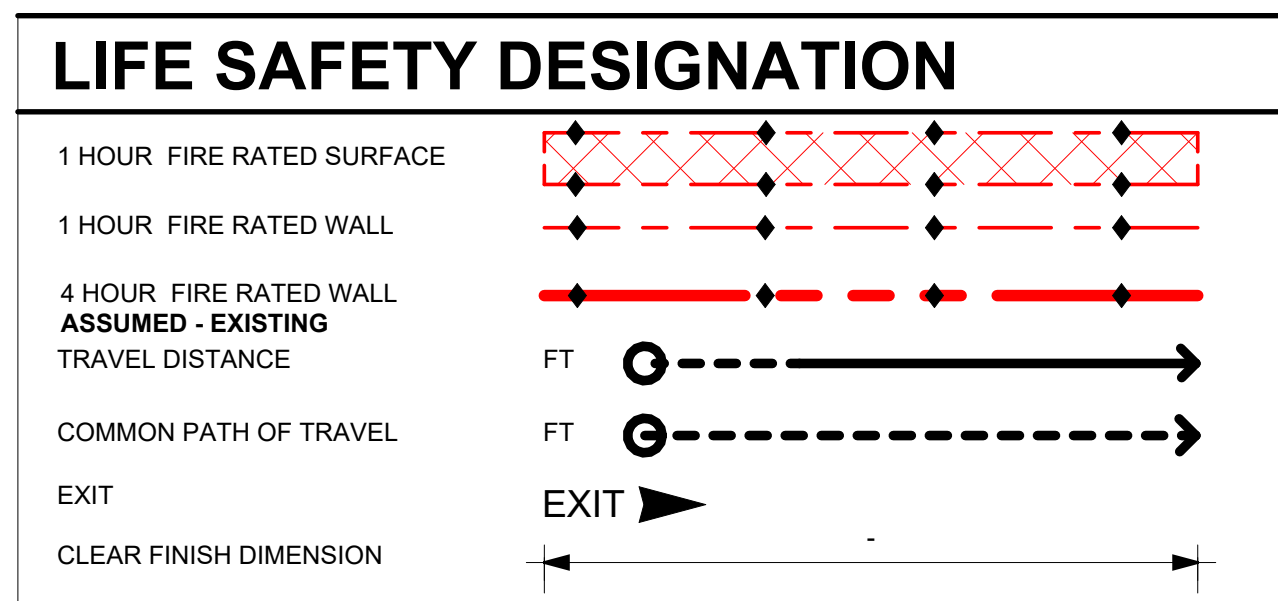
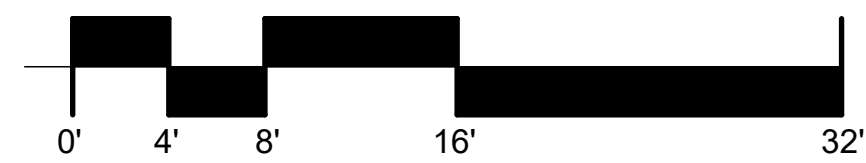
2015 NFPA 101 (2015 VERMONT FIRE AND BUILDING SAFETY CODE)	
CHAPTER 13	EXISTING ASSEMBLY:
CONSTRUCTION TYPE LIMITATIONS:	CONSTRUCTION TYPE V NS, 2 STORIES IN HEIGHT. NOT PERMITTED. IF SPRINKLERED X4 PERMITTED FOR ASSEMBLY TO AN OCCUPANCY LOAD 300 OR LESS.
MAIN ENTRANCE/EXIT:	MAIN ENTRANCE/EXIT SHALL BE OF WIDTH THAT ACCOMMODATE ONE-HALF OF THE TOTAL OCCUPANT LOAD
DEAD END CORRIDORS:	NS: NON SPRINKLERED = NOT TO EXCEED 20 FT MAXIMUM DEAD-END CORRIDOR 9FT -9IN (1ST FLR) NONE (2ND FLR)
COMMON PATH OF TRAVEL:	NS: NON SPRINKLERED = NOT TO EXCEED 75 FT WHERE THE COMMON PATH SERVES NOT MORE THAN 50 OCCUPANTS = NOT TO EXCEED 20 FT FROM ANY POINT WHERE THE COMMON PATH SERVES ANY NUMBER OF OCCUPANTS MAXIMUM COMMON PATH OF TRAVEL 20 FT (1ST FLR) MAXIMUM COMMON PATH OF TRAVEL 24 FT (2ND FLR) MAXIMUM COMMON PATH OF TRAVEL 23 FT (BASEMENT)
TRAVEL DISTANCE TO EXITS:	NS: NON SPRINKLERED = NOT TO EXCEED 200 FT FROM ANY POINT IN THE BUILDING PROJECT MAXIMUM TRAVEL DISTANCE TO EXIT: 98 FT (BASEMENT) 50 FT (1ST FLR) 104 FT (2ND FLR)
EMERGENCY LIGHTING:	EMERGENCY LIGHTING WILL BE PROVIDED.
INTERIOR WALL + CEILING FINISH:	CLASS A, IN ENCLOSED STAIRS CLASS A,B IN CORRIDORS AND LOBBIES
INTERIOR WALL FINISH:	CLASS A,B OR C IN ASSEMBLY AREAS
DETECTION:	FIRE ALARM SYSTEM TO BE CONFIRMED
CORRIDORS:	NO REQUIREMENTS. (13.3.6)
CHAPTER 39	EXISTING BUSINESS:
DEAD END CORRIDORS:	NS: NON SPRINKLERED = NOT TO EXCEED 20 FT MAXIMUM DEAD-END CORRIDOR 9FT -9IN (1ST FLR) NONE (2ND FLR)
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DETECTION:	FIRE ALARM SYSTEM NOT REQUIRED. REQUIRES SMOKE ALARMS IN ALL AREAS OPENING TO EXIT ACCESS STAIRS IN ACCORDANCE WITH 9.6.2.10 POWER TO SMOKE ALARMS SHALL BE DIRECTLY WIRE TO A NON-DEDICATED ELECTRICAL BRANCH CIRCUIT FOR THE BUILDING AND BY BATTERY OR OTHER METHOD APPROVED BY THE AHJ ALL SMOKE ALARMS SHALL BE THE PHOTOELECTRIC SMOKE ALARMS.
CORRIDORS:	MINIMUM 1-HOUR FIRE RESISTANCE RATING UNLESS WITHIN A SPACE OCCUPIED BY A SINGLE TENANT. NO RATING DUE TO SINGLE TENANT.
CHAPTER 43	HISTORIC BUILDING:
EXTINGUISHING SYSTEMS:	FIRST FLOOR RECONSTRUCTION WORK AREA = 39% (40%) TOTAL RECONSTRUCTION AREA: 2,562 SF TOTAL BUILDING AREA: 6,595 SF (6,615 SF) (NOT INCLUDING THE ADDITION IN TOTAL BUILDING AREA) NO AUTOMATIC SPRINKLER SYSTEMS SHALL BE REQUIRED. VESTIBULE ADDITION: 180 SF RECONSTRUCTION: 442 SF MODIFICATION: 1,940 SF SECOND FLOOR RECONSTRUCTION WORK AREA = 13% TOTAL RECONSTRUCTION AREA: 840 SF TOTAL BUILDING AREA: 6,254 SF NO AUTOMATIC SPRINKLER SYSTEMS SHALL BE REQUIRED. RECONSTRUCTION: 460 SF MODIFICATION: 380 SF *MODIFICATION WORK THAT IS EXCLUSIVELY ELECTRICAL, PLUMBING, MECHANICAL, FIRE PROTECTION SYSTEM, OR STRUCTURAL WORK (935 SF) SHALL NOT BE CONSIDERED A RECONSTRUCTION, REGARDLESS OF ITS EXTENT.
DOOR SWING:	WHERE APPROVED BY AUTHORITY EXISTING FRONT DOORS SHALL NOT BE REQUIRED TO SWING IN THE DIRECTION OF EGRESS TRAVEL PROVIDED THAT OTHER APPROVED EXISTS HAVE SUFFICIENT EGRESS CAPACITY. YES- SEE PLAN. OCCUPANCY LOAD LESS THAN 300.
INTERIOR FINISHES:	INTERIOR WALL, CEILING FINISHES SHALL MEET CLASS A, B OR C INTERIOR MATERIALS NOT MEETING A MINIMUM OF CLASS C SHALL BE SURFACED WITH AN APPROVED FIRE-RETARDANT PAINT OR FINISH.
STAIRWAY ENCLOSURE:	STAIRWAYS SHALL BE PERMITTED TO BE UNENCLOSED
ONE HOUR FIRE RATED ASSEMBLIES:	EXISTING WOOD LATH AND PLASTER WALL AND CEILINGS IN GOOD CONDITION ARE EXEMPT FROM THE MINIMUM 1 HOUR FIRE RESISTANT RATING CONSTRUCTIONS OF OTHER SECTIONS OF THIS CODE.
STAIRWAY HANDRAILS/ GUARDS:	EXISTING GRAND STAIRWAYS SHALL BE EXEMPT FROM THE HANDRAIL AND GUARD REQUIREMENTS OF OTHER SECTION OF THIS CODE. NEW WALL HANDRAIL + NEW GUARD RAIL ADDED TO EXISTING.
GRAB BARS:	REQUIRED FOR BATHTUBS, SHOWERS
CHAPTER 13	EXISTING ASSEMBLY: EXISTING BUILDINGS HOUSING AN ASSEMBLY OCCUPANCY ESTABLISHED PRIOR TO THE EFFECTIVE DATE OF THIS CODE SHALL BE PERMITTED TO BE APPROVED FOR CONTINUED USE IF IT CONFORMS TO, OR IS MADE TO CONFORM TO, THE PROVISION OF THIS CODE TO THE EXTENT THAT, IN THE OPINION OF THE AUTHORITY HAVING JURISDICTION, REASONABLE LIFE SAFETY AGAINST THE HAZARDS OF FIRE, EXPLOSION, AND PANIC IS PROVIDED AND MAINTAINED. EXISTING PORTIONS OF THE STRUCTURE SHALL NOT BE REQUIRED TO BE MODIFIED, PROVIDED THAT BOTH OF THE FOLLOWING CRITERIA ARE MET: 1. THE NEW CONSTRUCTION HAS NOT DIMINISHED THE FIRE SAFETY FEATURES OF THE FACILITY. THE ADDITION DOES NOT RESULT IN AN INCREASE IN THE REQUIRED MINIMUM NUMBER OF SEPARATE MEANS OF EGRESS IN ACCORDANCE WITH 7.4.1.2



SECOND FLOOR GROSS AREA
1/16" = 1'-0"



SECOND FLOOR PLAN LIFE SAFETY
1/8" = 1'-0"



2021 IPC (2021 VERMONT PLUMBING RULES)	
FIXTURE COUNT:	BUSINESS GROUP - B WC: 3 REQUIRED LAVATORIES: 2 REQUIRED SERVICE SINK: 1 REQUIRED DRINKING FOUNTAIN: 1 REQUIRED 1 PER 100

50% CD SET- NOT FOR CONSTRUCTION

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ARCHITECTURE

7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
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project name: **LINCOLN HALL**

project address: **2 LINCOLN STREET 05452**

scale: As indicated

project no. 21-1457

checked by: JA

drawn by: LMW

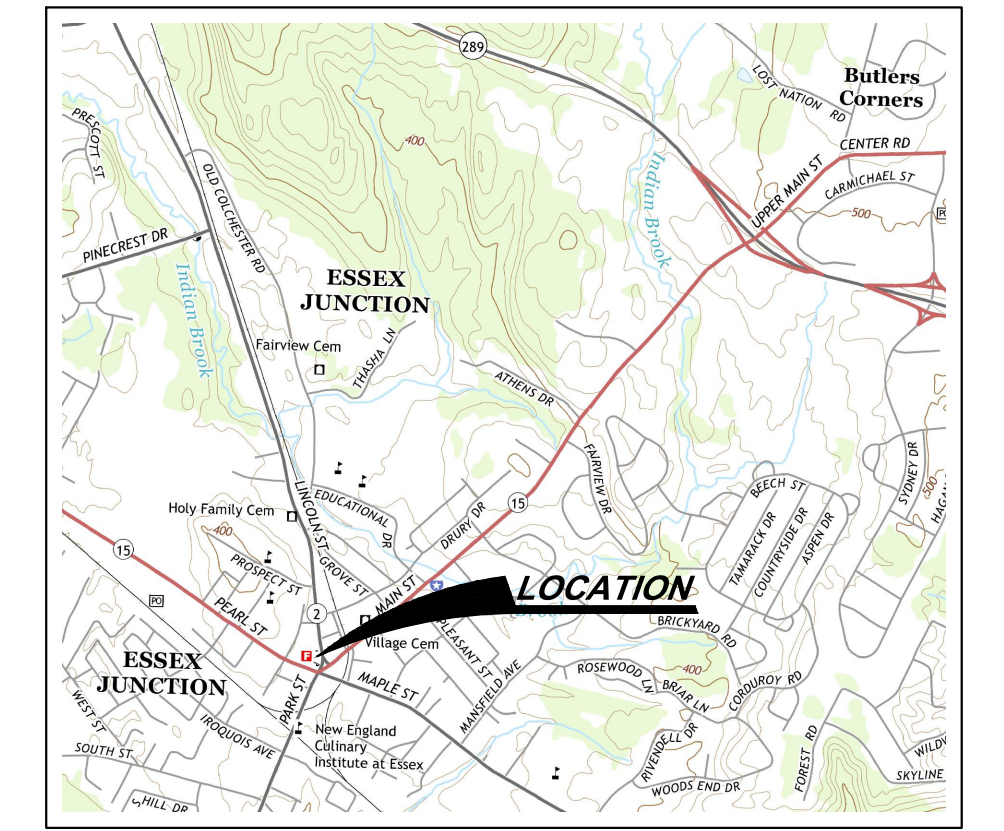
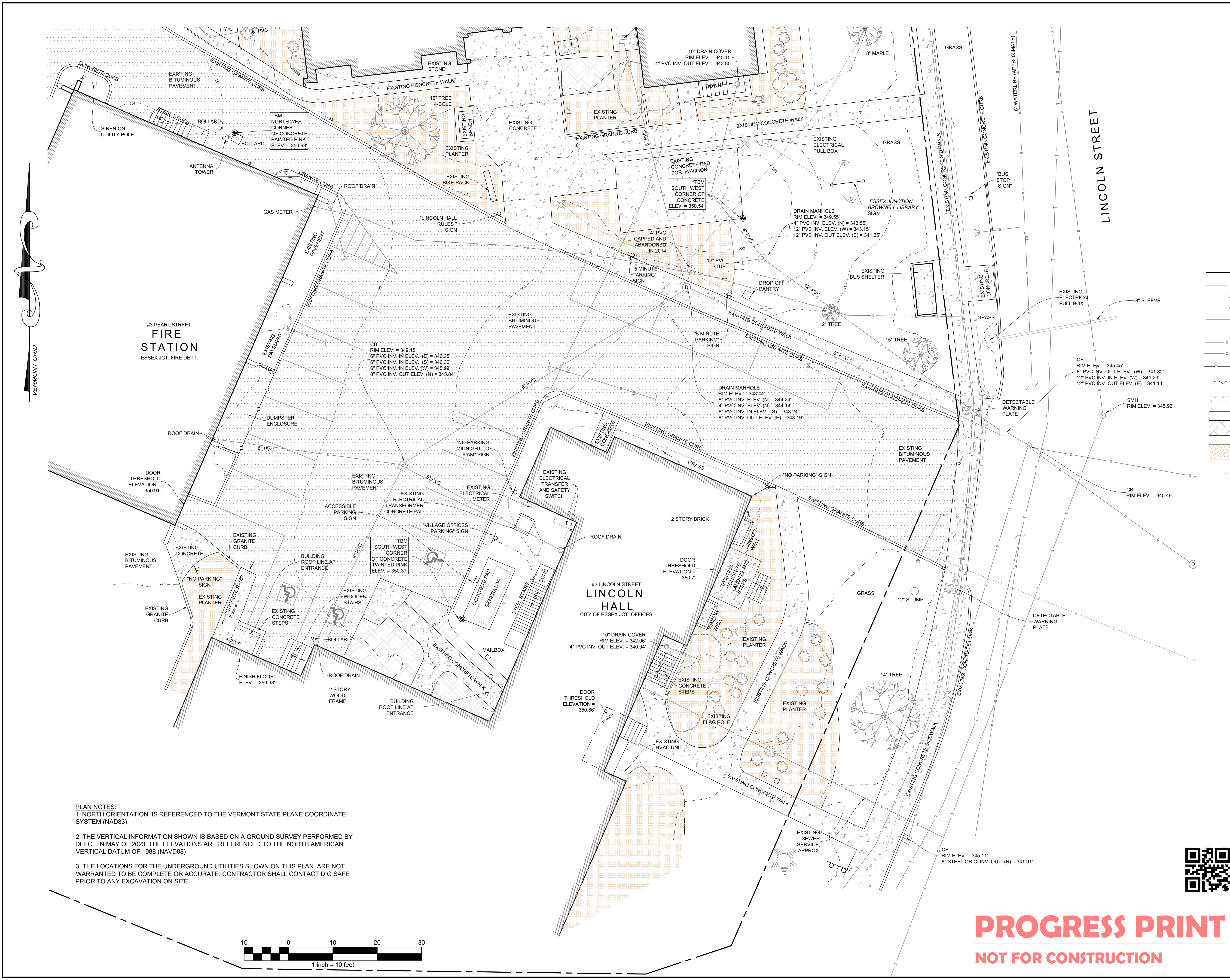
proj. date: 2024

sheet date: 01/30/2024

No | Date | Revisions

sheet title: **LIFE SAFETY SECOND FLOOR PLAN**

sheet no. **LS 3.0**

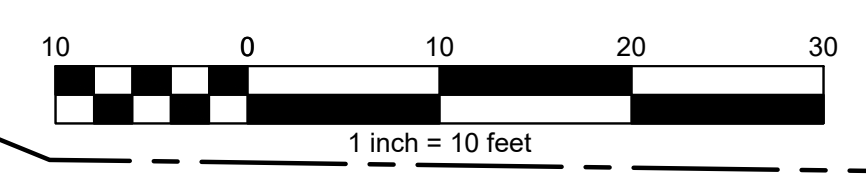


VICINITY MAP
1" = 1/2 MILE

LEGEND

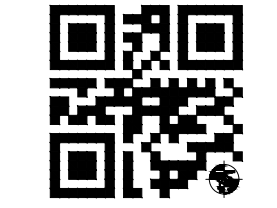
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- APPROXIMATE SEWER LINE
- APPROXIMATE STORM DRAIN
- APPROX. TELEPHONE/COMMUNICATION LINE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING UNDERGROUND ELECTRIC
- APPROXIMATE BURIED GAS LINE
- EXISTING CHAIN LINK FENCE
- EXISTING TREE LINE
- EXISTING CRUSHED STONE
- LANDSCAPE BRICK PAVERS
- LANDSCAPED AREAS (MULCH & BUSHES)
- EXISTING CEMENT CONCRETE
- EXISTING UTILITY POLE WITH GUY
- CATCH BASIN
- SEWER MANHOLE
- EXISTING SIGN
- EXISTING CURB STOP
- EXISTING WATER GATE VALVE
- EXISTING HYDRANT
- EXISTING LIGHT POLE
- EXISTING GROUND LIGHT
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- EXISTING SHRUB OR BUSH

PLAN NOTES:
 1. NORTH ORIENTATION IS REFERENCED TO THE VERMONT STATE PLANE COORDINATE SYSTEM (NAD83)
 2. THE VERTICAL INFORMATION SHOWN IS BASED ON A GROUND SURVEY PERFORMED BY DLHCE IN MAY OF 2023. THE ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
 3. THE LOCATIONS FOR THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE NOT WARRANTED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL CONTACT DIG SAFE PRIOR TO ANY EXCAVATION ON SITE.



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DATE	REVISION	BY
CLIENT	CITY OF ESSEX JUNCTION 2 LINCOLN STREET ESSEX JUNCTION, VERMONT 05452	
PROJECT TITLE	LINCOLN HALL RENOVATIONS	
DRAWING TITLE	EXISTING CONDITIONS PLAN	
Survey MRM/RAW	 Donald L. Hamlin Consulting Engineers, Inc. 136 Pearl Street Essex Junction, Vermont	Scale 1"=10'
Design		Job 23-803
Drawn RAW		File
Checked JPK		Drawing
Date 02/08/2024		C-1



THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-344-7233 PRIOR TO ANY EXCAVATION AT LOCATIONS WHICH MAY BE IN THE IMMEDIATE VICINITY OF UNDERGROUND UTILITIES.

WARNING: FATALLY TOXIC GASES MAY BE PRESENT IN UNDERGROUND PIPING SYSTEMS AND WASTE SYSTEM STRUCTURES.

- GENERAL NOTES:**
- EXISTING FEATURES, APPROXIMATE PROPERTY LINE LOCATIONS, AND EASEMENT LOCATIONS DEPICTED ON THIS PLAN ARE BASED ON THE FOLLOWING:
 - FIELD SURVEY PERFORMED BY DONALD L. HAMLIN CONSULTING ENGINEERS, INC. DURING MAY, 2023
 - TAX MAP INFORMATION PROVIDED BY THE STATE OF VERMONT OPEN GEODATA PORTAL.
 - DIGITAL IMAGERY PROVIDED BY THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION.
 - CONTOURS SHOWN ON THIS PLAN ARE BASED ON THE FOLLOWING:
 - FIELD SURVEY PERFORMED BY DONALD L. HAMLIN CONSULTING ENGINEERS, INC. DURING MAY, 2023.
 - ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. THE CONTRACTOR SHALL EXCAVATE WITH CAUTION AT ALL TIMES. ANY UTILITIES DAMAGED OR DISTURBED BY THE CONTRACTOR DURING THE PERFORMANCE OF THE WORK SHALL BE REPAIRED OR REPLACED IN A TIMELY FASHION AT THE EXPENSE OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONSTRUCTION IN ACCORDANCE WITH THE "LOW RISK SITE HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL", LATEST EDITION, AS PUBLISHED BY THE VERMONT DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

ALL AREAS OF DISTURBANCE SHALL BE STABILIZED WITHIN 7 CALENDAR DAYS OF INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE IN THE AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY, UNLESS WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS; OR THE WORK IS BEING PERFORMED IN A SELF-CONTAINED EXCAVATION WITH A DEPTH OF 2 FEET OR GREATER (i.e. HOUSE FOUNDATION, UTILITY TRENCHES).

ALL AREAS OF DISTURBANCE SHALL HAVE PERMANENT STABILIZATION WITHIN 48 HOURS OF REACHING FINAL GRADE.

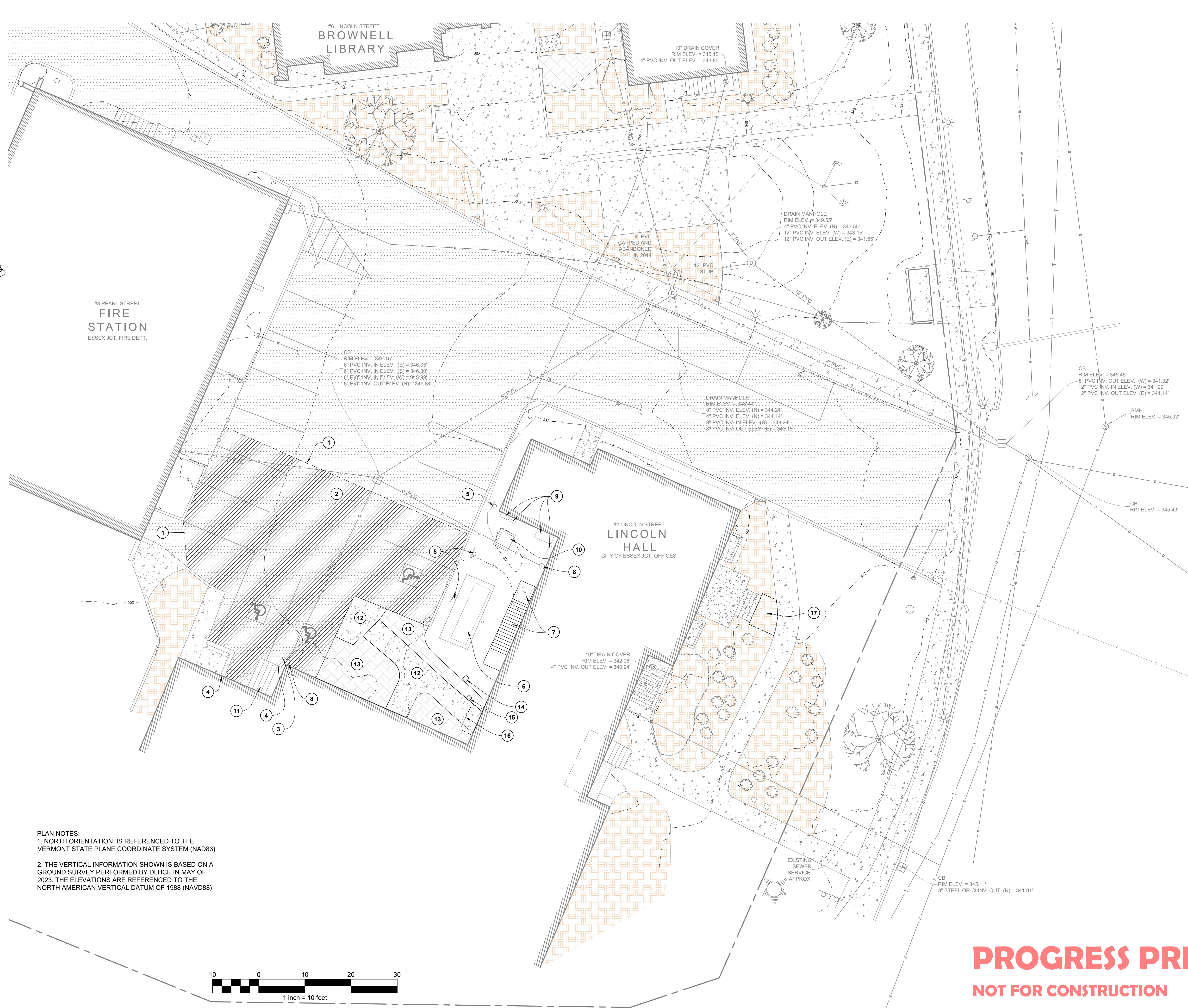
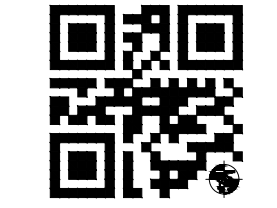
DEMOLITION NOTES

- SAW CUT EXISTING PAVEMENT.
- EXISTING PAVEMENT TO BE REMOVED.
- EXISTING BOLLARD TO REMAIN
- EXISTING SIGN TO BE REMOVED.
- EXISTING SIGN TO REMAIN.
- EXISTING EMERGENCY GENERATOR TO REMAIN.
- EXISTING EXTERIOR STAIRS AND CONCRETE PAD TO BE REMOVED.
- EXISTING ROOF DRAIN TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT ON BUILDING EXTERIOR TO BE RELOCATED, SEE ELECTRICAL PLANS.
- EXISTING TRANSFORMER TO REMAIN.
- EXISTING STAIRS TO REMAIN.
- EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- EXISTING STAMPED CONCRETE TO BE REMOVED.
- EXISTING MAILBOX TO BE REMOVED AND RESET. COORDINATE WITH OWNER ON FINAL LOCATION.
- EXISTING DOOR ACTUATOR TO BE REMOVED.
- EXISTING ROOF OVER DOORWAY TO BE REMOVED, SEE ARCHITECTURAL PLANS.
- REMOVE EXISTING MULCH AND EXCAVATE SOIL AS NEEDED FOR NEW SIDEWALK, SEE SITE PLAN.

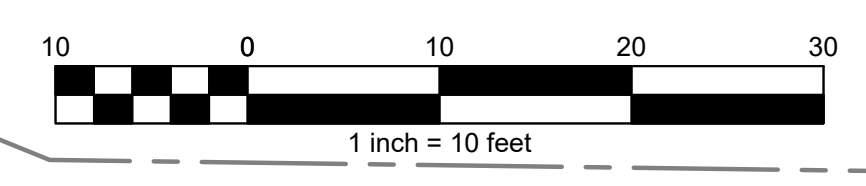
DATE	REVISION	BY
CLIENT	CITY OF ESSEX JUNCTION 2 LINCOLN STREET ESSEX JUNCTION, VERMONT 05452	
PROJECT TITLE	LINCOLN HALL RENOVATIONS	
DRAWING TITLE	DEMOLITION PLAN	
Survey	MRM/RAW	Scale 1"=10'
Design	JPK	Job 23-803
Drawn	RAW/JPK	File
Checked		Drawing
Date	02/08/2024	C-2

Donald L. Hamlin
Consulting
Engineers, Inc.
136 Pearl Street
Essex Junction, Vermont

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- PLAN NOTES:**
- NORTH ORIENTATION IS REFERENCED TO THE VERMONT STATE PLANE COORDINATE SYSTEM (NAD83)
 - THE VERTICAL INFORMATION SHOWN IS BASED ON A GROUND SURVEY PERFORMED BY DLHCE IN MAY OF 2023. THE ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)



VERMONT GRID

THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-344-7233 PRIOR TO ANY EXCAVATION AT LOCATIONS WHICH MAY BE IN THE IMMEDIATE VICINITY OF UNDERGROUND UTILITIES.

WARNING: FATALLY TOXIC GASES MAY BE PRESENT IN UNDERGROUND PIPING SYSTEMS AND WASTE SYSTEM STRUCTURES.

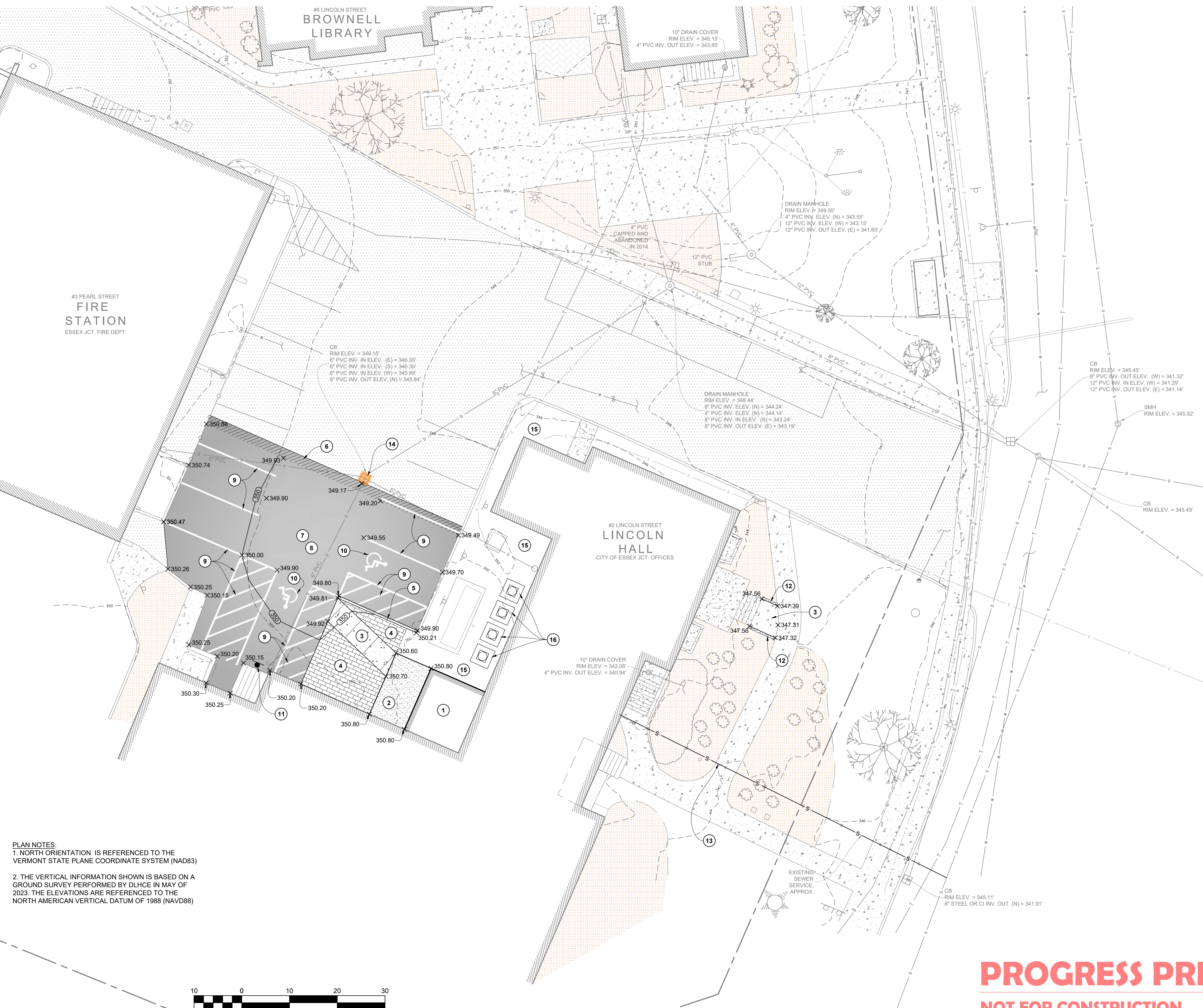
- GENERAL NOTES:**
- EXISTING FEATURES, APPROXIMATE PROPERTY LINE LOCATIONS, AND EASEMENT LOCATIONS DEPICTED ON THIS PLAN ARE BASED ON THE FOLLOWING:
 - FIELD SURVEY PERFORMED BY DONALD L. HAMLIN CONSULTING ENGINEERS, INC. DURING MAY, 2023
 - TAX MAP INFORMATION PROVIDED BY THE STATE OF VERMONT OPEN GEODATA PORTAL.
 - DIGITAL IMAGERY PROVIDED BY THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION.
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ALL AREAS OF DISTURBANCE SHALL BE STABILIZED WITHIN 7 CALENDAR DAYS OF INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE IN THE AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY, UNLESS WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS; OR THE WORK IS BEING PERFORMED IN A SELF-CONTAINED EXCAVATION WITH A DEPTH OF 2 FEET OR GREATER (i.e. HOUSE FOUNDATION, UTILITY TRENCHES).

ALL AREAS OF DISTURBANCE SHALL HAVE PERMANENT STABILIZATION WITHIN 48 HOURS OF REACHING FINAL GRADE.

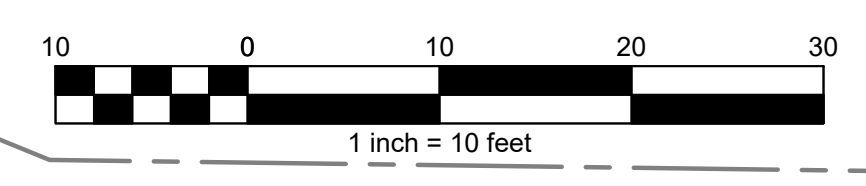
CONSTRUCTION NOTES

- NEW BUILDING ADDITION, SEE STRUCTURAL PLANS.
- NEW EXTERIOR SLAB, SEE STRUCTURAL PLANS.
- NEW CEMENT CONCRETE SIDEWALK.
- NEW STAMPED CEMENT CONCRETE.
- NEW VERTICAL GRANITE CURB.
- GRIND EXISTING PAVEMENT, 1-1/2" DEPTH, 24" WIDE.
- REGRADE EXISTING SUBBASE AS NEEDED TO ACHIEVE FINAL GRADES. IMPORT/EXPORT NEW GRAVEL AS NEEDED.
- INSTALL NEW 2" TYPE II BITUMINOUS CONCRETE PAVEMENT BASE COURSE AND NEW 1-1/2" TYPE IV BITUMINOUS CONCRETE PAVEMENT WEARING COURSE.
- NEW 4" PAINTED WHITE LINE MARKING.
- NEW PAINTED WHITE SYMBOL MARKING.
- NEW VAN ACCESSIBLE PARKING SIGN.
- NEW MULCH TO MATCH EXISTING.
- EXISTING SEWER SERVICE TO BE SLIPLINED FROM BUILDING TO SERVICE CONNECTION AT SEWER MAIN. NO EXCAVATION ALLOWED IN ROADWAY.
- INSTALL AND MAINTAIN TEMPORARY INLET PROTECTION DURING CONSTRUCTION.
- INSTALL NEW TOPSOIL (4" DEPTH MINIMUM), SEED, AND MULCH.
- NEW HVAC SYSTEM CONDENSERS, SEE MEP PLANS.



PLAN NOTES:

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- THE VERTICAL INFORMATION SHOWN IS BASED ON A GROUND SURVEY PERFORMED BY DLHCE IN MAY OF 2023. THE ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

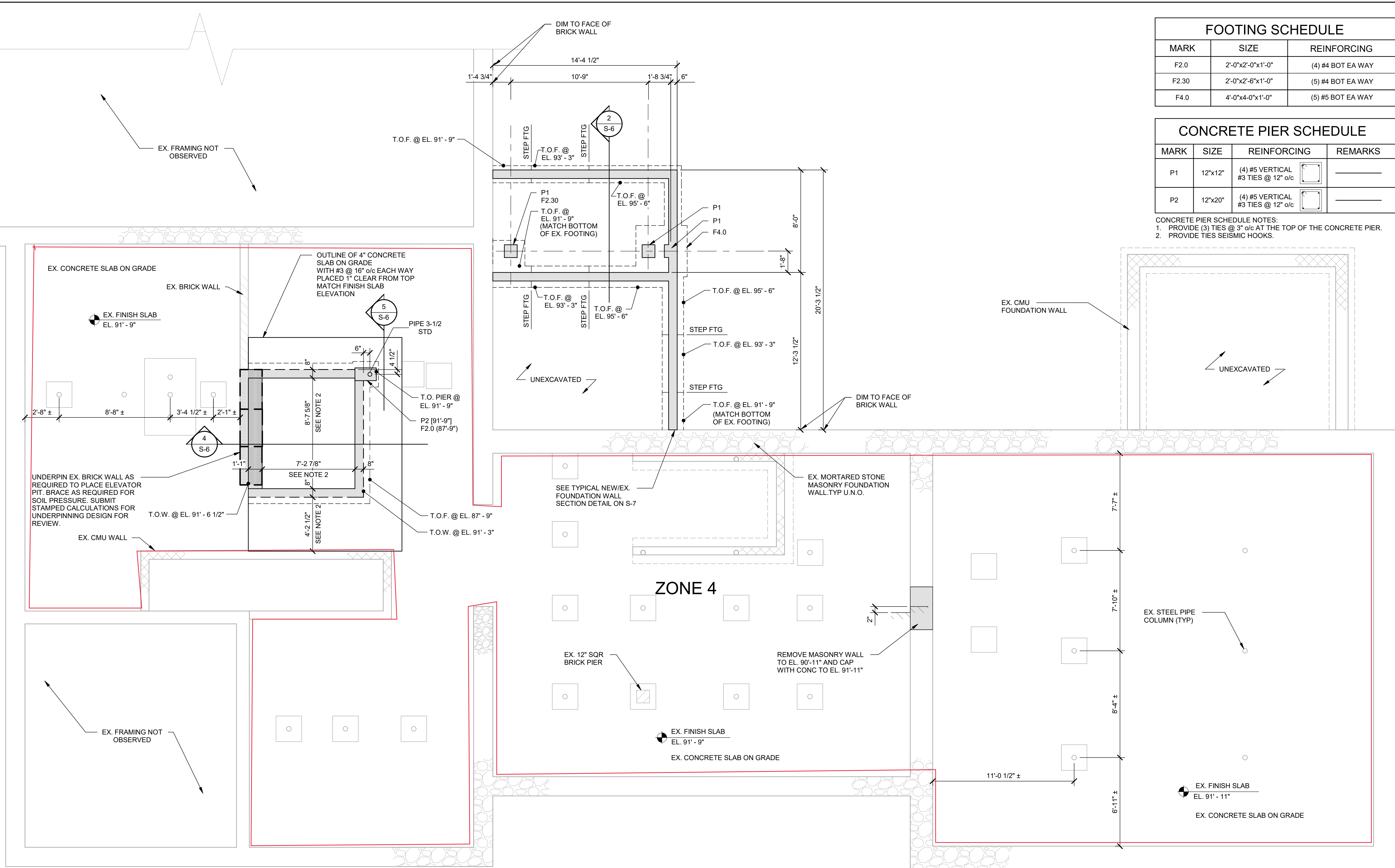


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DATE	REVISION	BY
CLIENT CITY OF ESSEX JUNCTION 2 LINCOLN STREET ESSEX JUNCTION, VERMONT 05452		
PROJECT TITLE LINCOLN HALL RENOVATIONS		
DRAWING TITLE PROPOSED SITE PLAN		
Survey	MRM/RAW	Scale 1"=10'
Design	JPK	Job 23-803
Drawn	RAW/JPK	File
Checked		Drawing
Date	02/08/2024	C-3

Donald L. Hamlin
Consulting
Engineers, Inc.
136 Pearl Street
Essex Junction, Vermont



FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
F2.0	2'-0\"/>	

CONCRETE PIER SCHEDULE			
MARK	SIZE	REINFORCING	REMARKS
P1	12\"/>		

CONCRETE PIER SCHEDULE NOTES:
 1. PROVIDE (3) TIES @ 3\"/>

FOUNDATION PLAN
 1/4\"/>

- EXISTING FRAMING IS BASED ON LIMITED OBSERVATIONS AND FIELD MEASUREMENTS. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING INFORMATION AND REPORT DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WITH WORK.
- COORDINATE DIMENSIONS WITH ELEVATOR SUPPLIER PRIOR TO PLACEMENT.
- F# - INDICATES FOOTING. SEE FOOTING SCHEDULE ON THIS DRAWING FOR ADDITIONAL INFORMATION.
- P# - INDICATES PIER TYPE. SEE CONCRETE PIER SCHEDULE THIS ON THIS DRAWING FOR ADDITIONAL INFORMATION.

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DuBois & King inc.
 6 GREEN TREE DR
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 TEL: (802) 878-7661
 www.dubois-king.com

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project name:
LINCOLN HALL

project address:
 2 LINCOLN ST
 05452

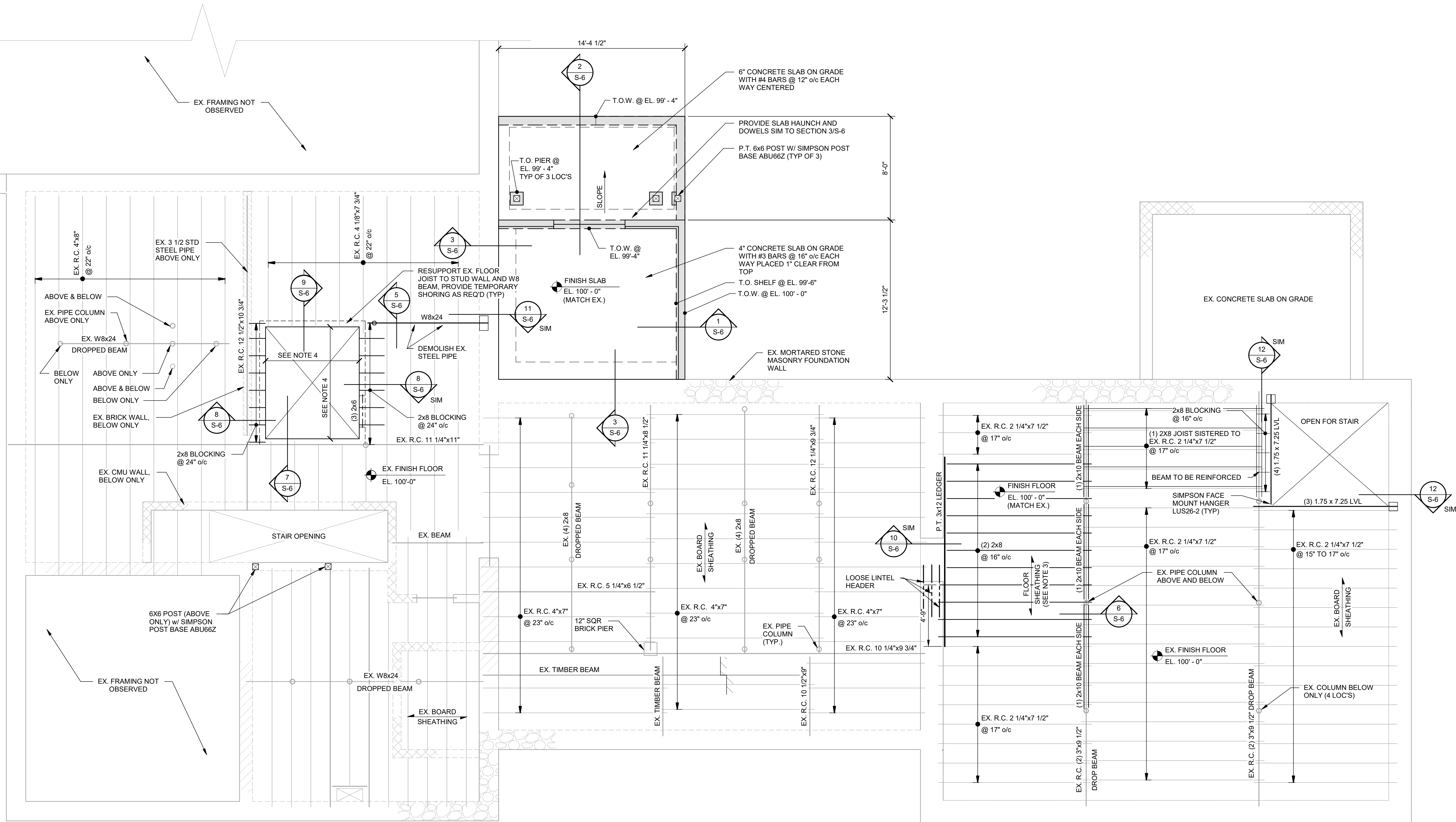
ESSEX JUNCTION, VT

scale:	AS INDICATED
project no.:	21-1457
checked by:	
drawn by:	LF
proj. date:	PROGRESS
sheet date:	02/15/24

No	Date	Revisions

sheet title:
FOUNDATION PLAN

sheet no.
S-1



1
S-2
FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"

- EXISTING FRAMING IS BASED ON LIMITED OBSERVATIONS AND FIELD MEASUREMENTS. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING INFORMATION AND REPORT DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WITH WORK.
- ALL WOOD FRAMING MEMBER SIZES ARE NOMINAL SIZE UNLESS NOTED AS R.C. = ROUGH CUT.
- FLOOR SHEATHING SHALL BE 3/4" APA RATED SHEATHING FASTENED TO FRAMING WITH 8d COM (0.131"Ø x 2 1/4") SPACED AT 6" o/c AT EDGES AND 12" AT IMMEDIATE SUPPORTS.
- COORDINATE DIMENSIONS WITH ELEVATOR SUPPLIER PRIOR TO PLACEMENT.

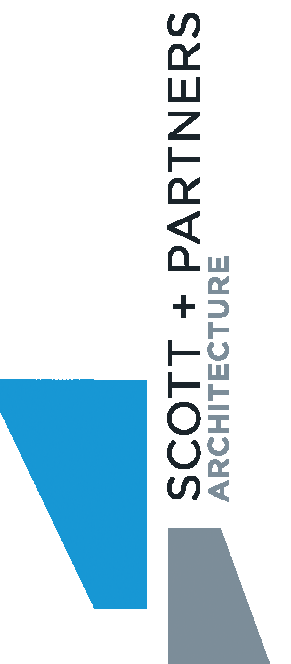
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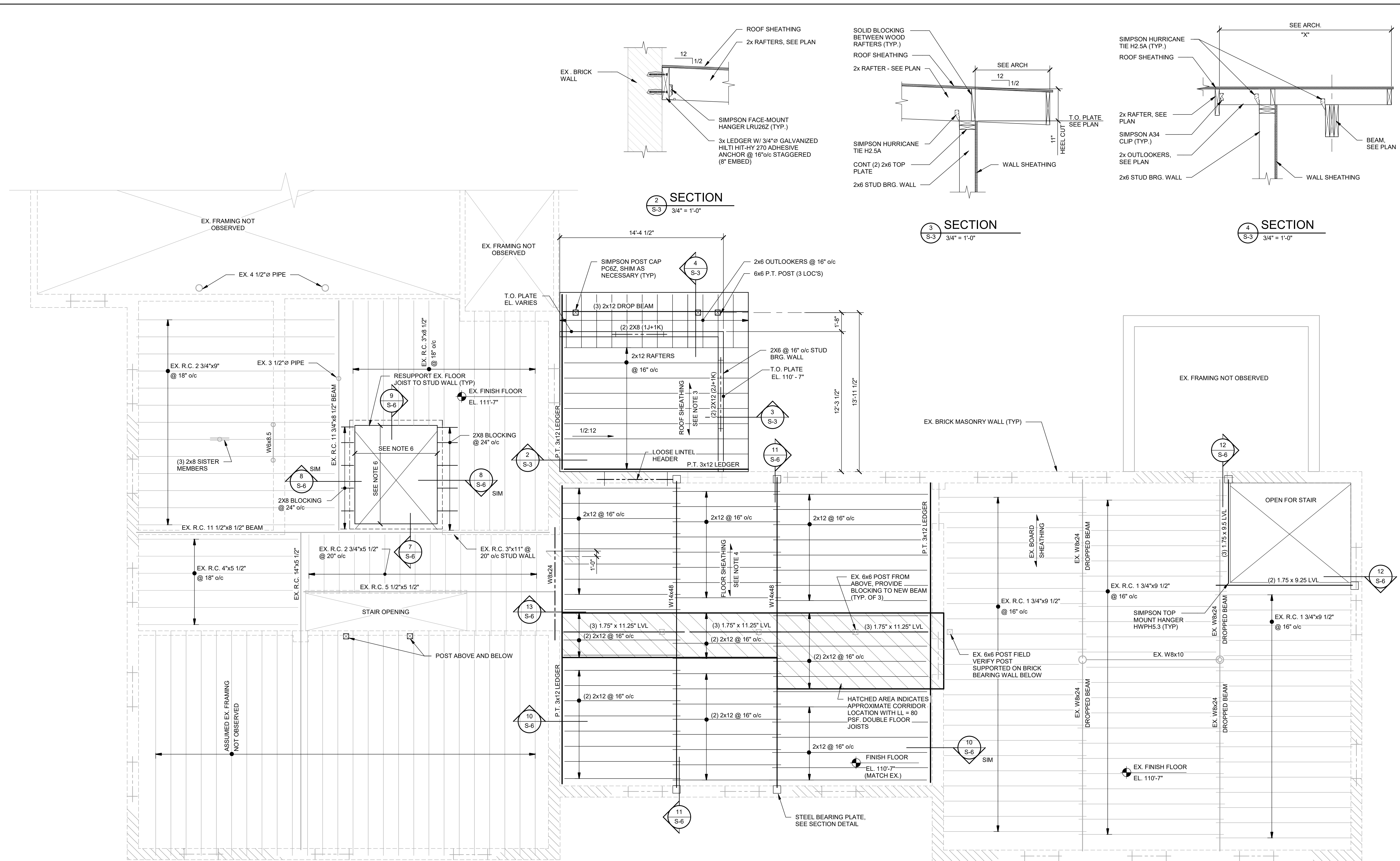
project name:
LINCOLN HALL
project address:
2 LINCOLN ST
05452
ESSEX JUNCTION, VT

scale: AS INDICATED
project no. 21-1457
checked by:
drawn by: LF
proj. date: PROGRESS
sheet date: 02/15/24

No	Date	Revisions

sheet title:
FIRST FLOOR FRAMING PLAN

sheet no.
S-2



1 SECOND LEVEL FLOOR PLAN
 1/4" = 1'-0"

- EXISTING FRAMING IS BASED ON LIMITED OBSERVATIONS AND FIELD MEASUREMENTS. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING INFORMATION AND REPORT DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WITH WORK.
- ALL WOOD FRAMING MEMBER SIZES ARE NOMINAL SIZE UNLESS NOTED AS R.C. = ROUGH CUT.
- ROOF SHEATHING SHALL BE 5/8" APA RATED SHEATHING FASTENED TO FRAMING WITH 8d COM (0.131" x 2 1/4") SPACED AT 6" o/c AT EDGES AND 12" AT IMMEDIATE SUPPORTS.
- FLOOR SHEATHING SHALL BE 3/4" APA RATED SHEATHING FASTENED TO FRAMING WITH 8d COM (0.131" x 2 1/4") SPACED AT 6" o/c AT EDGES AND 12" AT IMMEDIATE SUPPORTS.
- TOP OF STEEL EL. 110'-5 1/2", TYPICAL UNLESS NOTED (+/-).
- COORDINATE DIMENSIONS WITH ELEVATOR SUPPLIER PRIOR TO PLACEMENT.

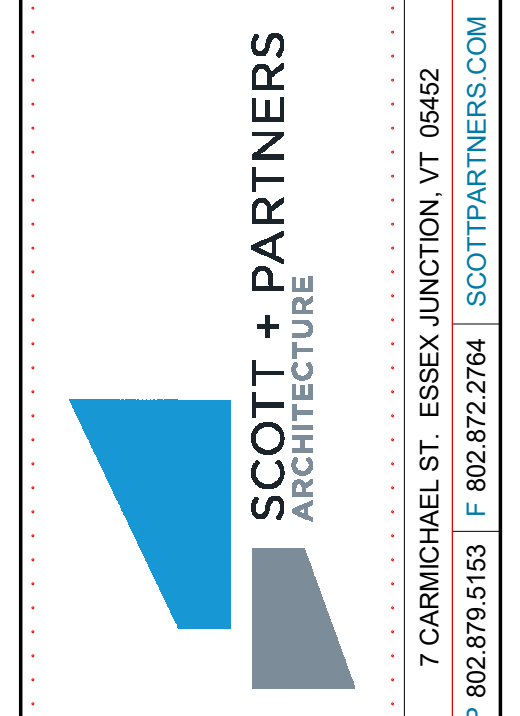
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scale: AS INDICATED

project no. 21-1457

checked by:

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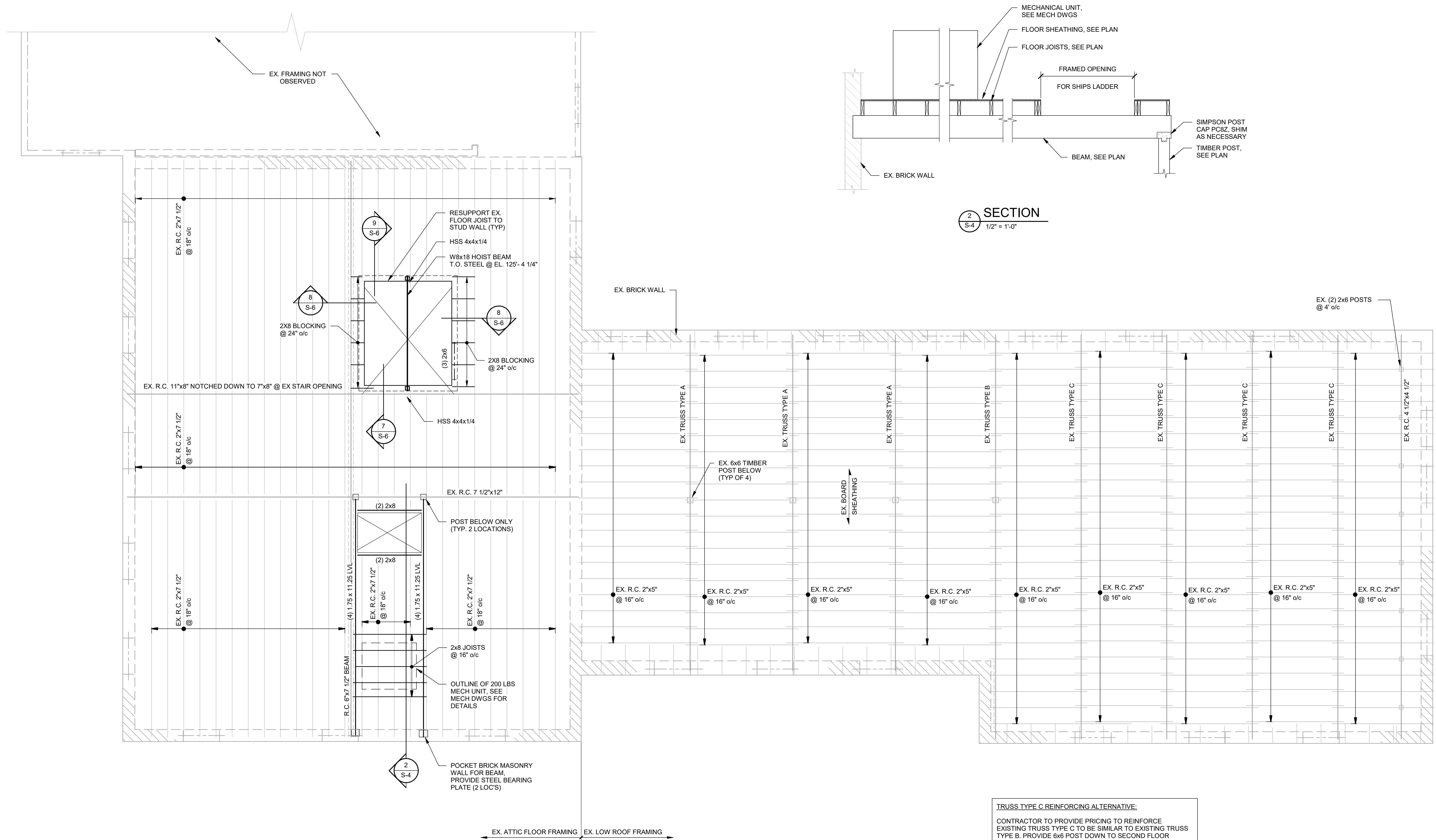
proj. date: PROGRESS

sheet date: 02/15/23

No	Date	Revisions

sheet title:
SECOND LEVEL FLOOR PLAN

sheet no.
S-3



1
S-4
ATTIC AND LOW ROOF FRAMING PLAN
1/4" = 1'-0"

- EXISTING FRAMING IS BASED ON LIMITED OBSERVATIONS AND FIELD MEASUREMENTS. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING INFORMATION AND REPORT DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WITH WORK.
- ALL WOOD FRAMING MEMBER SIZES ARE NOMINAL SIZE UNLESS NOTED AS R.C. = ROUGH CUT.

TRUSS TYPE C REINFORCING ALTERNATIVE:
CONTRACTOR TO PROVIDE PRICING TO REINFORCE EXISTING TRUSS TYPE C TO BE SIMILAR TO EXISTING TRUSS TYPE B. PROVIDE 6x6 POST DOWN TO SECOND FLOOR FRAMING ELEVATION SUPPORTED BY NEW MULTI-PLY LVL BEAMS SPANNING BETWEEN STEEL FRAMING.

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ARCHITECTURE
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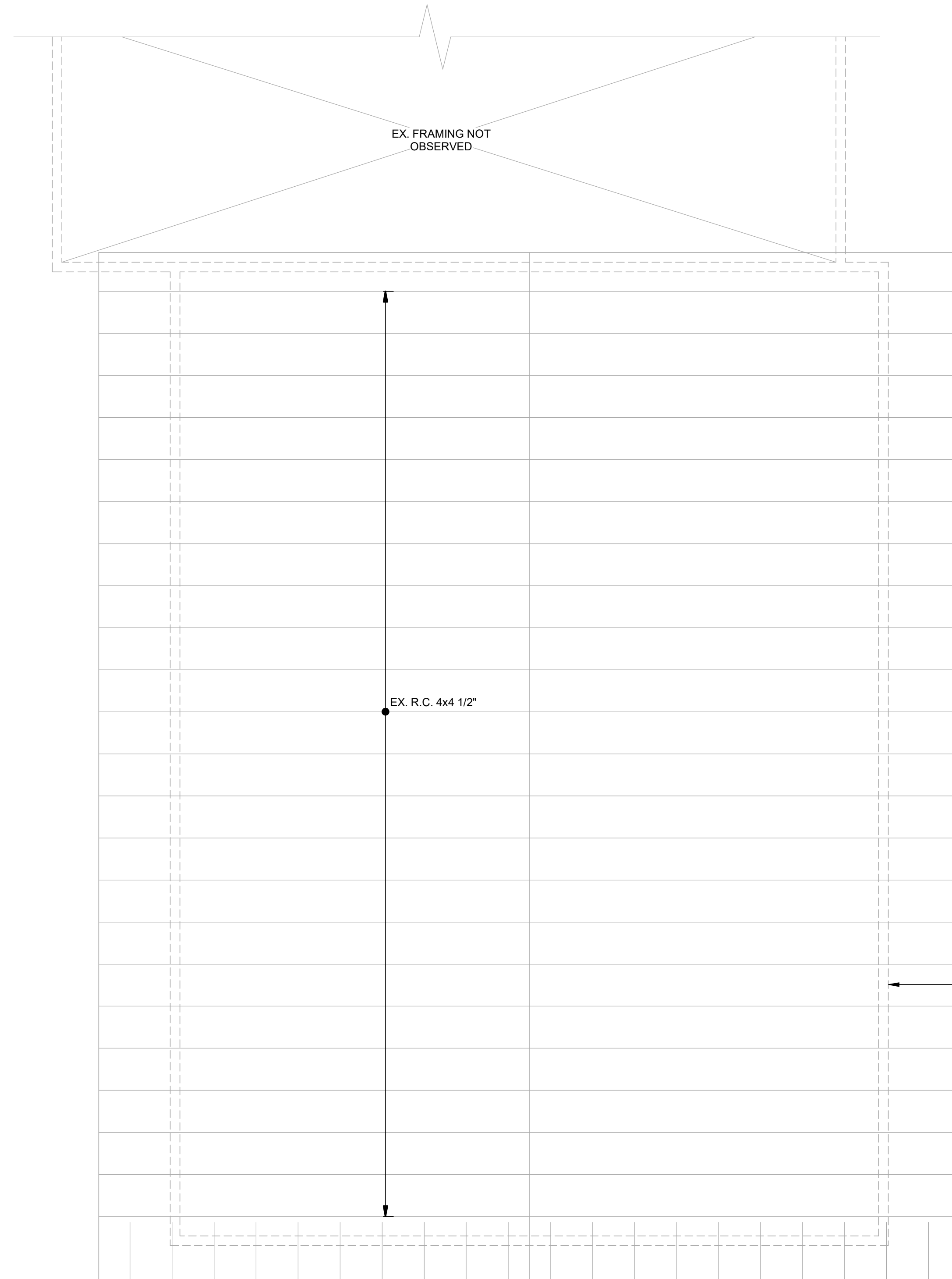
LINCOLN HALL
project name:
project address:
2 LINCOLN ST
05452
ESSEX JUNCTION, VT

scale: As indicated
project no. 21-1457
checked by:
drawn by: LF
proj. date: PROGRESS
sheet date: 02/15/2024

No	Date	Revisions

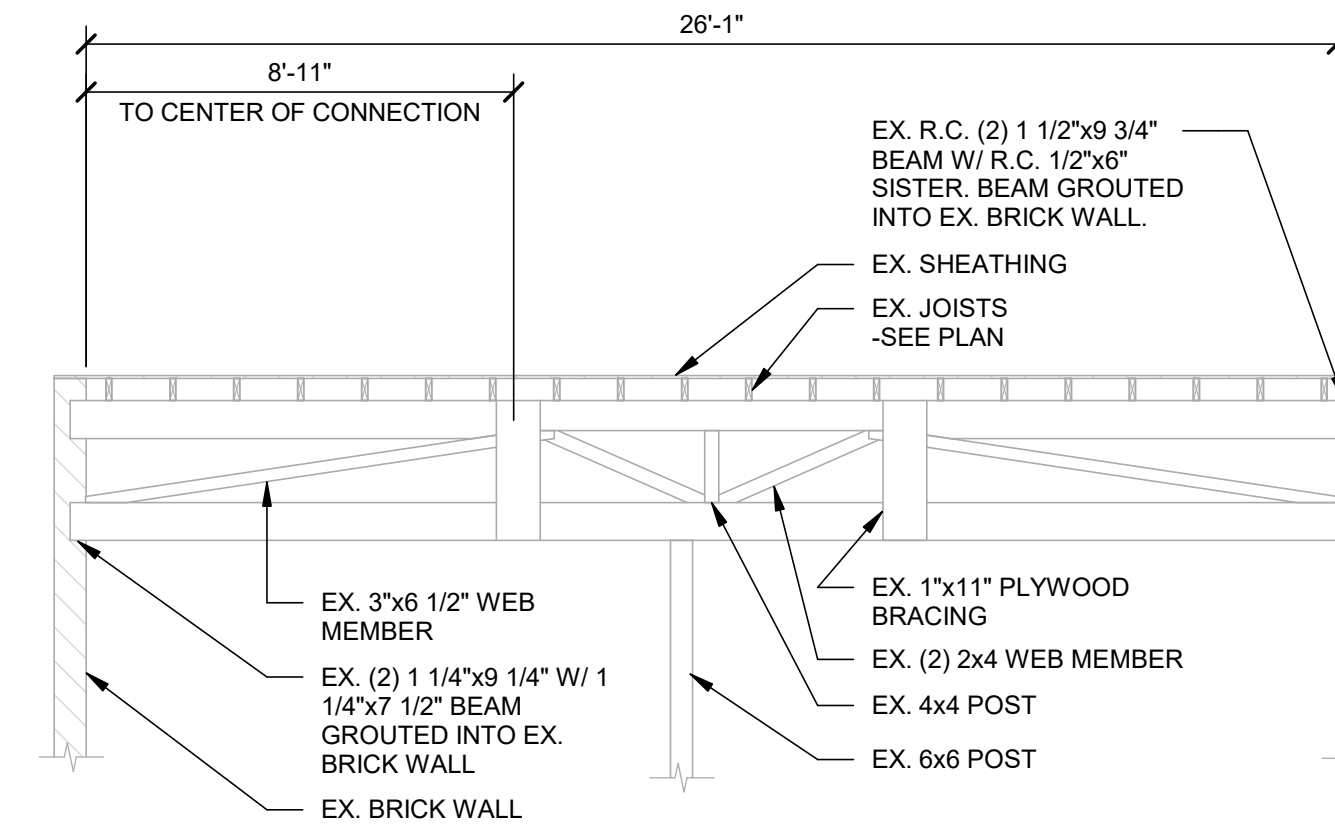
sheet title:
ATTIC AND LOW ROOF FRAMING PLAN

sheet no.
S-4

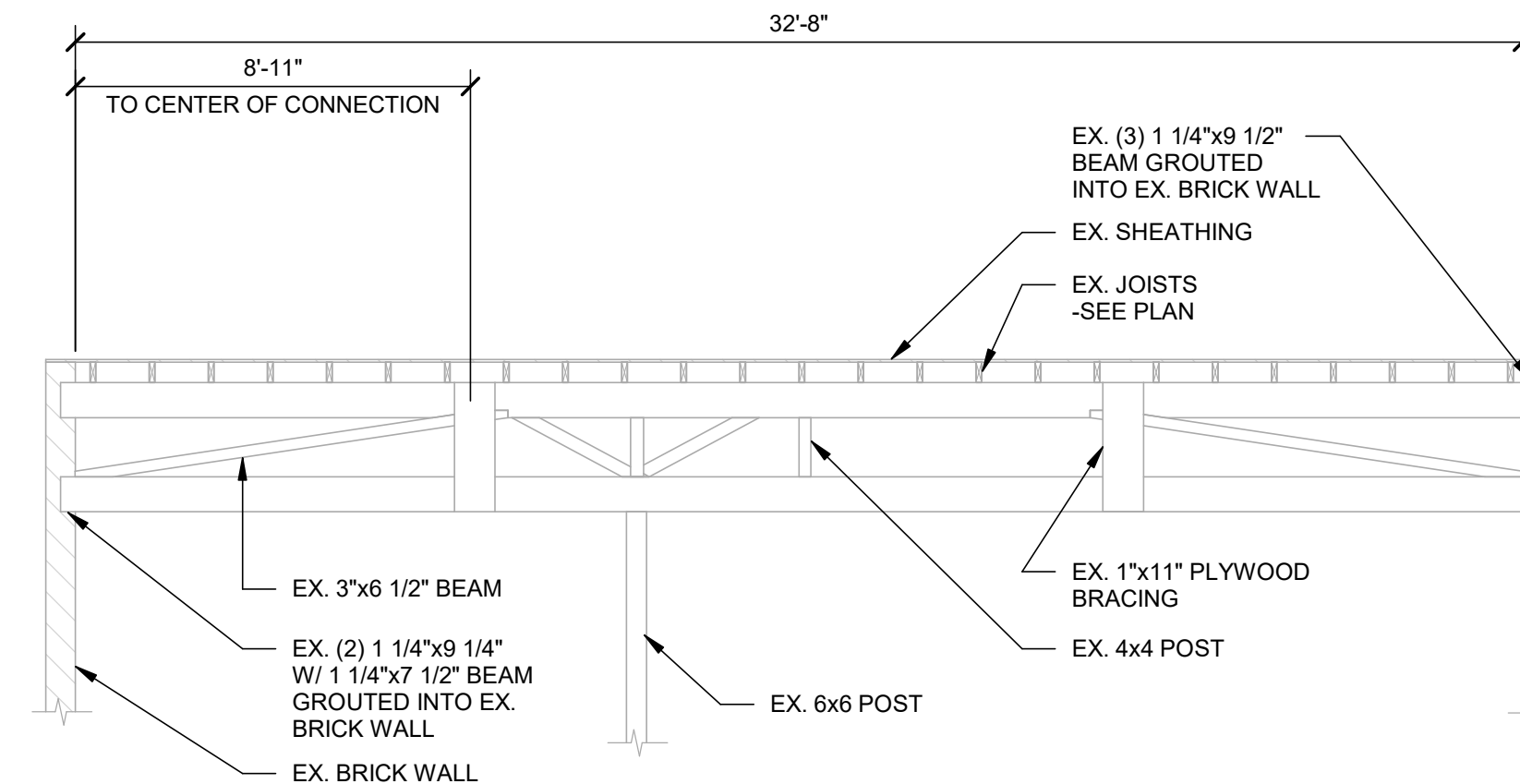


1
S-5
ROOF FRAMING PLAN
1/4" = 1'-0"

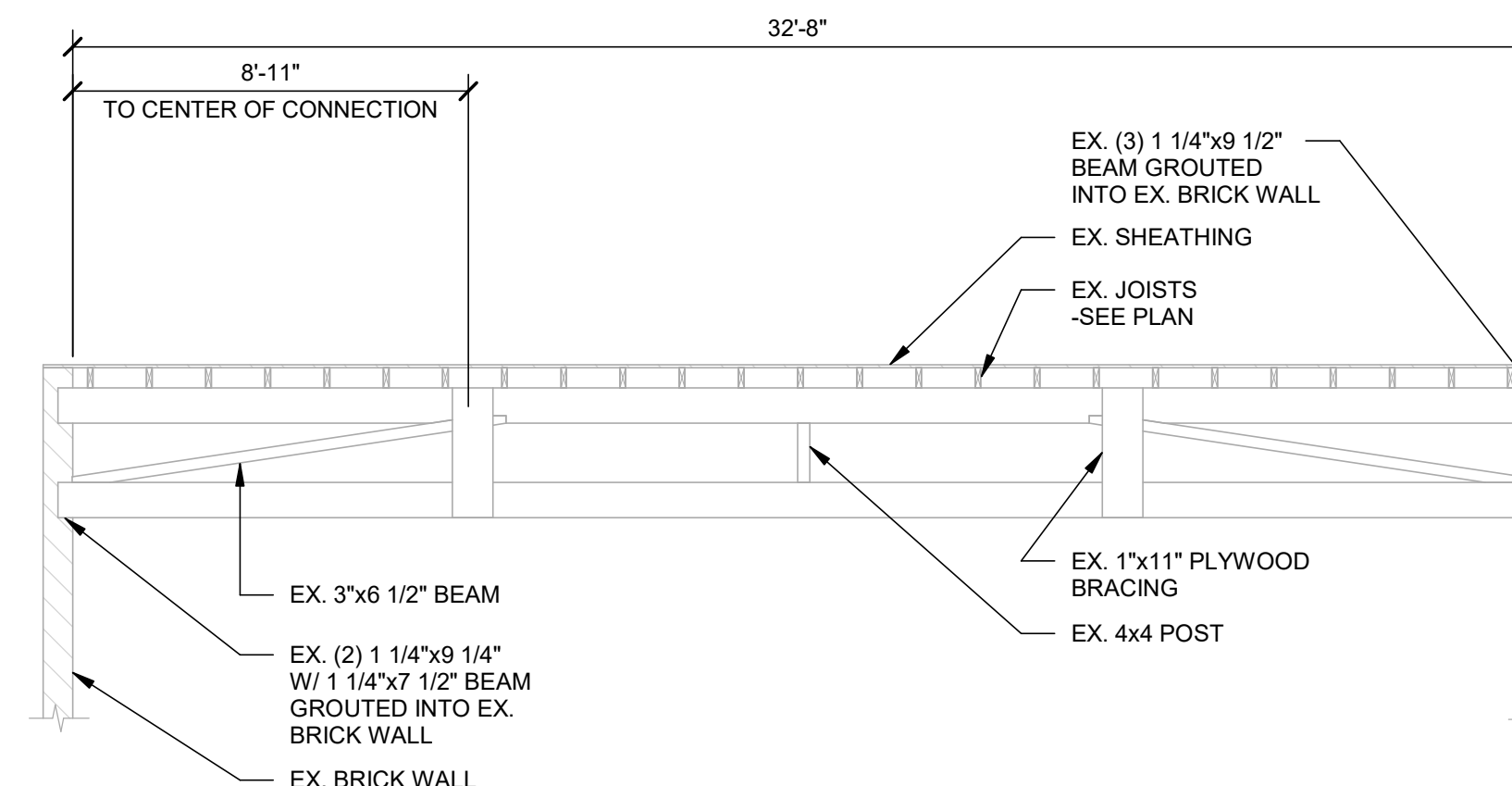
- EXISTING FRAMING IS BASED ON LIMITED OBSERVATIONS AND FIELD MEASUREMENTS. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING INFORMATION AND REPORT DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WITH WORK.
- ALL WOOD FRAMING MEMBER SIZES ARE NOMINAL SIZE UNLESS NOTED AS R.C. = ROUGH CUT.
- NO WORK AT ROOF FRAMING, PROVIDED FOR INFORMATION PURPOSES ONLY.



2
S-5
TRUSS TYPE A
1/4" = 1'-0"



3
S-5
TRUSS TYPE B
1/4" = 1'-0"



4
S-5
TRUSS TYPE C
1/4" = 1'-0"



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scale: AS INDICATED
project no. 21-1457
checked by:
drawn by: OEA
proj. date: PROGRESS
sheet date: 05/03/23

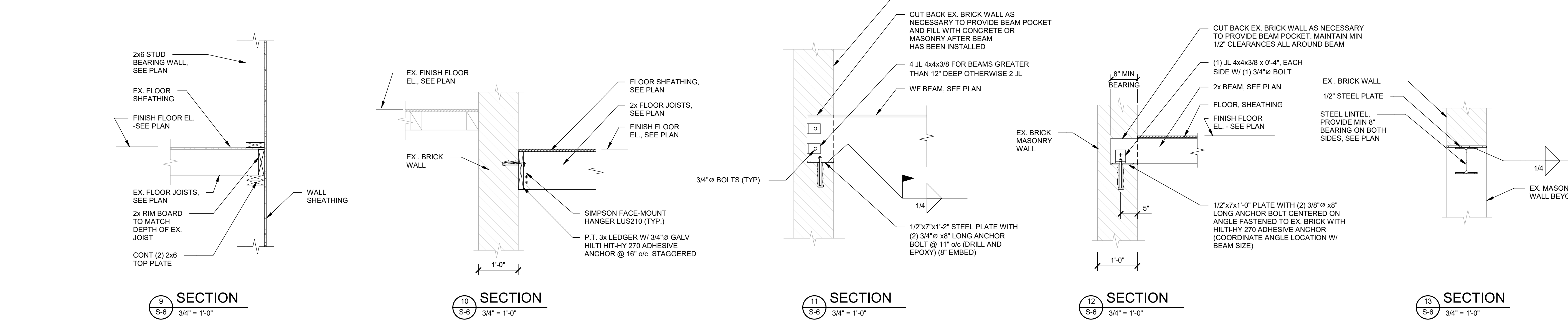
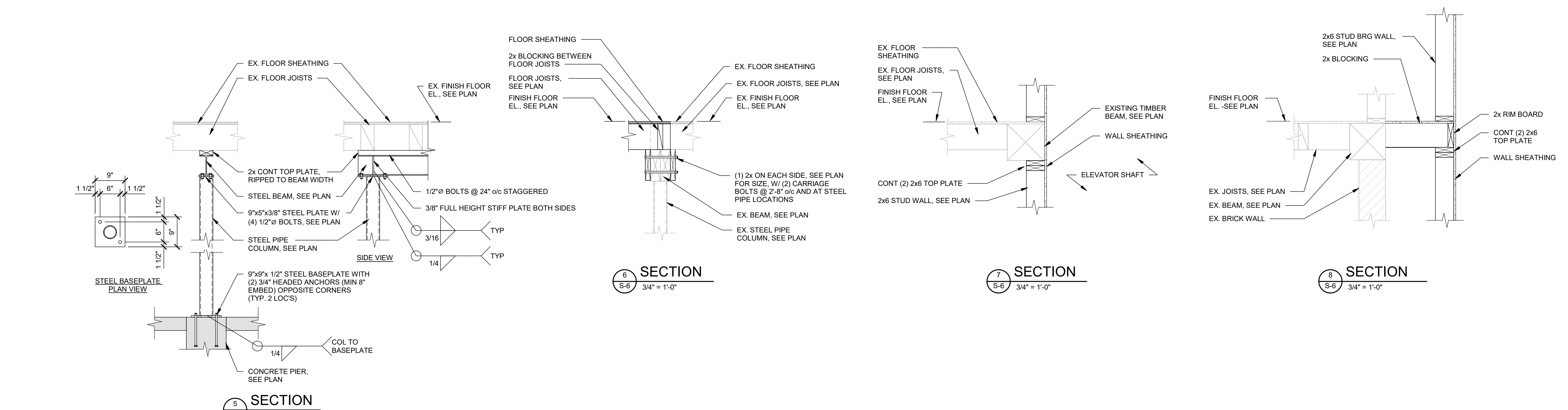
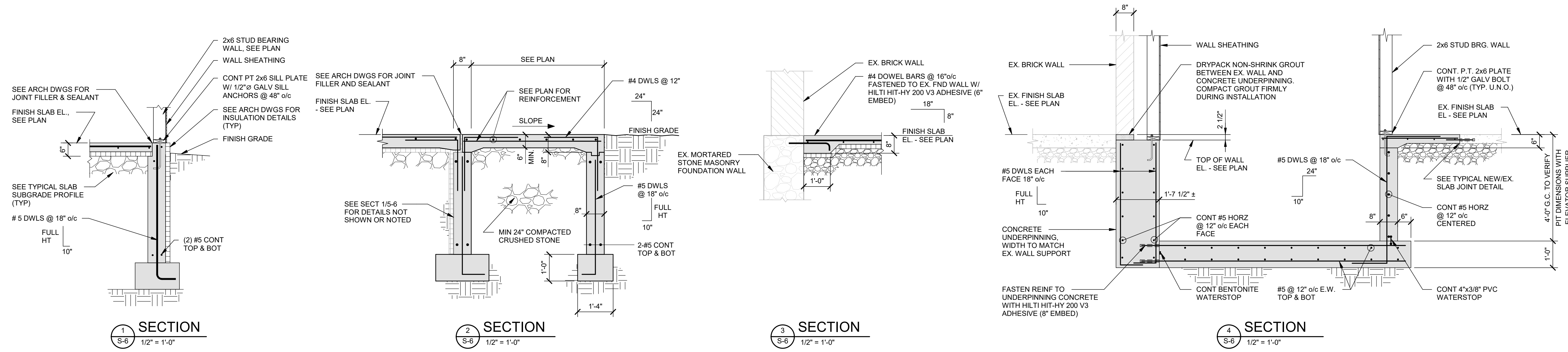
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sheet title:
ROOF FRAMING PLAN

sheet no.
S-5

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SCOTT + PARTNERS
ARCHITECTURE

7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
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LINCOLN HALL

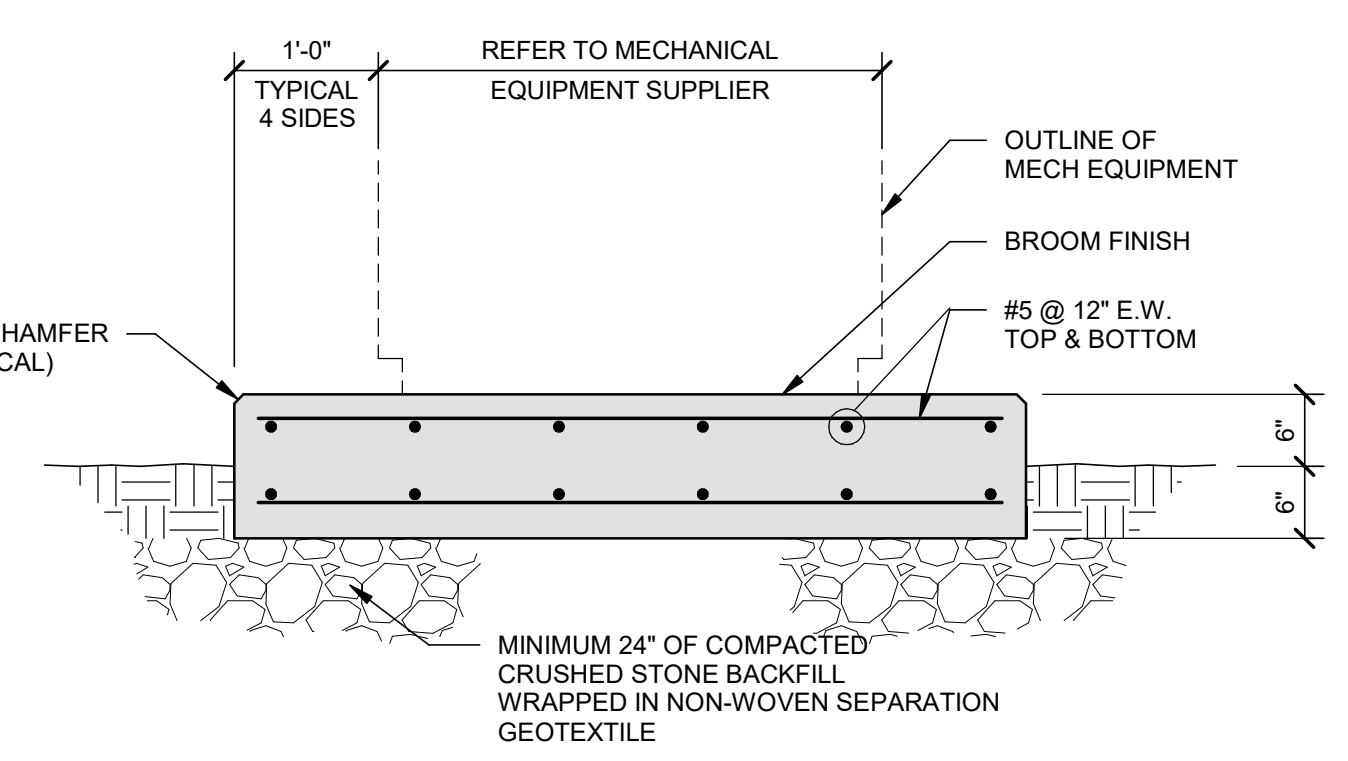
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ESSEX JUNCTION, VT

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drawn by: LF
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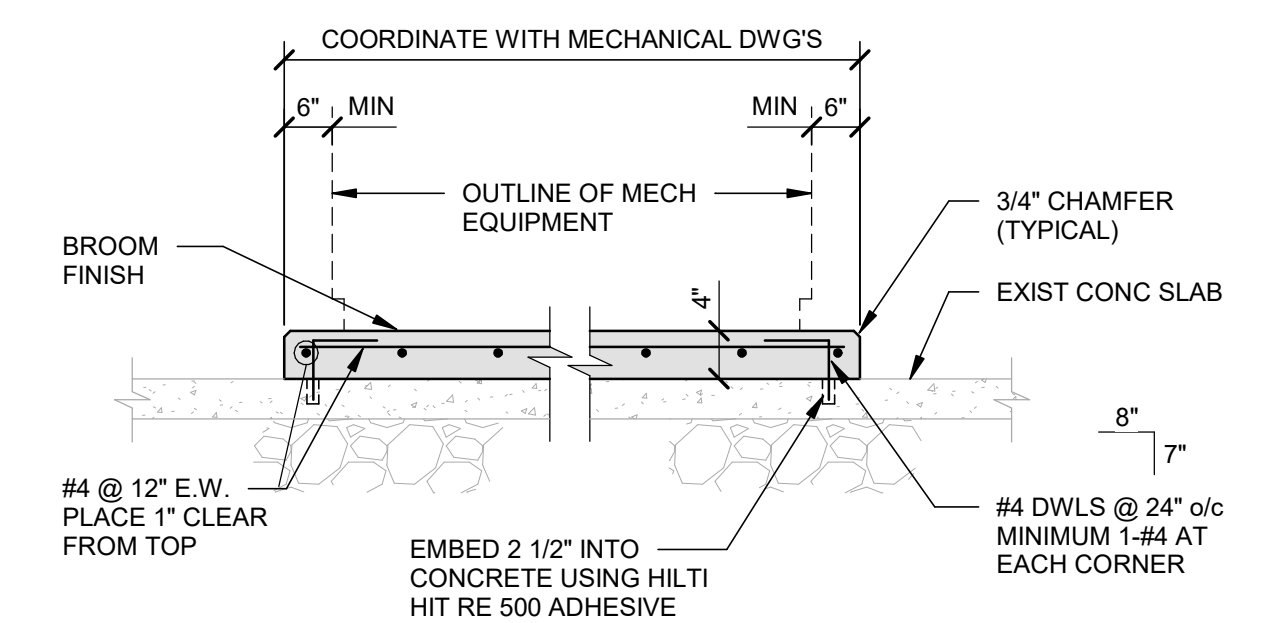
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S-6



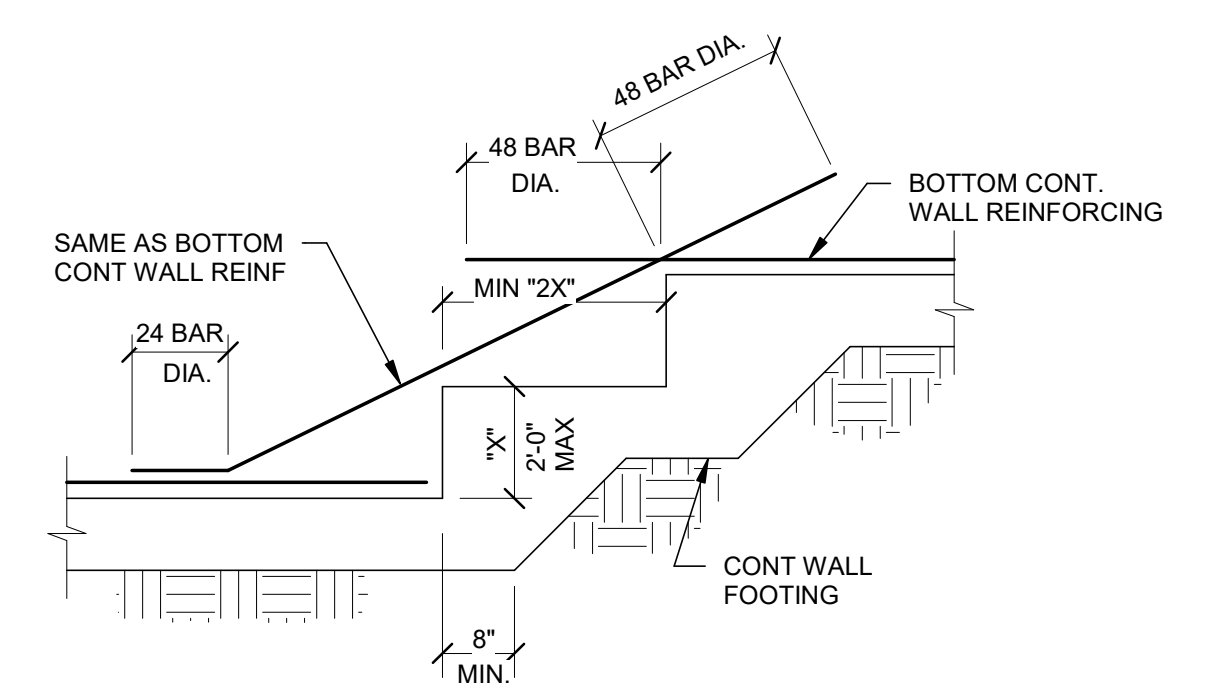
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S-7
TYPICAL EQUIPMENT PAD DETAIL
NOT TO SCALE

1. COORDINATE SIZES, LOCATIONS AND QUANTITIES WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

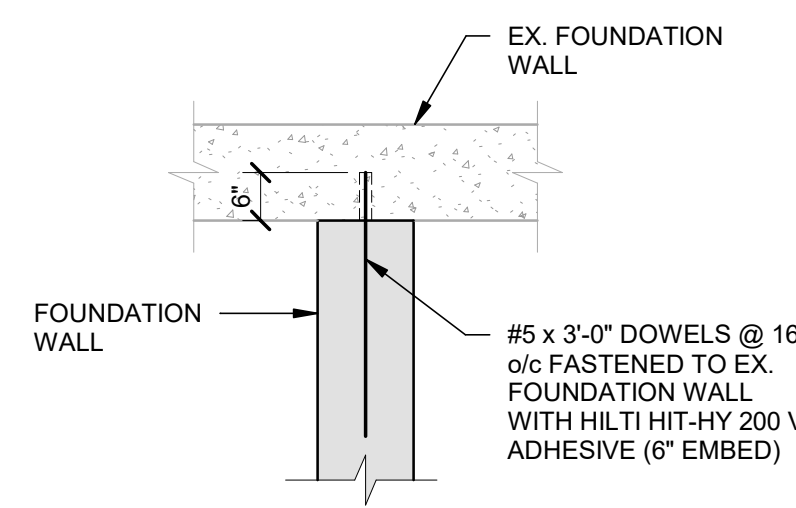


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TYPICAL INTERIOR EQUIPMENT PAD DETAIL
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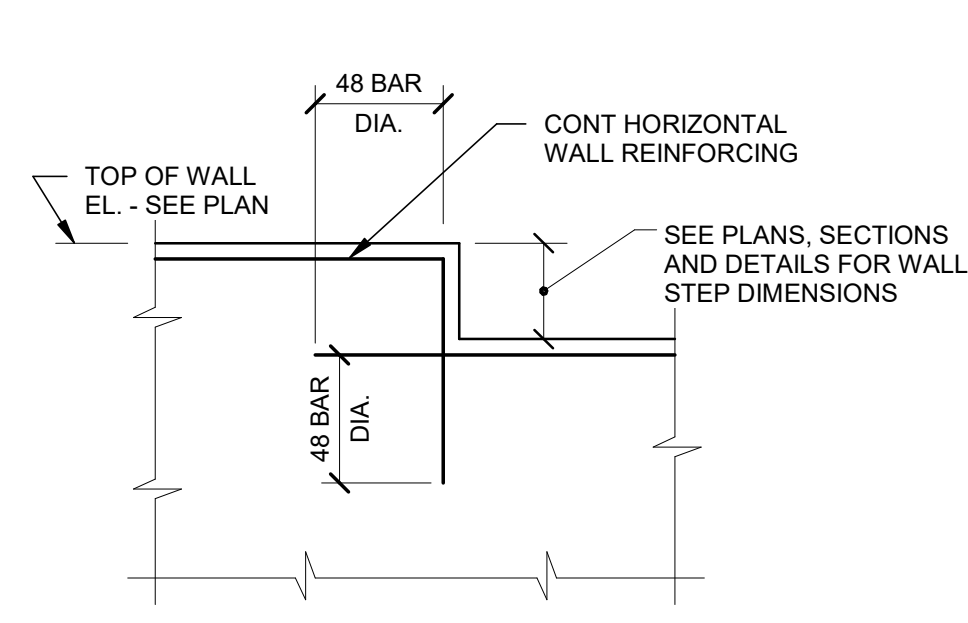
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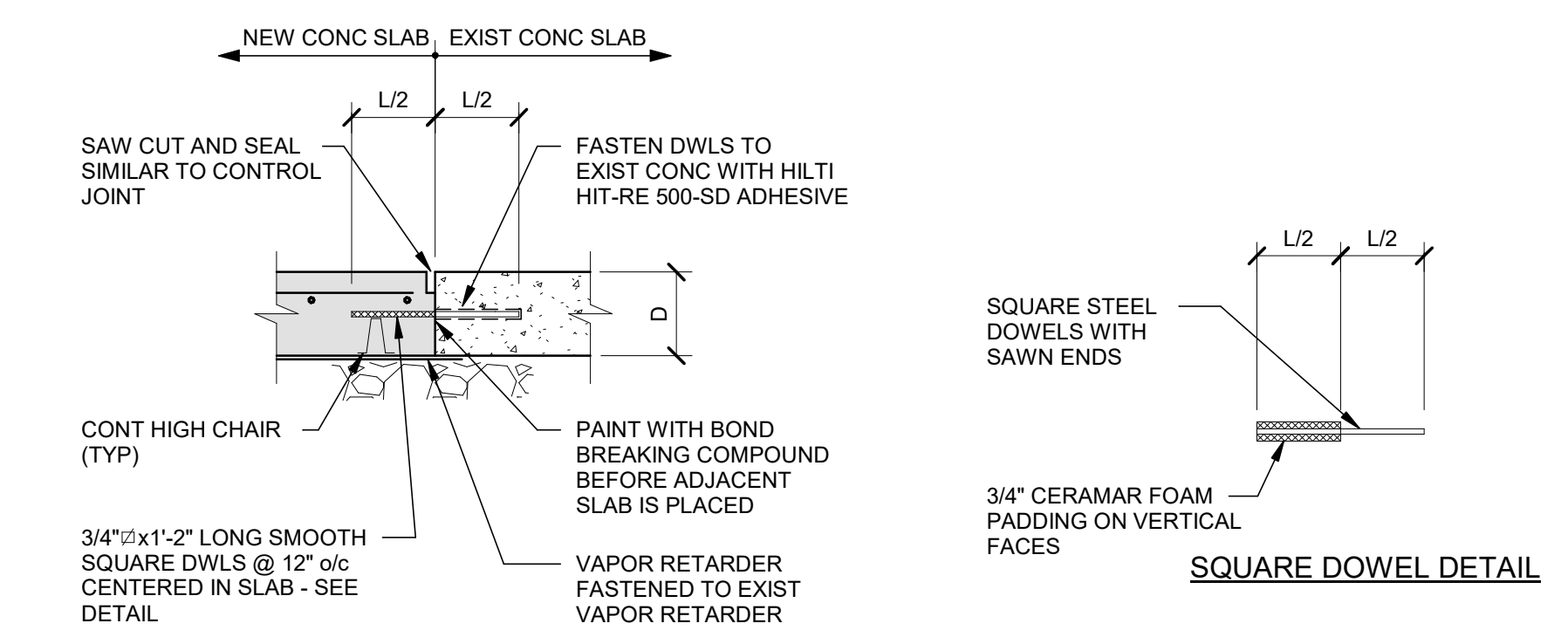
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TYPICAL STEPPED FOOTING DETAIL
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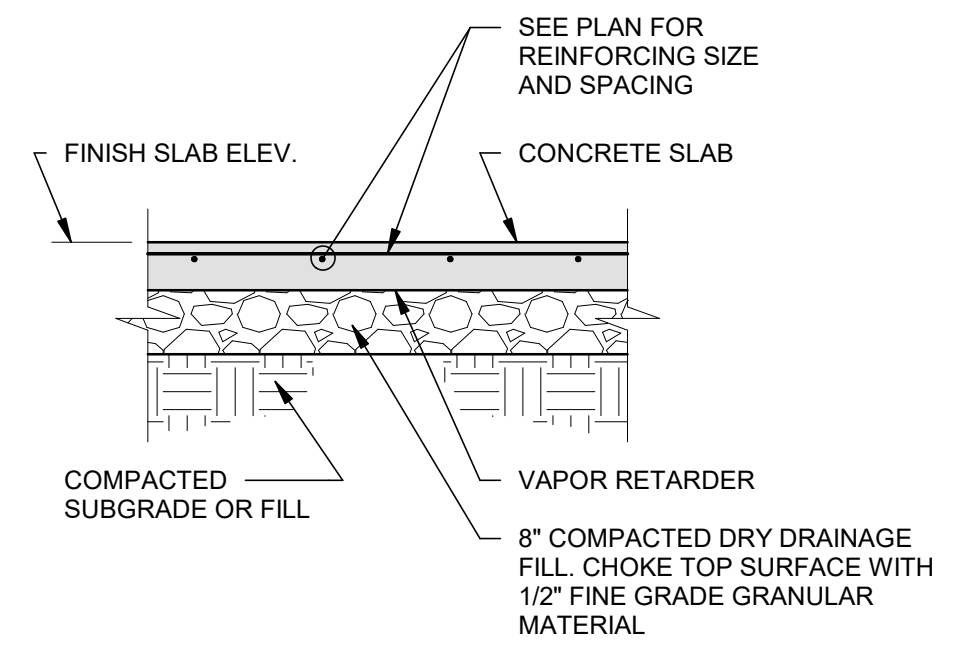
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TYPICAL NEW/EXISTING FOUNDATION WALL DETAIL
NOT TO SCALE



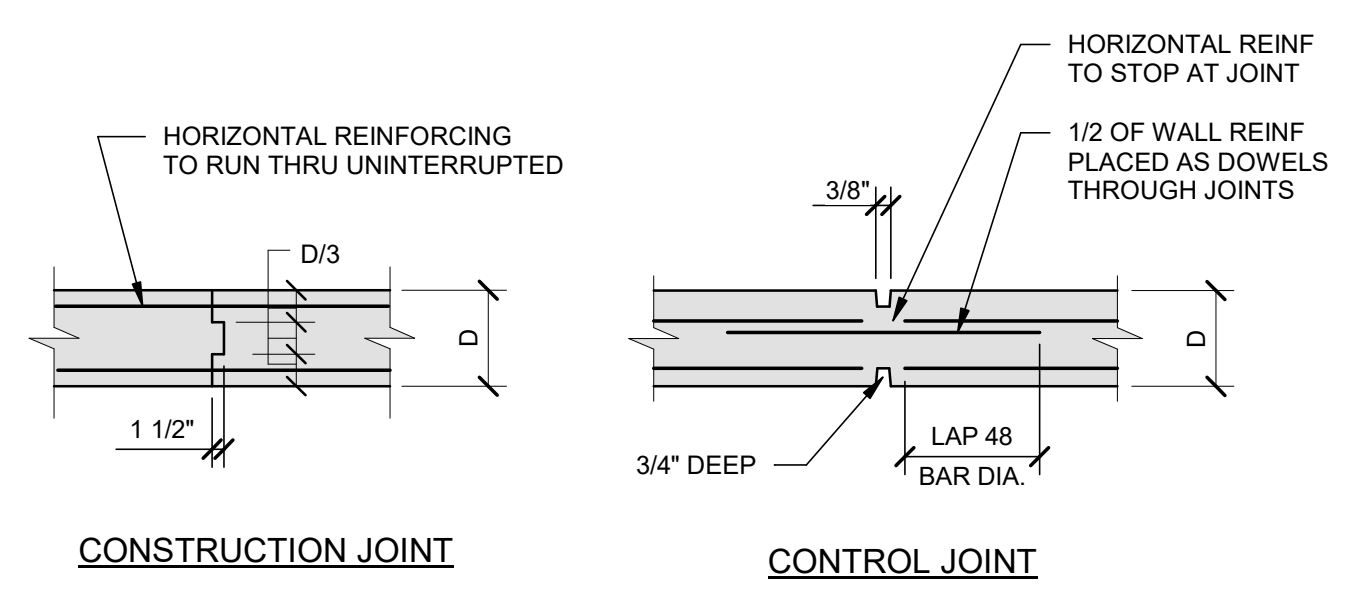
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TYPICAL WALL STEP DETAIL
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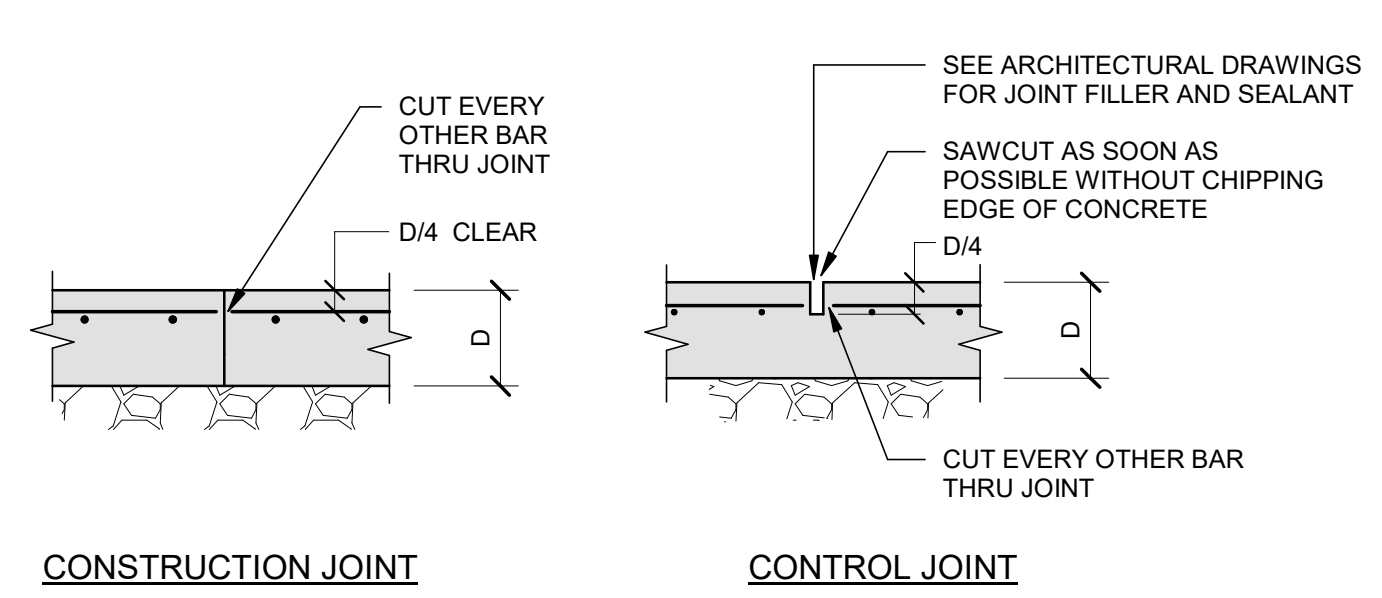
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TYPICAL NEW/EXIST CONCRETE SLAB JOINT DETAIL
NOT TO SCALE



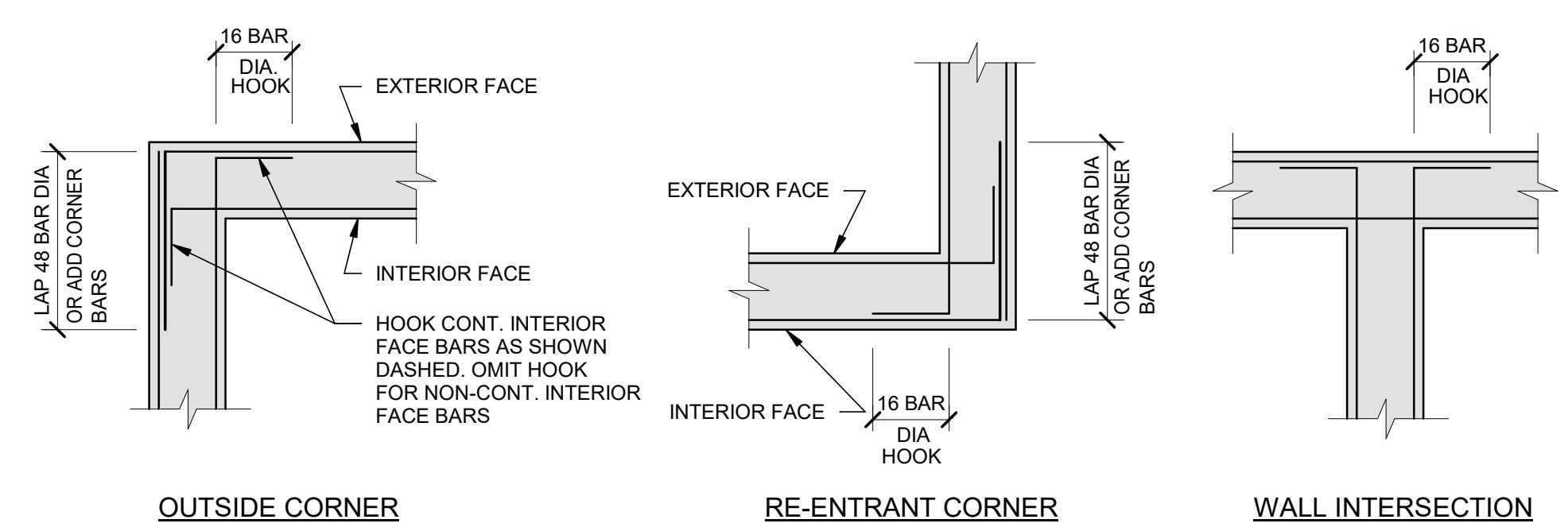
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TYPICAL SLAB/SUBGRADE PROFILE
NOT TO SCALE



8
S-7
TYPICAL WALL JOINT DETAILS
NOT TO SCALE



9
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TYPICAL SLAB ON GRADE JOINT DETAILS
NOT TO SCALE



10
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TYPICAL WALL REINFORCING DETAILS
NOT TO SCALE

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GENERAL NOTES:

- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND ARCHITECTURAL, ELECTRICAL, MECHANICAL AND SITE DRAWINGS.
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS AND REGULATIONS.
- DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT DISCREPANCIES TO ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS AND PRODUCT DATA TO THE ARCHITECT/ENGINEER, MARKING DOCUMENTS WITH THE PRODUCT TO BE PROVIDED. ITEMS SUBMITTED WILL BE PROCESSED AND RETURNED.
- IN CASE OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE DRAWINGS GOVERN.

EARTHWORK

- SUBMITTALS:** SUBMIT TEST REPORTS ON BORROW MATERIAL, VERIFICATION OF FOOTING SUBGRADE MATERIAL, IN-PLACE SOIL DENSITY TEST AND OPTIMUM MOISTURE-MAXIMUM DENSITY CURVES.
- EXISTING UTILITIES:** LOCATE BY HAND EXCAVATION AND PROVIDE PROTECTION FROM DAMAGE. COOPERATE WITH OWNER AND UTILITY COMPANIES FOR MAINTAINING SERVICES.
- PROTECTIONS:** PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES IN AREAS OF WORK. BARRICADE OPEN EXCAVATIONS AND PROVIDE WARNING LIGHTS. SLOPE SIDES OF EXCAVATIONS AS REQUIRED FOR SAFE WORKING CONDITIONS. COMPLY WITH REGULATIONS OF AUTHORITIES HAVING JURISDICTION INCLUDING OSHA REGULATIONS FOR ALL EXCAVATION AND BACKFILLING WORK.
- SATISFACTORY SOIL MATERIALS:** DEFINED AS THOSE COMPLYING WITH ASTM D 2487 SOIL GROUPS GW, GP, GM, SM, SW AND SP.
- ENGINEERED FILL:** ENGINEERED FILL SHOULD BE CLEAN, WELL-GRADED SANDS AND GRAVELS MEETING THE REQUIREMENTS CALLED OUT FOR ITEM 704.08 GRANULAR BACKFILL FOR STRUCTURES IN THE LATEST EDITION OF THE VERMONT AGENCY OF TRANSPORTATION (VTTRANS) STANDARD SPECIFICATION FOR CONSTRUCTION.
- CRUSHED STONE:** CLEAN, HARD, CRUSHED STONE FREE OF DELETERIOUS MATERIAL MEETING REQUIREMENTS FOR ITEM 704.16 DRAINAGE AGGREGATE IN THE LATEST EDITION OF THE VTTRANS STANDARD SPECIFICATION FOR CONSTRUCTION.
- DRAINAGE FILL MATERIAL:** WASHED, NARROWLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL, ASTM D 448 COARSE-AGGREGATE GRADING SIZE 57 WITH 100 PERCENT PASSING A 1-1/2 INCH SIEVE, 95 TO 100 PERCENT PASSING A 1 INCH SIEVE, 25 TO 60 PERCENT PASSING A 1/2 INCH SIEVE, 0 TO 10 PERCENT PASSING A NO. 4 SIEVE, AND 0 TO 5 PERCENT PASSING A NO. 8 SIEVE.
- FINE-GRADED GRANULAR MATERIAL CHOKE COURSE:** CLEAN MIXTURE OF CRUSHED STONE, CRUSHED GRAVEL, AND MANUFACTURED OR NATURAL SAND, ASTM D 448 SIZE 10 WITH 100 PERCENT PASSING A 3/8 INCH SIEVE, 85 TO 100 PERCENT PASSING A NO. 4 SIEVE, 10 TO 30 PERCENT PASSING A NO. 100 SIEVE, AND AT LEAST 5 PERCENT PASSING NO. 200 SIEVE. MATERIAL SHALL COMPLY WITH DELETERIOUS SUBSTANCE LIMITS OF ASTM C 33 FOR FINE AGGREGATE.
- SUBBASE FILL MATERIAL:** NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, OR CRUSHED SLAG FREE OF VEGETATION, DEBRIS, AND OTHER OBJECTIONABLE MATERIALS.
- EXCAVATION:** REMOVE AND DISPOSE OF MATERIAL ENCOUNTERED TO OBTAIN REQUIRED SUBGRADE ELEVATIONS.
- BACKFILL AND FILL:** PLACE SATISFACTORY BACKFILL AND FILL SOIL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH, COMPACTING EACH LAYER TO REQUIRED MAXIMUM DENSITY. DO NOT PLACE MATERIALS ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN ICE OR FROST. USE SUBBASE MATERIAL UNDER ALL PAVEMENT, EXTERIOR SLAB AND WALKS, UNDER AND AROUND PIPING OR CONDUIT. USE DRAINAGE FILL UNDER INTERIOR SLABS ON GRADE. USE ENGINEERED FILL UNDER STRUCTURES AND WITHIN 5 FEET OF BUILDING LINES.
- COMPACTION:** COMPACT EACH LAYER OF BACKFILL AND FILL SOIL MATERIALS AND THE TOP 12 INCHES OF EXISTING SUBGRADE FOR STRUCTURES, SLABS, STEPS AND PAVEMENTS TO 95 PERCENT MAXIMUM DENSITY AND FOR FOOTINGS TO 98 PERCENT MAXIMUM DENSITY AS DETERMINED BY ASTM D 698. FOR LAWN AND OTHER UNPAVED AREAS, COMPACT TO 92 PERCENT MAXIMUM DENSITY.
- TESTING:** OWNER WILL ENGAGE SOILS TESTING AND INSPECTION SERVICE FOR QUALITY CONTROL TESTING DURING EARTHWORK OPERATIONS. TYPE AND QUANTITY OF TESTS SHALL BE AS DIRECTED BY THE ARCHITECT/ENGINEER.
- SEPARATION GEOTEXTILE:** NON-WOVEN GEOTEXTILE FABRIC, MANUFACTURED FOR SEPARATION APPLICATIONS, COMPLYING WITH VTTRANS SPECIFICATION ITEM 649.31 GEOTEXTILE UNDER STONE FILL.
- FOOTINGS:** PLACE FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL. ASSUMED BEARING CAPACITY FOR FOUNDATION DESIGN IS 1.5 TON PER SQUARE FOOT.

CONCRETE NOTES:

- ALL CONCRETE SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" OF THE AMERICAN CONCRETE INSTITUTE (ACI 318) AND LOCAL BUILDING CODES. ALL CONCRETE WORK SHALL BE AS SPECIFIED AND RECOMMENDED BY ACI FIELD REFERENCE MANUAL MNL-15.
 - CONCRETE COMPRESSIVE DESIGN STRENGTHS AND MIX PROPORTIONS SHALL BE AS OUTLINED BELOW. MIX PROPORTIONS AND DESIGNS SHALL BE SUBMITTED FOR APPROVAL. LIMIT MAXIMUM WATER-SOLUBLE CHLORIDE ION CONTENT IN CONCRETE BY WEIGHT OF CEMENT FOR CAST-IN-PLACE CONCRETE AND 0.15 FOR INTERIOR CONCRETE.
- | CONCRETE USAGE | CONCRETE CLASS | COMPRESSIVE STRENGTH | MAX W/C/M RATIO | AIR |
|-------------------------|----------------|----------------------|-----------------|-------------|
| FOOTINGS AND WALLS | F0, S0, W0, C1 | 3,000 PSI AT 28 DAYS | 0.55 | 5% +/- 1.5% |
| INTERIOR SLABS ON GRADE | F0, S0, W0, C0 | 3,500 PSI AT 28 DAYS | 0.50 | < 3% |
| EXTERIOR SLABS ON GRADE | F3, S0, W0, C2 | 5,000 PSI AT 28 DAYS | 0.40 | 6% +/- 1.5% |
- ALL REINFORCING BARS SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO REQUIREMENTS OF ASTM SPEC. A615, GR. 60 (60,000 PSI MIN. YIELD).
 - ALL REINFORCING MARKED CONTINUOUS (CONT.) SHALL BE LAPPED 64 BAR DIAM. AT SPLICES AND CORNERS AND SHALL BE HOOKED OR EXTENDED 48 BAR DIAM. AT NONCONTINUOUS ENDS. TOP BARS SHALL BE LAPPED AT MIDSPAN. BOTTOM BARS SHALL BE LAPPED AT SUPPORTS.
 - REINFORCEMENT SHALL BE SECURELY TIED IN ITS PROPER PLACE BEFORE AND DURING CONCRETE PLACEMENT OPERATIONS USING APPROVED CHAIRS AND SPACERS AS REQUIRED.
 - SLABS ON GRADE SHALL BE PLACED OVER A 4 INCH BLOTTER COURSE, VAPOR RETARDER AND POROUS 8 INCH LAYER OF COMPACTED DRAINAGE FILL (MINIMUM), UNLESS OTHERWISE SHOWN ON PLANS. PROVIDE NO. 3 BARS AT 16 INCHES O.C. EACH WAY, PLACED 1 INCH FROM TOP OF SLABS IN ALL SLABS ON GRADE UNLESS OTHERWISE SHOWN. SLABS SHALL BE PLACED IN ALTERNATE STRIPS, EACH STRIP NOT TO EXCEED 40 FEET WIDE BY 160 FEET LONG. SAWCUT LENGTHS IN PANELS NOT TO EXCEED 20 FEET IN LENGTH OR WIDTH. JOINTS TO BE LOCATED TO CONFORM TO BAY SPACING WHENEVER POSSIBLE (AT COLUMN CENTERLINES, HALF BAYS, THIRD BAYS). SLAB PANEL LENGTH TO WIDTH RATIO NOT TO EXCEED 1.5.
 - THE CONCRETE CONTRACTOR SHALL INSTALL OR GIVE OTHER TRADES AMPLE OPPORTUNITY TO INSTALL ALL ANCHORS, BOLTS, PLATES, NAILERS, SLOTS, CHASES, PIPE SLEEVES, ETC., AS REQUIRED BY THESE TRADES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE SETTING SCREEDS AND FORMS.
 - FOUNDATION WALLS SHALL BE PLACED IN ALTERNATE LENGTHS. CONSTRUCTION OR CONTROL JOINTS SHALL BE PLACED NOT MORE THAN 60 FEET APART NOR MORE THAN 30 FEET FROM A CORNER. NO HORIZONTAL JOINTS SHALL BE PERMITTED EXCEPT AS SHOWN ON PLANS.
 - FOUNDATION WALLS SHALL BE BRACED UNTIL ADJOINING FLOOR CONSTRUCTION IS IN PLACE. FROST WALLS SHALL BE BACKFILLED EVENLY ON BOTH SIDES OR BRACED UNTIL ADJOINING CONSTRUCTION IS IN PLACE ON BOTH SIDES.
 - PROVIDE CLEARANCES FROM FACES OF CONCRETE TO REINFORCEMENT AS FOLLOWS: (UNLESS NOTED OTHERWISE)
 - CONCRETE CAST AGAINST EARTH: 3" (ALL BARS)
 - CONCRETE EXPOSED TO EARTH OR WEATHER
 - #6 AND LARGER: 2"
 - #5 AND SMALLER: 1-1/2"
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - SLABS, WALLS AND JOISTS: 3/4" (#11 AND SMALLER)
 - BEAMS AND COLUMNS (MAIN STEEL AND TIES): 1-1/2" (ALL BARS)
 - ALL CONCRETE SHALL BE CONSOLIDATED USING MECHANICAL VIBRATING EQUIPMENT.
 - FORMED CONCRETE NOT EXPOSED TO VIEW SHALL RECEIVE A ROUGH FORM FINISH; FORMED CONCRETE EXPOSED TO VIEW SHALL RECEIVE A SMOOTH FORM FINISH.
 - CONCRETE SLABS SHALL BE WET CURED, USE OF MEMBRANE-FORMING CURING COMPOUND IS PROHIBITED.
 - CONCRETE SLABS SHALL RECEIVE A TROWELED FINISH FOR INTERIOR CONCRETE AND A BROOM FINISH FOR EXTERIOR CONCRETE.
 - INTERIOR SLABS ON GRADE SHALL RECEIVE A PENETRATING FLOOR SEALER WHERE EXPOSED PER ARCHITECTURAL DRAWINGS. APPLY ASHFORD FORMULA BY CURECRETE, OR APPROVED EQUAL TO ALL EXPOSED CONCRETE SURFACES. IN STRICT COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS. COORDINATE EXPOSED SLAB AREAS WITH ARCHITECTURAL DRAWINGS.
 - TESTING: THE OWNER WILL EMPLOY A TESTING LABORATORY TO PERFORM TESTS FOR QUALITY CONTROL DURING PLACEMENT AS DIRECTED BY THE ARCHITECT/ENGINEER.
 - COMPRESSION TEST: ACI 318, PREPARE 4 CYLINDERS PER TEST SET FOR EACH COMPOSITE SAMPLE. (3) CYLINDERS SHALL BE TESTED AT 28 DAYS
 - AT LEAST ONCE A DAY.
 - AT LEAST ONCE FOR EACH 150 CUBIC YARDS OF CONCRETE
 - AT LEAST ONCE FOR EACH 5,000 SQUARE FEET OF SURFACE AREA FOR SLABS OR WALLS.

POST-INSTALLED ANCHORS:

- EXCEPT WHERE INDICATED ON THE DRAWINGS, POST-INSTALLED ANCHORS SHALL CONSIST OF THE FOLLOWING ANCHOR TYPES AS PROVIDED BY HILTI, INC.
 - REBAR DOWELING INTO CONCRETE
 - ADHESIVE ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE:
 - HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT AND VC 150/300 WITH CONTINUOUSLY DEFORMED REBAR PER ICC ESR-3187
 - BASES OF DESIGN INCLUDES THE FOLLOWING DESIGN PARAMETERS:
 - CRACKED CONCRETE
 - DRY CONCRETE
 - BASE MATERIAL TEMPERATURE OF 23-104 DEGREES FAHRENHEIT
 - ALLOWABLE WITH HAMMER-DRILL, HOLLOW DRILL BIT SYSTEM, AND CORE DRILLING METHODS
 - CURRENT ICC-ES REPORT WITH APPROVAL FOR DEVELOPMENT OF BAR USING ACI PROVISIONS FOR EMBEDMENT DEPTHS GREATER THAN 20 BAR DIAMETERS
 - ANCHORAGE TO CONCRETE
 - ADHESIVE ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE:
 - HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT AND VC 150/300 WITH HILTI HAS THREADED ROD PER ICC ESR-3187
 - BASES OF DESIGN INCLUDES THE FOLLOWING DESIGN PARAMETERS:
 - CRACKED CONCRETE
 - DRY CONCRETE
 - BASE MATERIAL TEMPERATURE OF 23-104 DEGREES FAHRENHEIT
 - ALLOWABLE WITH HAMMER-DRILL, HOLLOW DRILL BIT SYSTEM, AND CORE DRILLING METHODS
 - ANCHORAGE TO HOLLOW / MULTI-WYTHE MASONRY
 - ADHESIVE ANCHORS USE:
 - HILTI HIT-HY 270 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT AND VC 150/300 PER ICC ESR-4143
 - STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-V-36 CONTINUOUSLY THREADED ROD OR CONTINUOUSLY DEFORMED STEEL REBAR UNLESS OTHERWISE NOTED IN THE DETAILS
 - THE APPROPRIATE SIZE SCREEN TUBE SHALL BE USED PER ADHESIVE MANUFACTURER'S RECOMMENDATION
- ANCHOR CAPACITY USED IN DESIGN SHALL BE BASED ON THE TECHNICAL DATA PUBLISHED BY HILTI OR SUCH OTHER METHOD AS APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. SUBSTITUTION REQUESTS FOR ALTERNATE PRODUCTS MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO USE. CONTRACTOR SHALL PROVIDE CALCULATIONS THAT HAVE BEEN SEALED BY ANOTHER LICENSED ENGINEER DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF MEETING THE PERFORMANCE OF THE SPECIFIED PRODUCT. SUBSTITUTIONS WILL BE EVALUATED BY THEIR HAVING AN ICC ESR SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE FOR SEISMIC USES, LOAD RESISTANCE, INSTALLATION CATEGORY, AND AVAILABILITY OF COMPREHENSIVE INSTALLATION INSTRUCTIONS. ADHESIVE ANCHOR EVALUATION WILL ALSO CONSIDER CREEP, IN-SERVICE TEMPERATURE, INSTALLATION TEMPERATURE, MOISTURE CONDITION OF CONCRETE, AND DRILLING METHODS.
- INSTALL ANCHORS PER THE MANUFACTURER PRINTED INSTALLATION INSTRUCTIONS (MPII), AS INCLUDED IN THE ANCHOR PACKAGING.
- ADHESIVE ANCHORS IN UPWARDLY-INCLINED ORIENTATION AND/OR AT EMBEDMENT DEPTHS GREATER THAN 10 INCHES MUST BE INSTALLED USING THE HILTI PROFI PISTON PLUG SYSTEM.
- ANCHOR CAPACITY IS DEPENDENT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHORS TO EDGE OF CONCRETE. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE CLEARANCES INDICATED ON THE DRAWINGS.
- EXISTING REINFORCING BARS IN THE CONCRETE STRUCTURE MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS. UNLESS NOTED ON THE DRAWINGS THAT THE BARS CAN BE CUT, THE CONTRACTOR SHALL REVIEW THE EXISTING STRUCTURAL DRAWINGS AND SHALL UNDERTAKE TO LOCATE THE POSITION OF THE REINFORCING BARS AT THE LOCATIONS OF THE CONCRETE ANCHORS BY HILTI FERROSCAN, GPR, X-RAY OR OTHER MEANS.

STEEL NOTES:

- ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) AND TO THE REQUIREMENTS OF LOCAL BUILDING CODES.
- STRUCTURAL STEEL SHALL BE AS FOLLOWS:
 - W AND WT SHAPES: ASTM A992
 - OTHER SHAPES, BARS AND PLATES: ASTM A36
 - PIPE: ASTM A 53, GRADE B OR ASTM A501
- SHOP CONNECTIONS MAY BE WELDED OR BOLTED. FIELD CONNECTIONS SHALL BE BOLTED UNLESS SPECIFICALLY SHOWN AS WELDED. BOLTS SHALL CONFORM TO ASTM A325. MINIMUM BOLT DIAMETER SHALL BE 3/4 INCH. ALL CONNECTIONS SHALL BE TYPE 2 ANGLE FRAMING CONNECTIONS UNLESS SHOWN OTHERWISE.
- ALL WELDING AND DETAILS SHALL BE AS RECOMMENDED BY THE AISC AND SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WELDING SOCIETY. MINIMUM SIZE OF FILLET WELDS TO BE 3/16 INCH. MINIMUM RETURN SHALL BE 1/2 INCH.
- THE STRUCTURAL STEEL CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STEEL FRAME IN ALIGNMENT.
- SHOP PAINTING SHALL CONSIST OF SSPC-3 (POWER TOOL CLEANING) SURFACE PREPARATION AND MODIFIED ALKYD TYPE PRIMER APPLIED AT 2.0 TO 3.5 MILS DFT.

WOOD FRAMING NOTES:

- ALL WOOD CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" BY THE NATIONAL FOREST PRODUCTS ASSOCIATION AND TO LOCAL BUILDING CODES.
- ALL WOOD MEMBERS SHALL BE SPRUCE-PINE-FIR NO. 2 GRADE AND BETTER EXCEPT WHERE NOTED AS FIR ON PLANS. WOOD MEMBERS NOTED AS FIR SHALL BE NO. 2 AND BETTER DOUGLAS FIR LARCH.
- ALL PRESERVATIVE TREATED WOOD MEMBERS SHALL BE NO. 2 GRADE AND BETTER SOUTHERN PINE. ALL METAL CONNECTORS, ANCHORS AND FASTENERS USED FOR PRESERVATIVE TREATED WOOD SHALL BE STAINLESS OR GALVANIZED AS RECOMMENDED BY THE CONNECTOR, ANCHOR OR FASTENER MANUFACTURER.
- SECURELY ATTACH WOOD FRAMING BY FASTENING AS INDICATED. LOCATIONS NOT SPECIFIED TO BE ATTACHED FOLLOWING ICC INTERNATIONAL BUILDING CODE CHAPTER 23 TABLE TITLED "FASTENING SCHEDULE."
- CONTINUITY IN FRAMING SHALL BE PROVIDED AT ALL BEARING WALLS IN ORDER TO TRANSFER THE LOADS TO THE FOUNDATION OR OTHER FRAMING. FULL DEPTH BLOCKING SHALL BE USED IN THE FLOOR FRAMING UNDER WOOD POST OR BUILT-UP STUDS TO PROVIDE FULL BEARING THROUGH FRAMING. DOUBLE JOIST SHALL BE USED UNDER ALL PARTITIONS PARALLEL TO JOISTS.
- ALL WOOD HEADERS AT BEARING WALLS SHALL BE A MINIMUM OF 2-2X8 UNLESS OTHERWISE NOTED ON PLANS. WOOD MEMBERS USED FOR HEADERS OR BUILT-UP BEAMS SHALL NOT HAVE CHECKS OR SPLITS LONGER THAN THE WIDE FACE WIDTH.
- JOIST HANGERS USED FOR FLUSH FRAMING SHALL BE SIMPSON LUS-SERIES OR APPROVED EQUAL.
- LAMINATED STRAND LUMBER (LSL), LAMINATED VENEER LUMBER (LVL) AND PARALLEL STRAND LUMBER (PSL) DESIGN, FABRICATION AND CONSTRUCTION SHALL CONFORM TO CODE EVALUATION REPORT NUMBER ESR-1387. ENGINEERED WOOD PRODUCTS: LSL, LVL AND PSL SHALL MEET OR EXCEED ALLOWABLE DESIGN STRESSES AS FOLLOWS:
 - LAMINATED STRAND LUMBER (LSL)
 - BENDING (FB): 2,325 PSI
 - SHEAR (FV): 310 PSI
 - MODULUS OF ELASTICITY (E): 1,500,000 PSI
 - LAMINATED VENEER LUMBER (LVL)
 - BENDING (FB): 2,600 PSI
 - SHEAR (FV): 285 PSI
 - MODULUS OF ELASTICITY (E): 2,000,000 PSI
 - PARALLEL STRAND LUMBER (PSL)
 - BENDING (FB): 2,400 PSI
 - SHEAR (FV): 190 PSI
 - MODULUS OF ELASTICITY (E): 1,800,000 PSI
- PLYWOOD SHEATHING SHALL BE APA RATED SHEATHING EXPOSURE 1. ALL PLYWOOD WHICH HAS ANY EDGE OR SURFACE PERMANENTLY EXPOSED TO THE WEATHER SHALL BE EXTERIOR TYPE. PANEL THICKNESS SHALL BE AS SHOWN ON PLANS AND MINIMUM PANEL SPAN RATING SHALL BE 4/2/20 FOR ROOFS AND 3/2/16 FOR SIDEWALLS. PLYWOOD SHEATHING FOR FLOORS SHALL BE APA RATED STURD-I-FLOOR 24 O.C. INSTALL SHEATHING WITH STRENGTH DIRECTION PERPENDICULAR TO SUPPORTING FRAMING. ALL PLYWOOD ROOF SHEATHING SHALL HAVE PLYCLIPS AT MIDSPAN. APPLICATIONS SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION.
- ALL STEEL BEAMS SHALL BE ADEQUATELY FASTENED OR BLOCKED TIGHT TO THE WOOD FRAME CONSTRUCTION IN ORDER TO PROVIDE LATERAL SUPPORT TO THE TOP FLANGE AT 24 INCHES ON CENTER. STEEL COLUMNS SHALL BE BLOCKED TIGHT IN WOOD FRAMING AND ANCHORED AT THE TOP BY 2-5/8 INCH BOLTS OR LAG BOLTS.

DESIGN CRITERIA:

- CODES:
 - IBC 2015 AND ASCE 7-10, AS AMENDED BY 2015 VERMONT FIRE AND BUILDING SAFETY CODE
- BUILDING OR STRUCTURE RISK CATEGORY: II
- ROOF LOADS:
 - DEAD LOAD: 16 PSF W/O STEEL WEIGHT
 - ROOF TOP UNITS (RTU): SEE PLANS
 - GROUND SNOW LOAD (Pg): 40 PSF
 - FLAT ROOF SNOW LOAD (Pf): 40 PSF, PLUS DRIFT AS REQUIRED
 - SLOPED ROOF SNOW LOAD (Ps): Cs x Pf
 - EXPOSURE FACTOR (Ce): 1.0
 - THERMAL FACTOR (Ct): 1.1
 - IMPORTANCE FACTOR (Is): 1.0
- FLOOR LOADS:
 - DEAD LOAD: 16 PSF W/O STEEL WEIGHT
 - LIVE LOAD
 - OFFICE: 65 PSF
 - CORRIDOR 1ST FLOOR: 100 PSF
 - CORRIDOR 2ND FLOOR: 80 PSF
- STAIR LOADS:
 - DEAD LOAD: 50 PSF
 - LIVE LOAD: 100 PSF
- WIND LOAD:
 - ULTIMATE WIND SPEED (Vult): 115 MPH
 - NOMINAL DESIGN WIND SPEED (Vasd): 89 MPH
 - IMPORTANCE FACTOR (Iw): 1.0
 - WIND EXPOSURE: B
 - INT. PRESSURE COEFFICIENT (GCpi): +/- 0.18
 - COMPONENTS/CLADDING: ASCE 7-10
- SEISMIC LOAD:
 - IMPORTANCE FACTOR (Ie): 1.0
 - MAPPED SPECTRAL RESPONSE COEFFICIENTS: Ss = 0.339 AND S1 = 0.104 D (ASSUMED PER IBC 1613.3.5)
 - CITE CLASS: D (Sds = 0.346 AND Sd1 = 0.165)
 - SPECTRAL RESPONSE COEFFICIENTS: C
 - SEISMIC DESIGN CATEGORY: C
 - ANALYSIS PROCEDURE: NOT REQUIRED PER IBC 807.5 EXCEPTION



6 GREEN TREE DR
SO. BURLINGTON, VT 05403
TEL: (802) 878-7661
www.dubois-king.com

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NEW HAMPSHIRE
MAIN AND NEW YORK
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project name:
LINCOLN HALL
project address:
2 LINCOLN ST
05452
ESSEX JUNCTION, VT

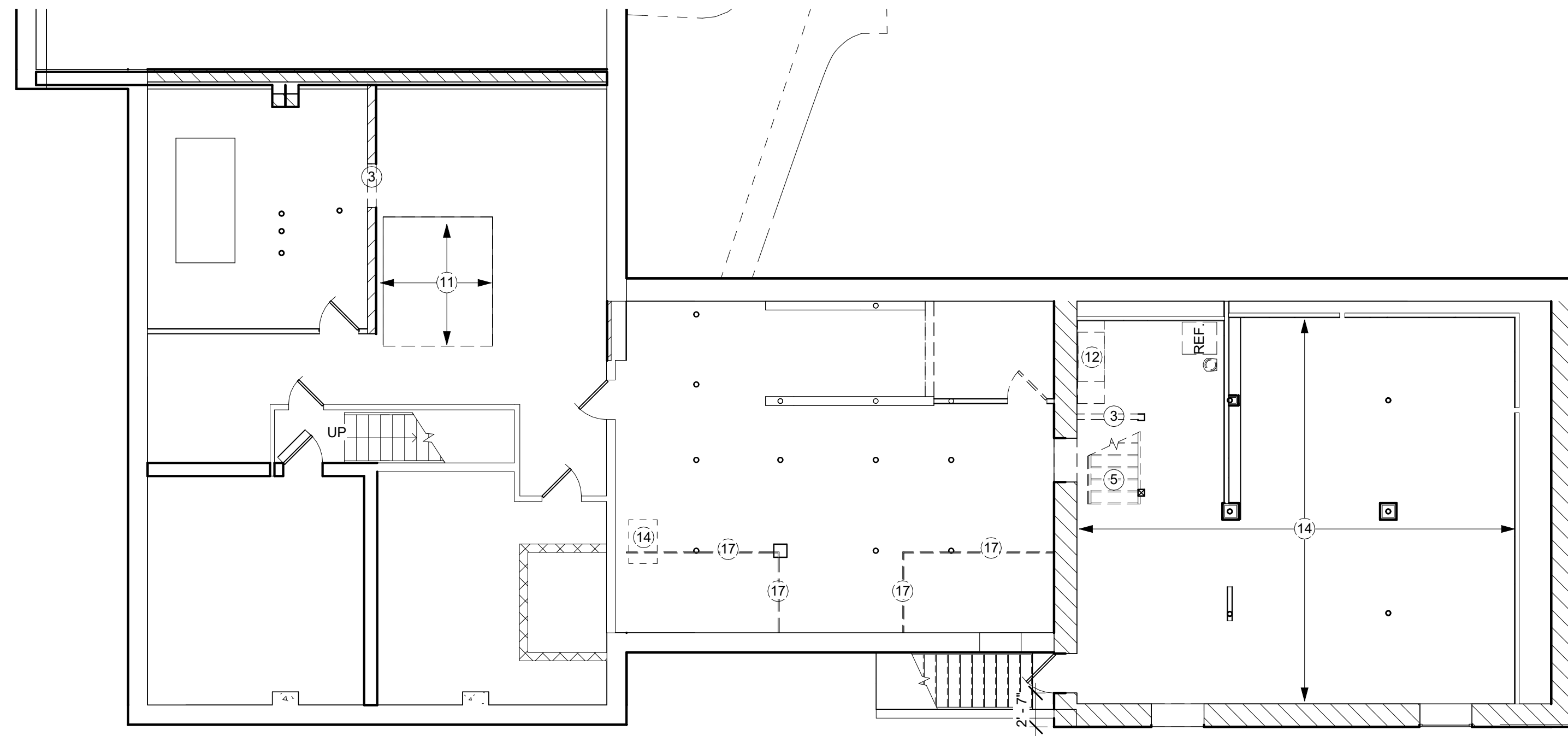
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project no. 21-1457
checked by:
drawn by: LF
proj. date: PROGRESS
sheet date: 02/05/24

No	Date	Revisions

sheet title:
STRUCTURAL NOTES

sheet no.
S-8

50% CD SET - NOT FOR CONSTRUCTION



BASEMENT EXISTING / DEMO PLAN

1/8" = 1'-0"



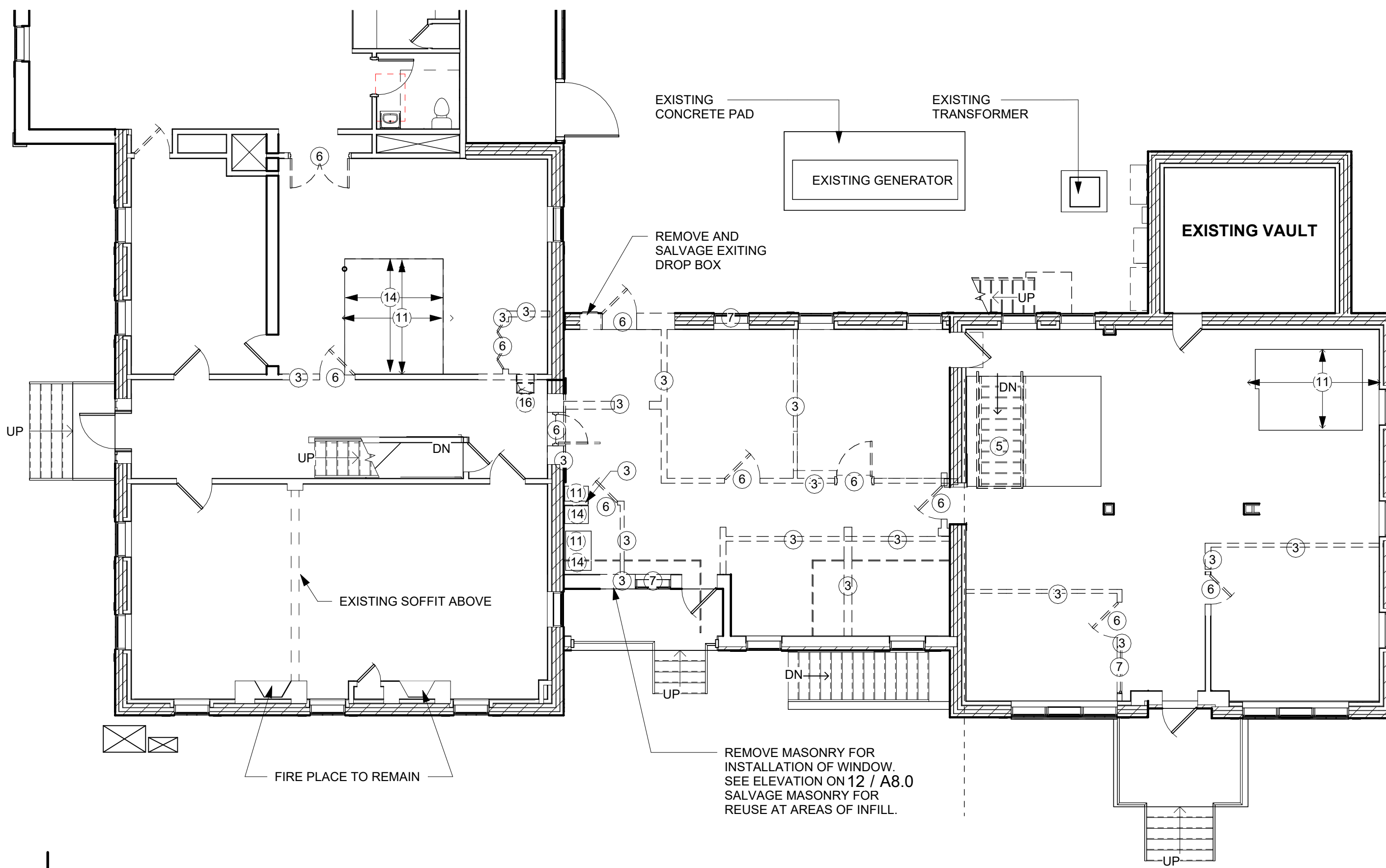
DEMOLITION NOTES

1. DEMOLISH EXTERIOR STAIR
2. DEMOLISH SLAB
3. DEMOLISH WALL
4. DEMOLISH ROOF
5. DEMOLISH STAIR AND HANDRAIL
6. DEMOLISH DOOR
7. SALVAGE WINDOW TO OWNER
8. DEMOLISH MECHANICAL
9. DEMOLISH ELECTRICAL
10. DEMOLISH PLUMBING FIXTURE, AND ALL PLUMBING FIXTURE FITUP
11. DEMOLISH FLOOR
12. DEMOLISH CASEWORK
13. SALVAGE EXTERIOR LIGHT FIXTURE FOR REUSE
14. DEMOLISH CEILING, SEE STRUCTURAL
15. DEMOLISH FLOOR SEE STRUCTURAL
16. SALVAGE DRINKING FOUNTAIN FOR REUSE
17. DEMOLISH WIRE WALL MESH AND STUDS
18. EXISTING WINDOW TO BE REMOVED AND SALVAGE TO OWNER

NOTE:
 SEE CIVIL FOR CIVIL DEMOLITION.
 SEE STRUCTURAL FOR STRUCTURAL DEMOLITION
 SEE ELECTRICAL FOR ELECTRICAL DEMO
 SEE PLUMBING FOR PLUMBING DEMOLITION.

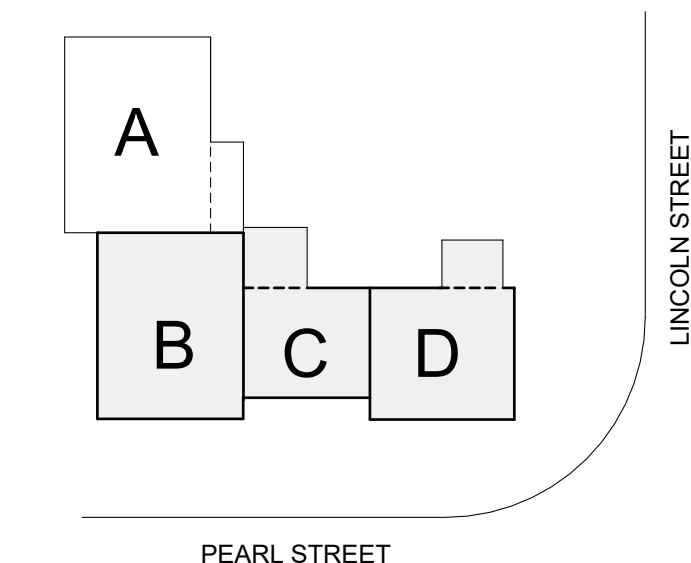
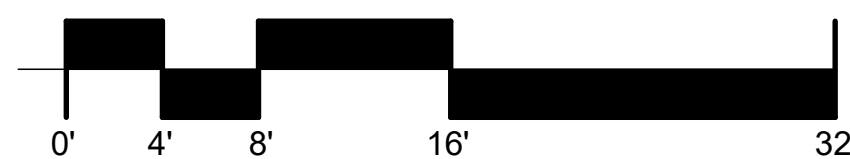
DRAWING PHASE KEY

	NEW CONSTRUCTION
	DEMOLITION
	EXISTING



FIRST FLOOR EXISTING / DEMO PLAN

1/8" = 1'-0"



KEY PLAN

50% CD SET- NOT FOR CONSTRUCTION

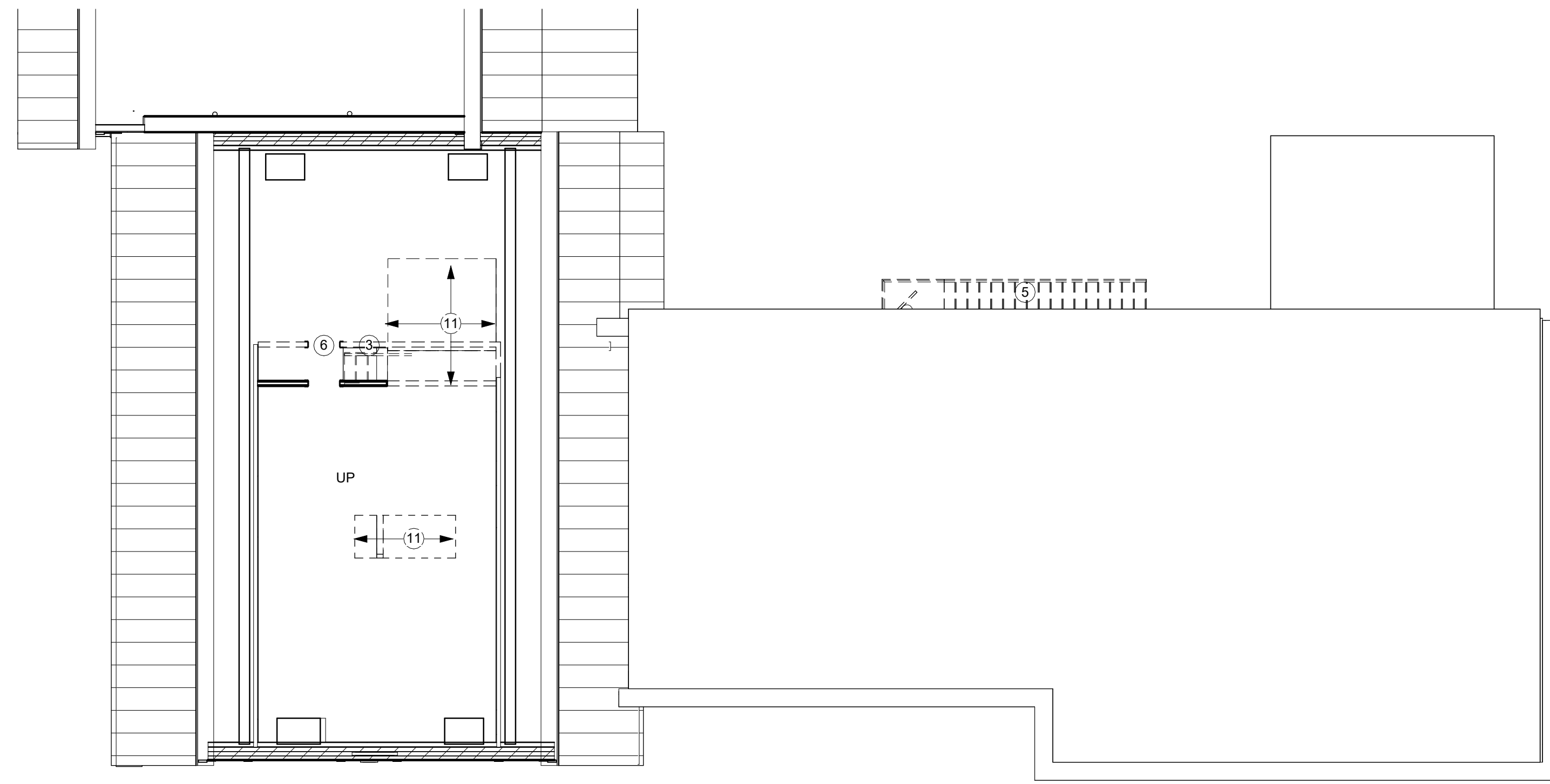
SCOTT + PARTNERS
 ARCHITECTURE
 7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
 P 802.879.5193 | F 802.872.2764 | SCOTTPARTNERS.COM

project name:
LINCOLN HALL
 project address:
 2 LINCOLN STREET
 ESSEX JUNCTION, VT
 05452

scale:	As indicated	
project no.	21-1457	
checked by:	JA	
drawn by:	LMW, TN	
proj. date:	2024	
sheet date:	02/15/2024	
No	Date	Revisions

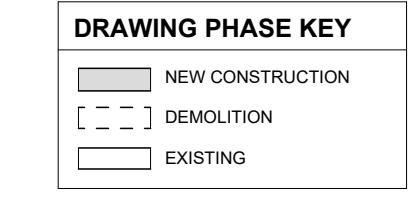
sheet title:
BASEMENT + FIRST FLOOR/ DEMO PLAN

sheet no.
A1.0



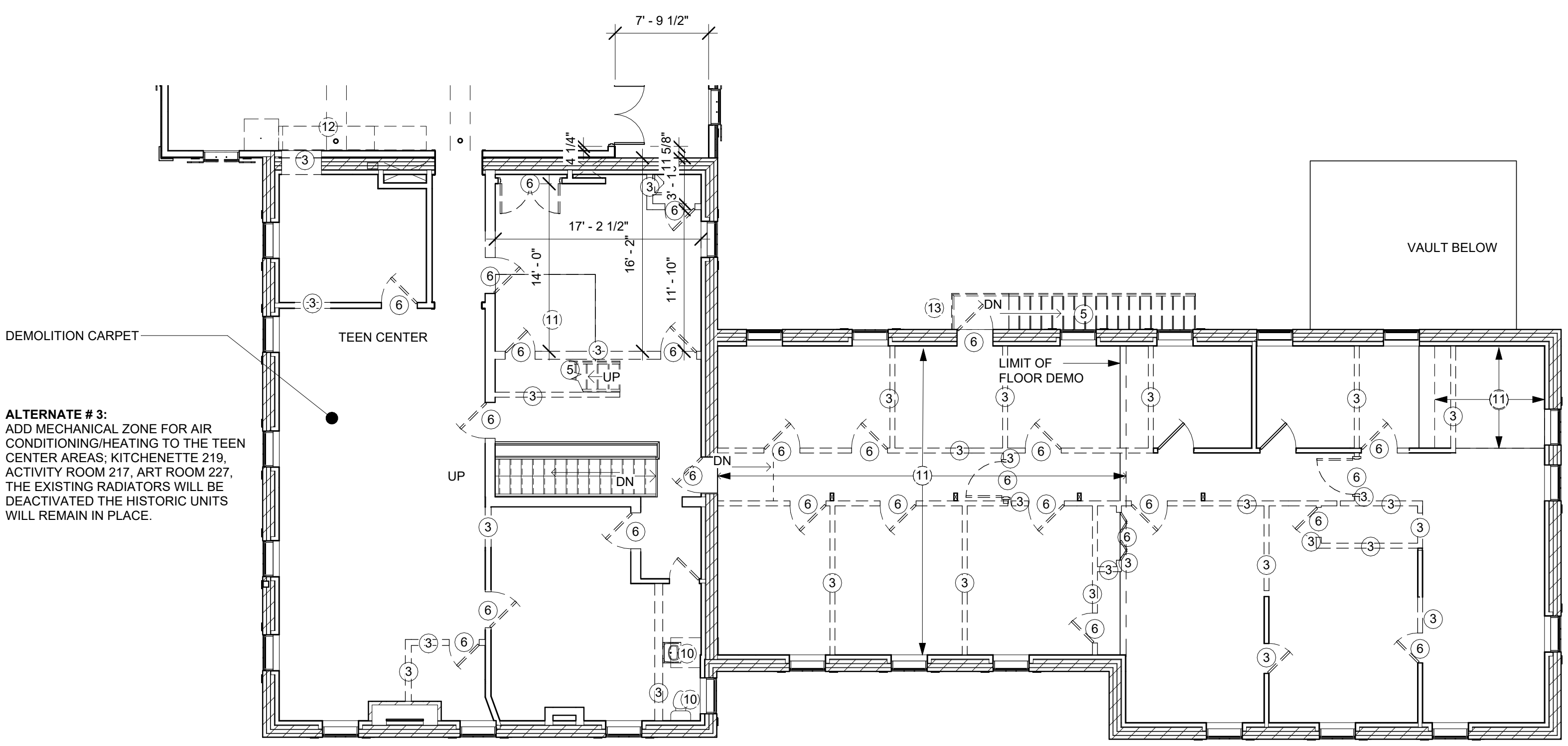
ATTIC EXISTING / DEMO PLAN
1/8" = 1'-0"

- DEMOLITION NOTES**
1. DEMOLISH EXTERIOR STAIR
 2. DEMOLISH SLAB
 3. DEMOLISH WALL
 4. DEMOLISH ROOF
 5. DEMOLISH STAIR AND HANDRAIL
 6. DEMOLISH DOOR
 7. SALVAGE WINDOW TO OWNER
 8. DEMOLISH MECHANICAL
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- NOTE:**
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SEE ELECTRICAL FOR ELECTRICAL DEMO
SEE PLUMBING FOR PLUMBING DEMOLITION.

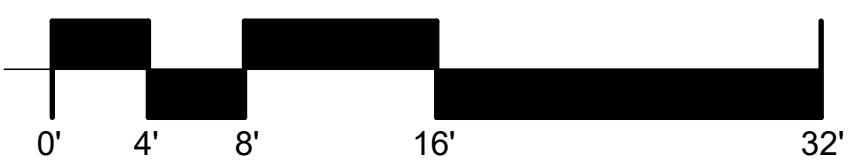


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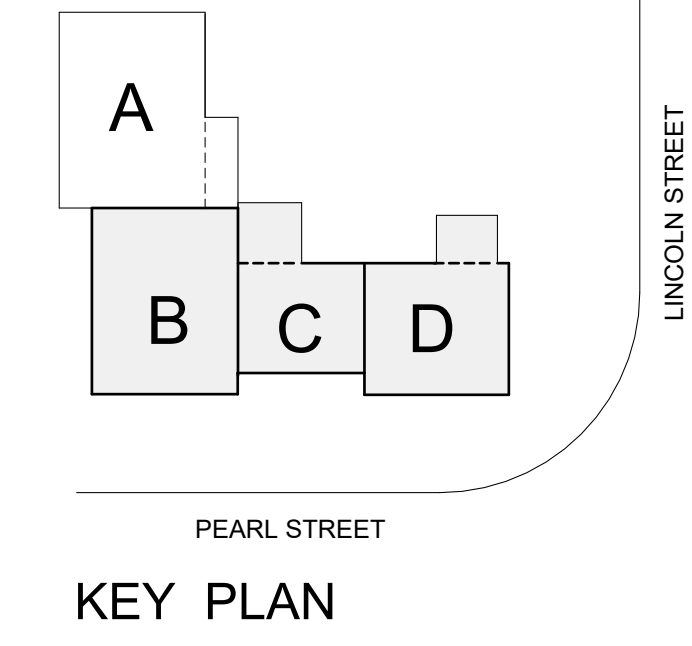
7 CARMICHAEL ST. ESSEX, JUNCTION, VT 05452
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ALTERNATE # 3:
ADD MECHANICAL ZONE FOR AIR
CONDITIONING/HEATING TO THE TEEN
CENTER AREAS, KITCHENETTE 219,
ACTIVITY ROOM 217, ART ROOM 227.
THE EXISTING RADIATORS WILL BE
DEACTIVATED THE HISTORIC UNITS
WILL REMAIN IN PLACE.



SECOND FLOOR EXISTING/ DEMO PLAN
1/8" = 1'-0"



50% CD SET- NOT FOR
CONSTRUCTION

project name:
LINCOLN HALL

project address:
2 LINCOLN STREET
ESSEX JUNCTION, VT
05452

scale: As indicated

project no. 21-1457

checked by: JA

drawn by: LMW, TN

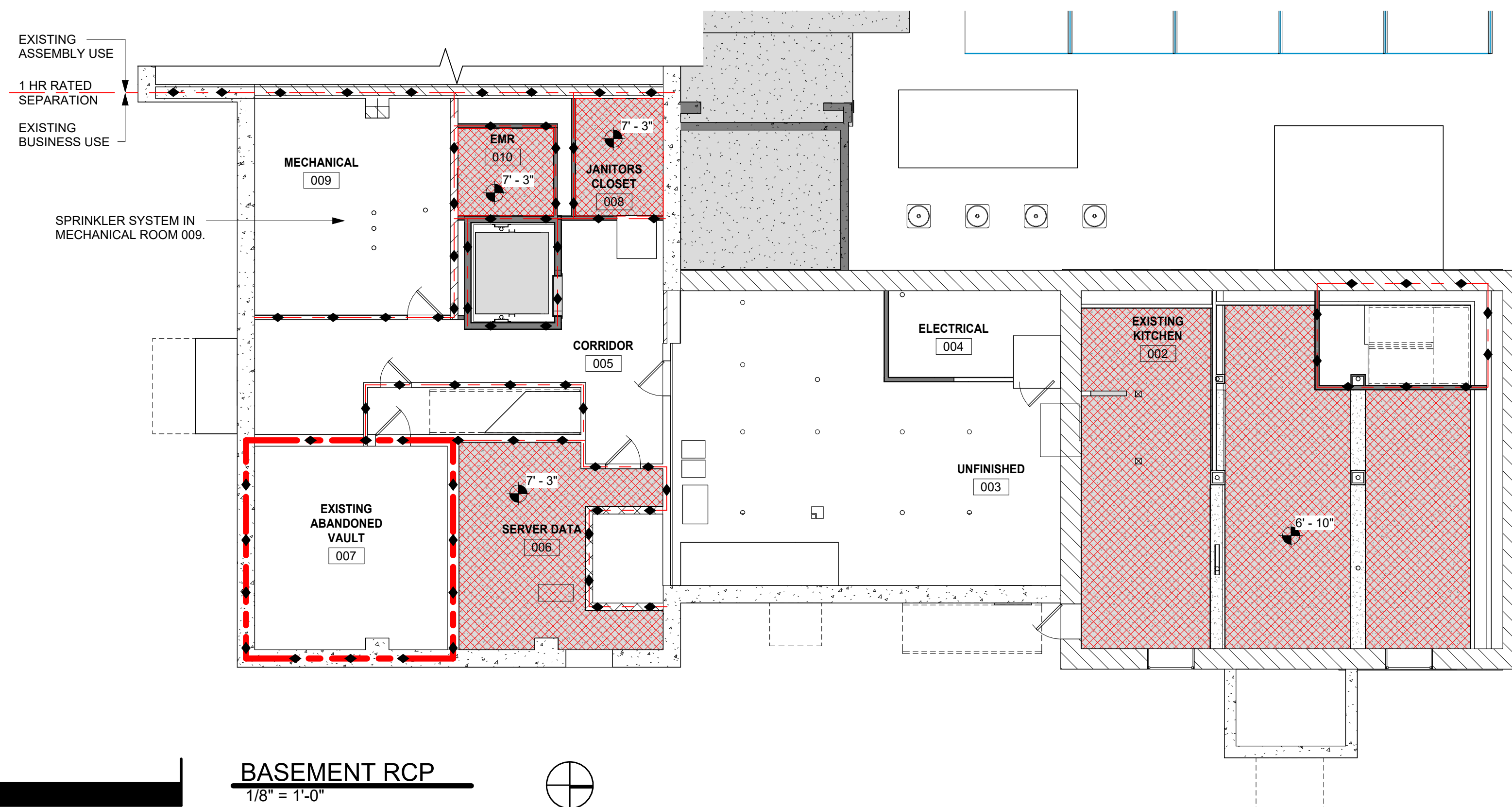
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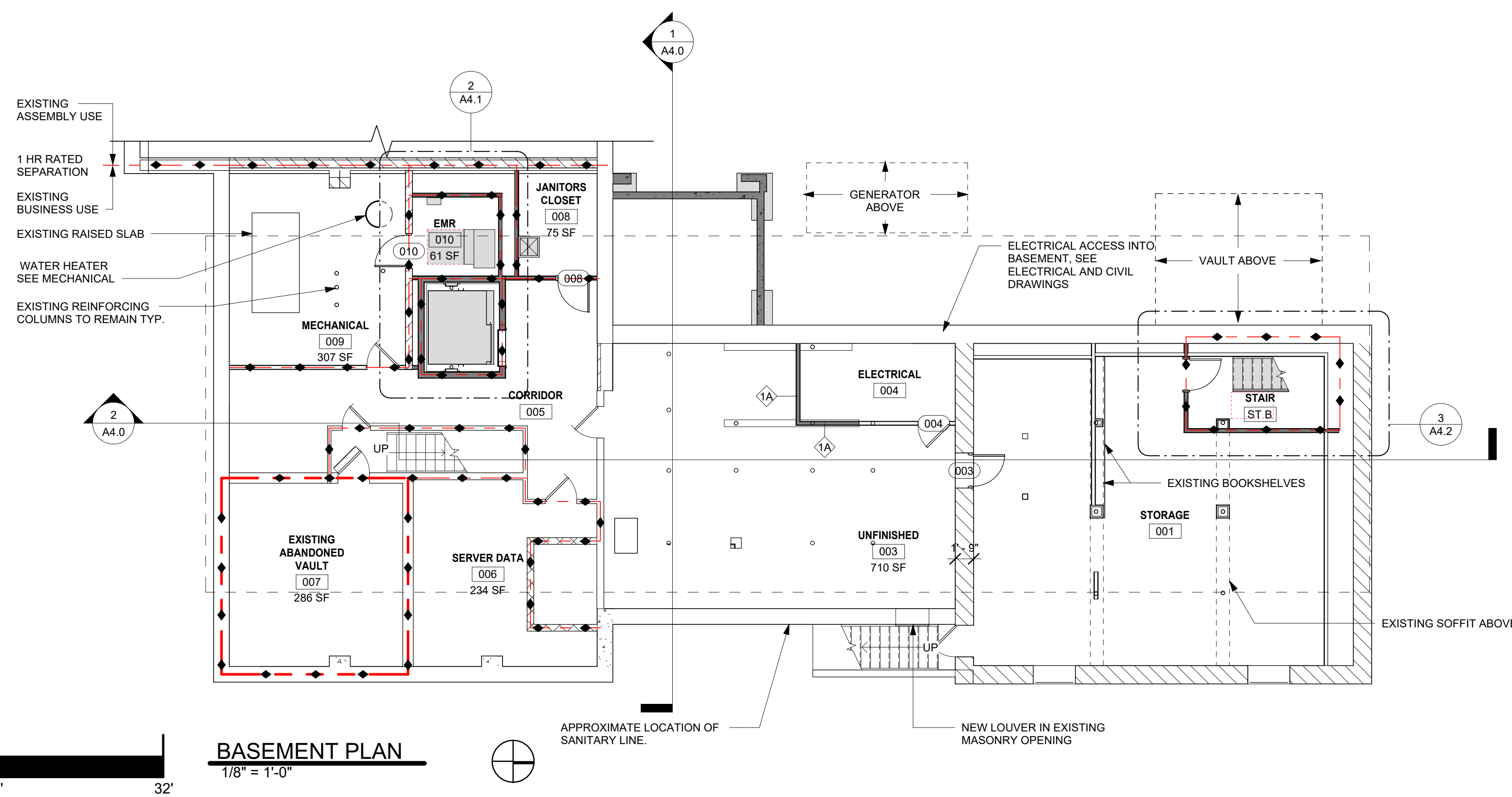
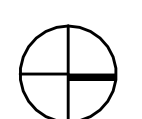
No	Date	Revisions

sheet title:
**SECOND FLOOR +
ATTIC
EXISTING/ DEMO
PLANS**

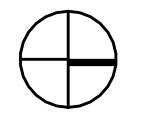
sheet no.
A1.1



BASEMENT RCP
1/8" = 1'-0"



BASEMENT PLAN
1/8" = 1'-0"



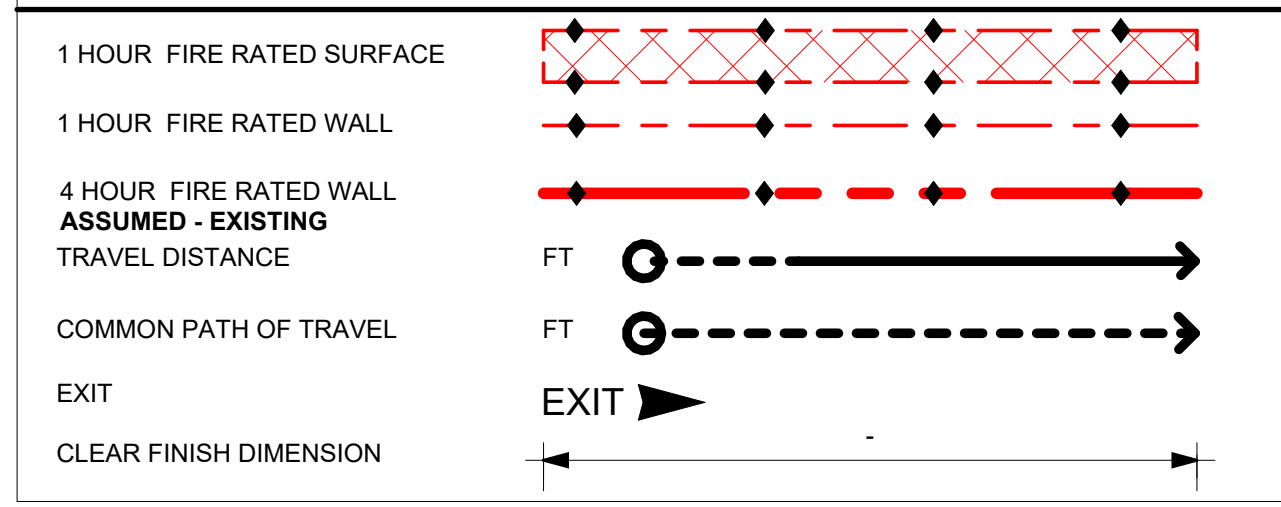
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- THE EXISTING MINI- SPLIT SERVING THE LARGE CONFERENCE ROOM TO REMAIN.

CEILING LEGEND

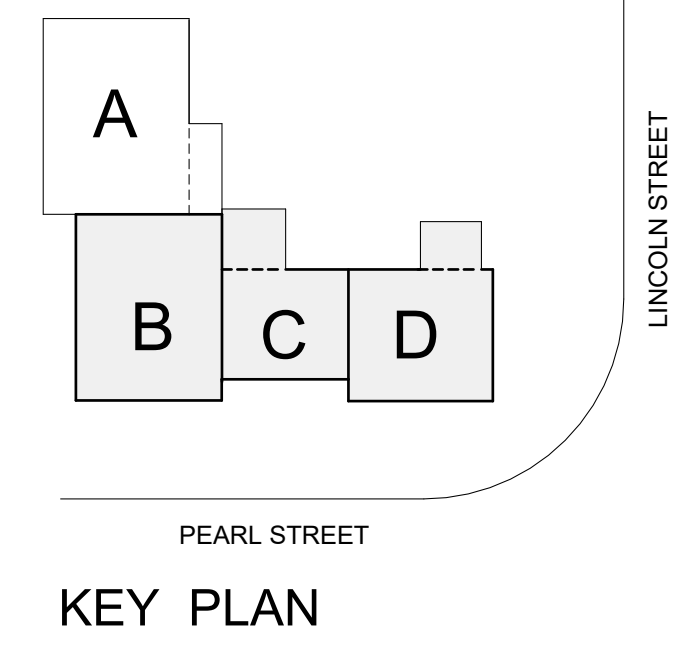
	EXISTING CEILING TO REMAIN		VAULTED WOOD CEILING
	GWB		NO CEILING
	2 LAYERS OF GWB, 1 HOUR RATED		DOMED CEILING LIGHT
	2X2 ACT TILE		2X2 TROFFER LIGHT

LIFE SAFETY DESIGNATION



DRAWING PHASE KEY

	NEW CONSTRUCTION
	DEMOLITION
	EXISTING



50% CD SET- NOT FOR CONSTRUCTION

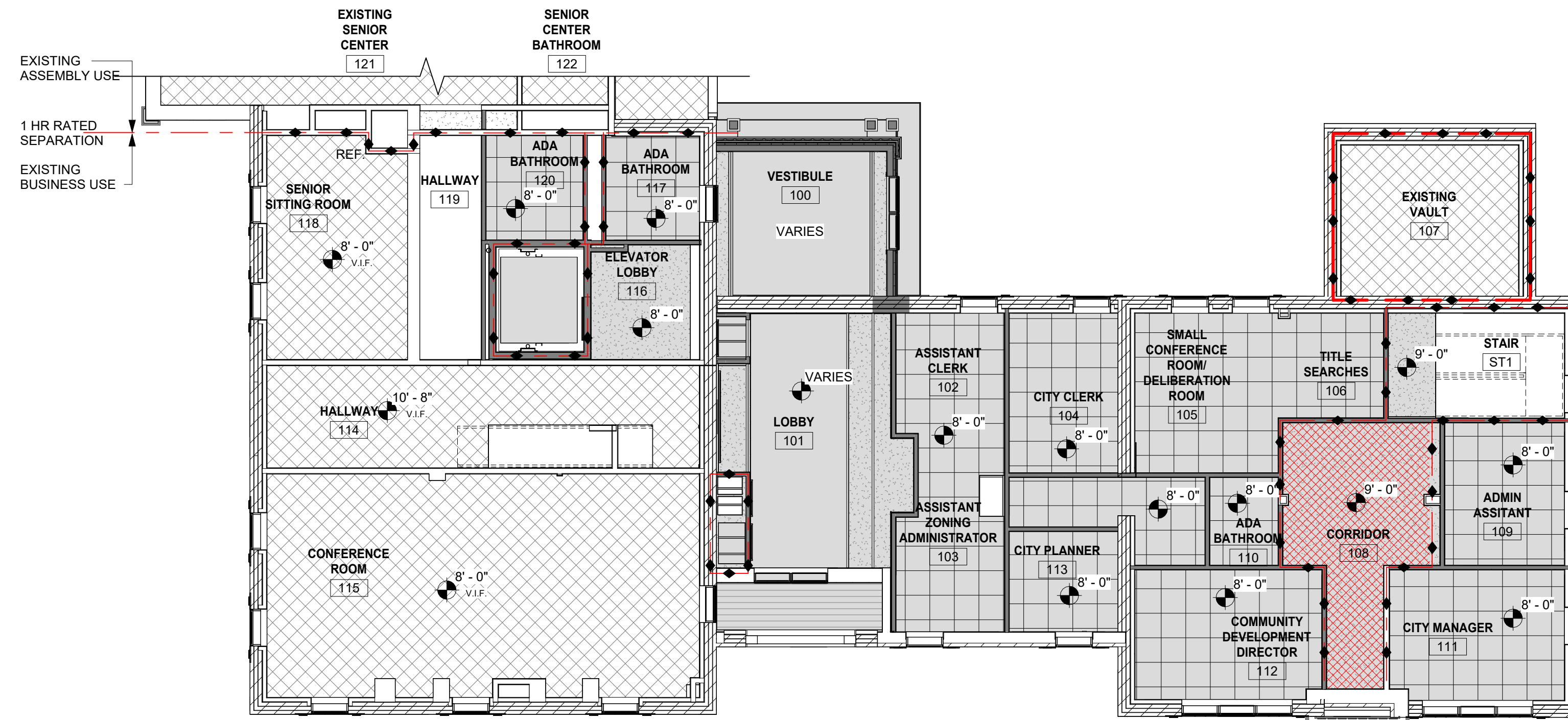
SCOTT + PARTNERS
ARCHITECTURE
7 CARMICHAEL ST. ESSEX, JUNCTION, VT 05452
P. 802.879.5193 | F. 802.872.2764 | SCOTTPARTNERS.COM

project name: **LINCOLN HALL**
project address: 2 LINCOLN STREET
ESSEX JUNCTION, VT 05452

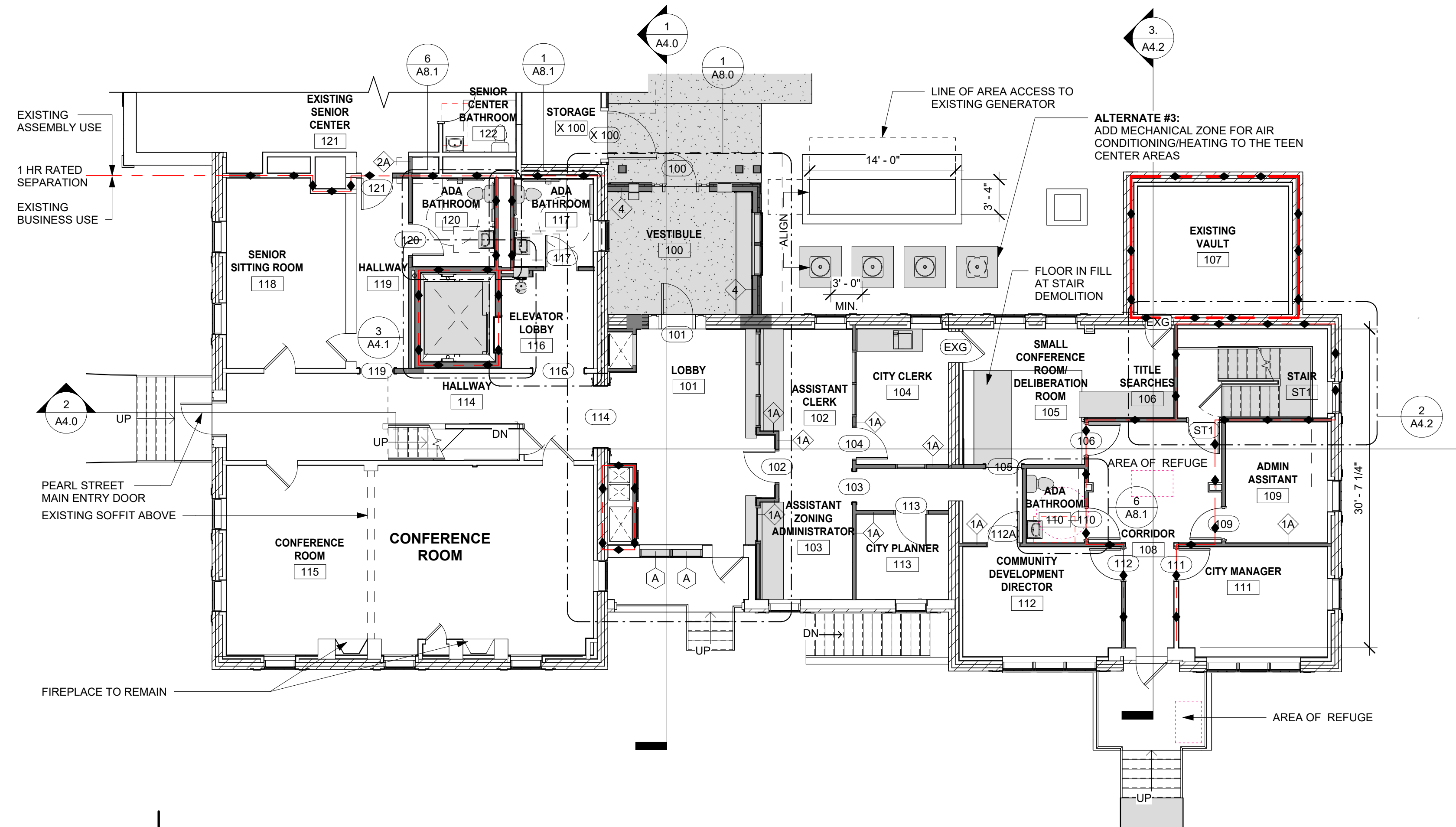
scale: As indicated
project no. 21-1457
checked by: JA
drawn by: LMW, TN
proj. date: 2024
sheet date: 02/15/2024

sheet title: **BASEMENT PLAN**

sheet no. **A2.0**



0' 4' 8' 16' 32' **FIRST FLOOR RCP**
1/8" = 1'-0"



0' 4' 8' 16' 32' **PROPOSED FIRST FLOOR PLAN**
1/8" = 1'-0"

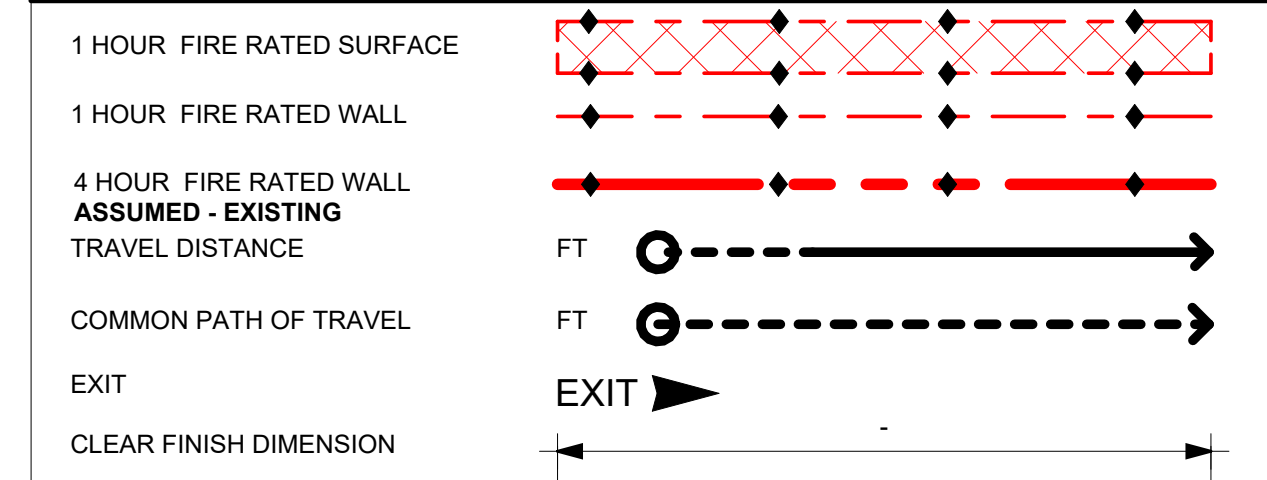
GENERAL NOTES

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- THE EXISTING MINI- SPLIT SERVING THE LARGE CONFERENCE ROOM TO REMAIN.

CEILING LEGEND

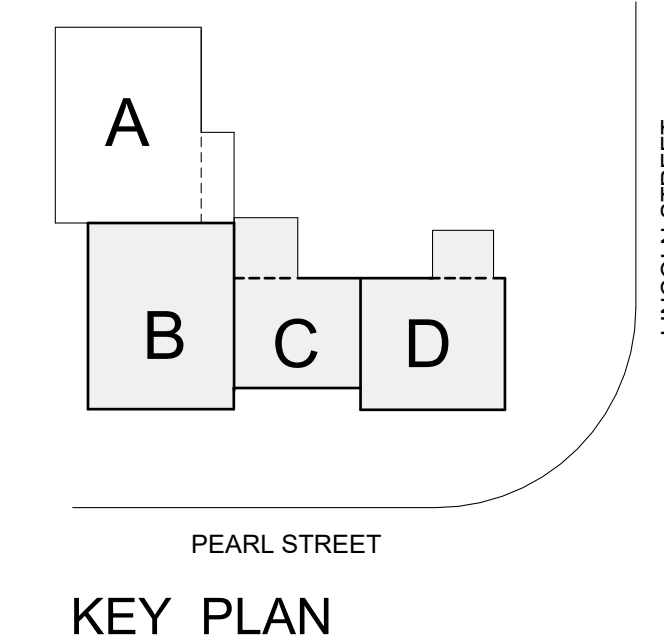
	EXISTING CEILING TO REMAIN		VAULTED WOOD CEILING
	GWB		NO CEILING
	2 LAYERS OF GWB, 1 HOUR RATED		DOMED CEILING LIGHT
	2X2 ACT TILE		2X2 TROFFER LIGHT

LIFE SAFETY DESIGNATION



DRAWING PHASE KEY

	NEW CONSTRUCTION
	DEMOLITION
	EXISTING



50% CD SET- NOT FOR CONSTRUCTION

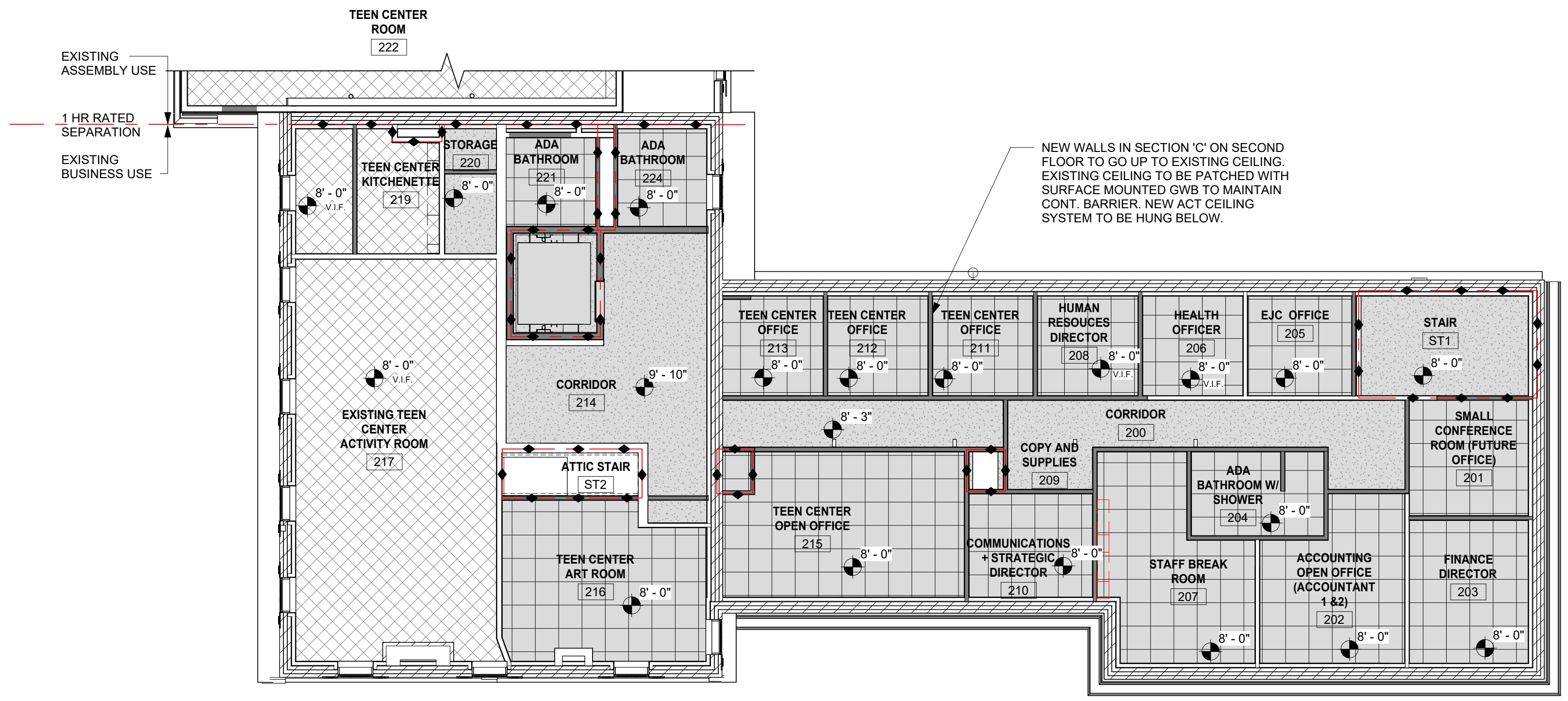


project name: **LINCOLN HALL**
project address: 2 LINCOLN STREET
ESSEX JUNCTION, VT 05452

scale:	As indicated	
project no.	21-1457	
checked by:	JA	
drawn by:	LMW, TN	
proj. date:	2024	
sheet date:	02/15/2024	
No	Date	Revisions

sheet title:
FIRST FLOOR PLAN

sheet no.
A2.1

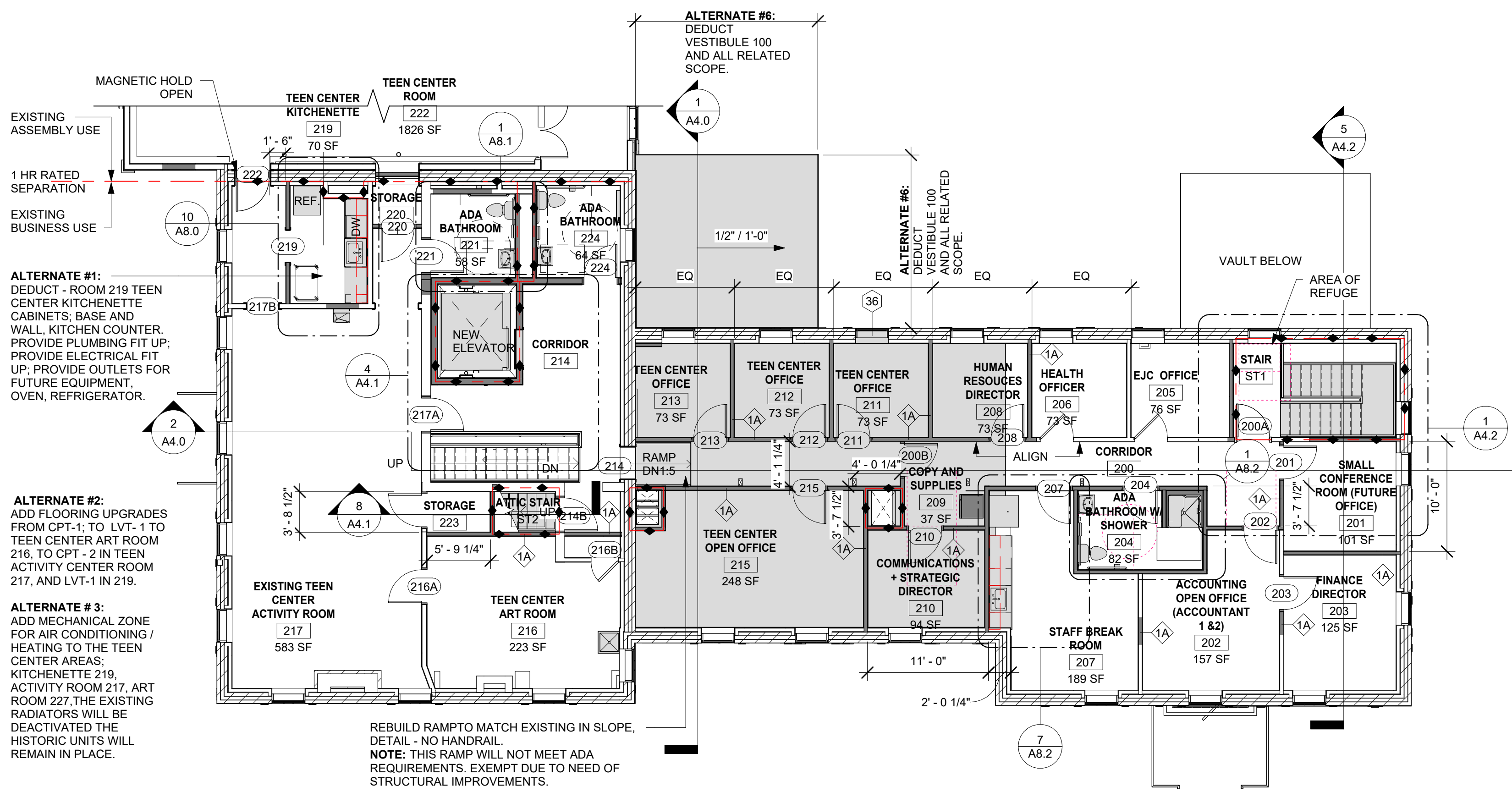


SECOND FLOOR RCP
1/8" = 1'-0"

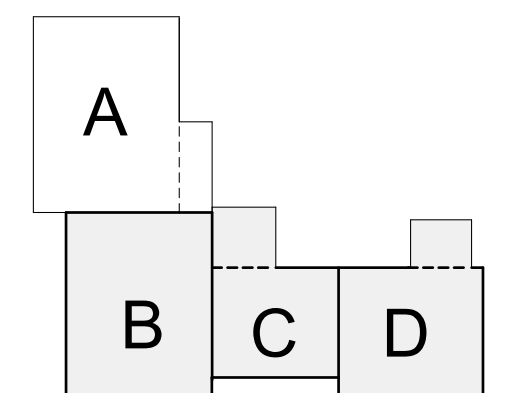
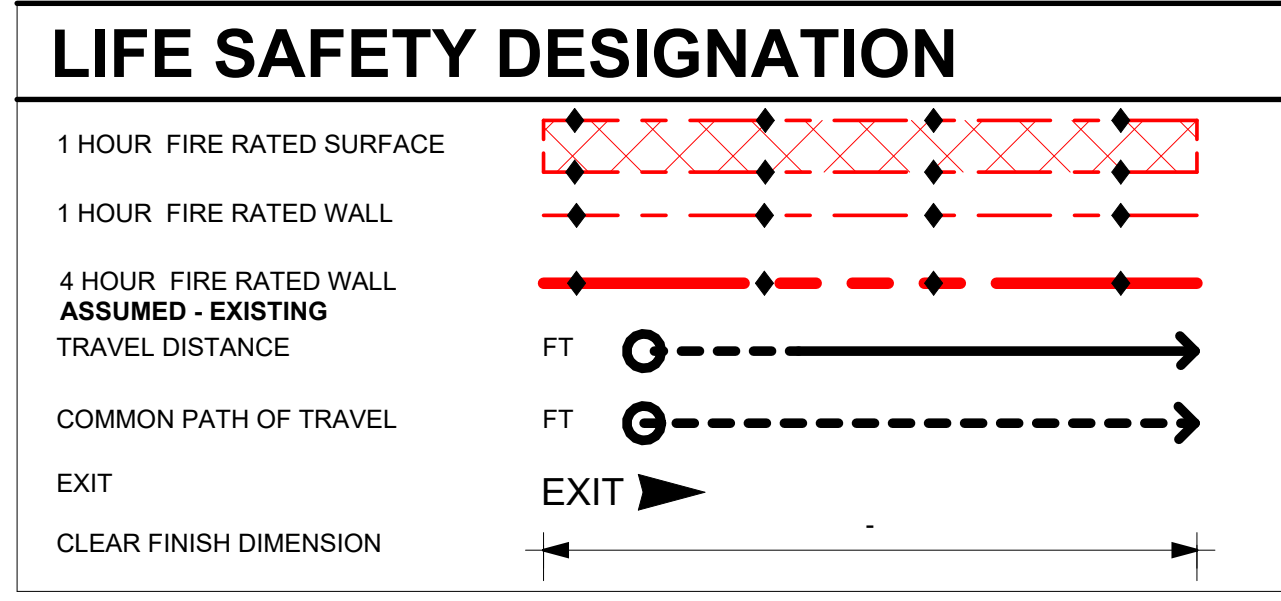
- ### GENERAL NOTES
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 - THE EXISTING MINI- SPLIT SERVING THE LARGE CONFERENCE ROOM TO REMAIN.

CEILING LEGEND

	EXISTING CEILING TO REMAIN		VAULTED WOOD CEILING
	GWB		NO CEILING
	2 LAYERS OF GWB, 1 HOUR RATED		DOMED CEILING LIGHT
	2X2 ACT TILE		2X2 TROFFER LIGHT



SECOND FLOOR PLAN
1/8" = 1'-0"



50% CD SET - NOT FOR CONSTRUCTION

SCOTT + PARTNERS
ARCHITECTURE
7 CARMICHAEL ST. ESSEX, JUNCTION, VT 05452
P 802.879.5193 | F 802.872.2764 | SCOTTPARTNERS.COM

project name: **LINCOLN HALL**
project address: **2 LINCOLN STREET 05452**
ESSEX JUNCTION, VT

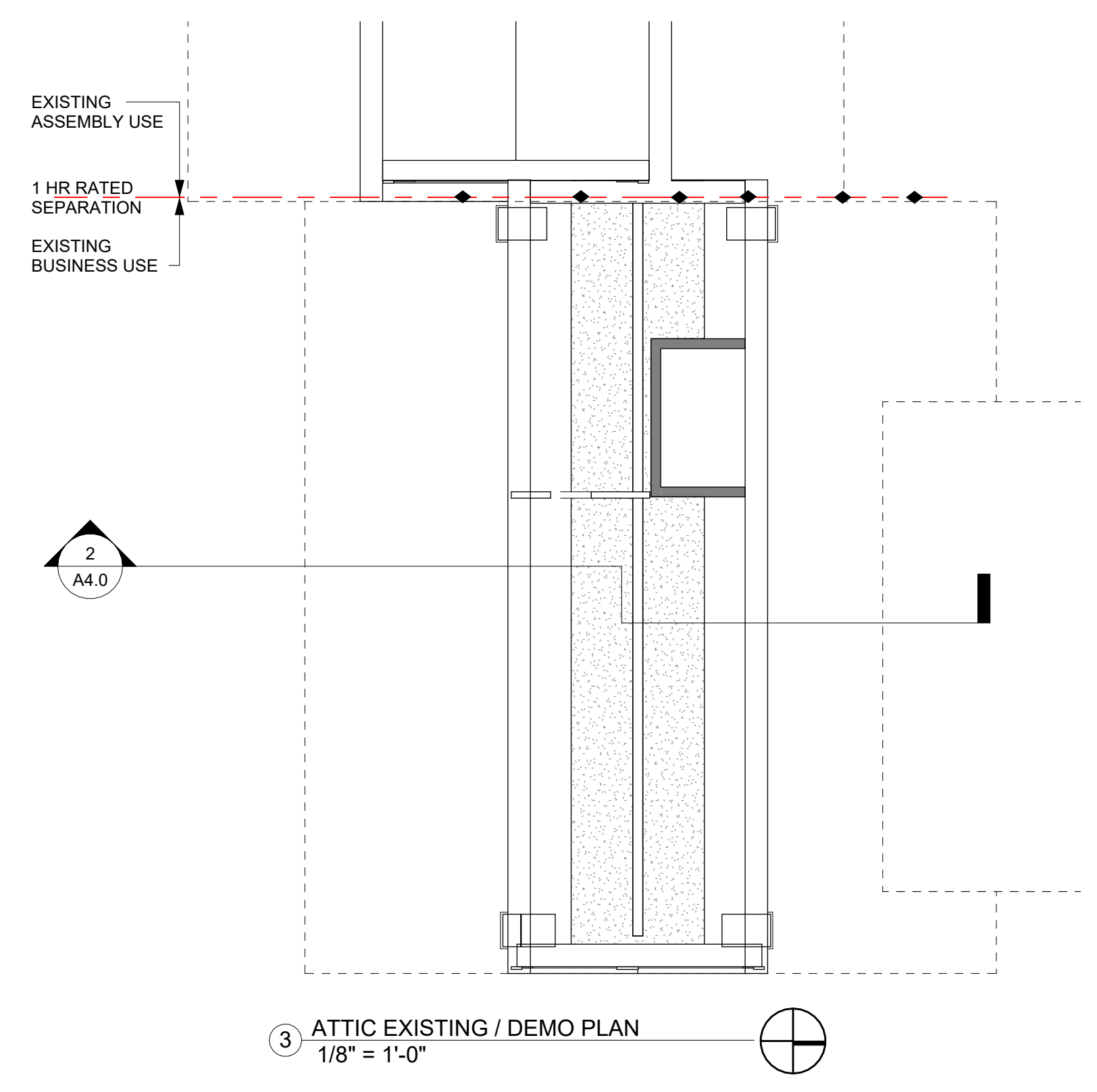
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project no.	21-1457	
checked by:	JA	
drawn by:	LMW, TN	
proj. date:	2024	
sheet date:	02/15/2024	
No	Date	Revisions

sheet title:
SECOND FLOOR PLAN

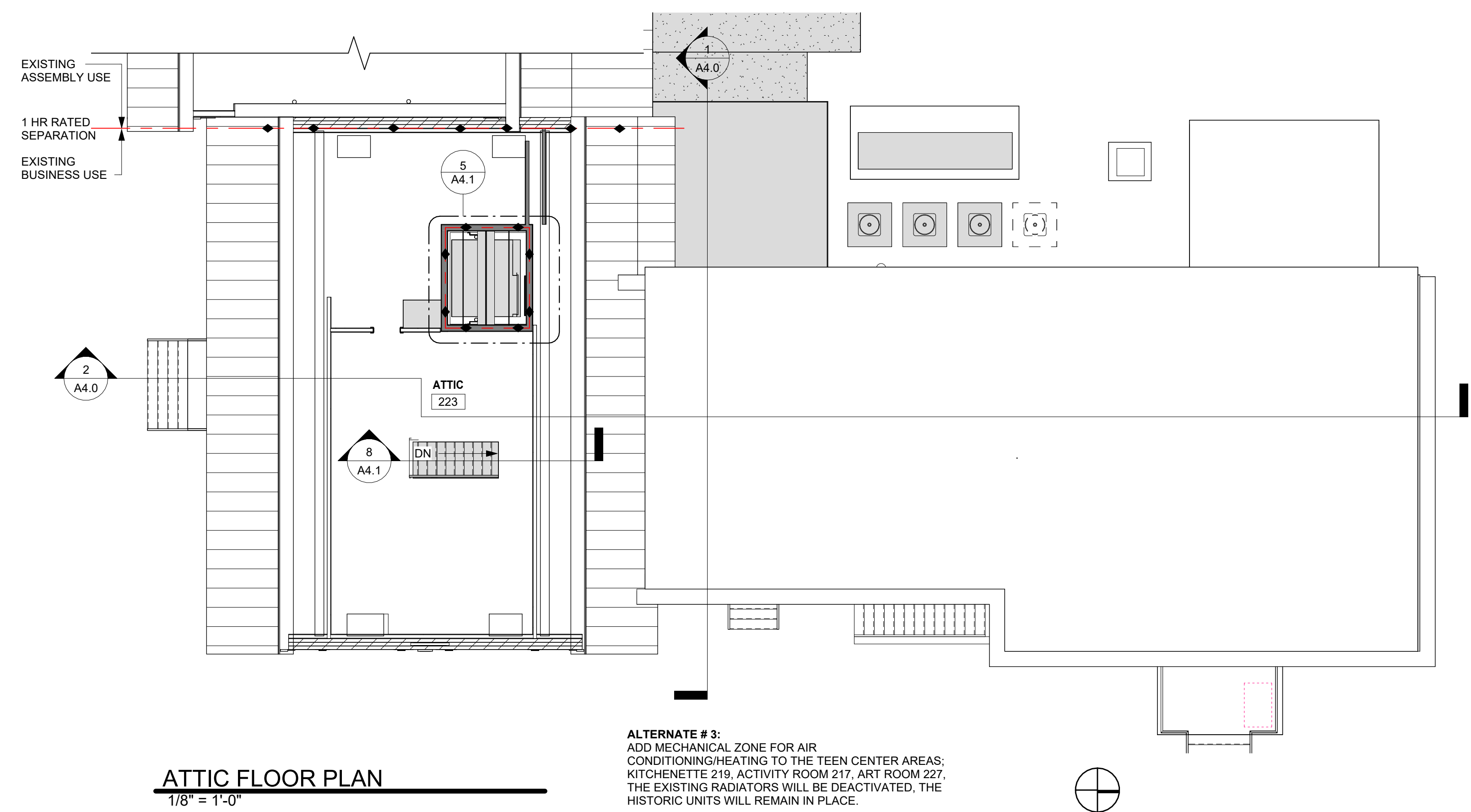
sheet no.
A2.2

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2/15/2024 5:03:31 PM



3 ATTIC EXISTING / DEMO PLAN
1/8" = 1'-0"



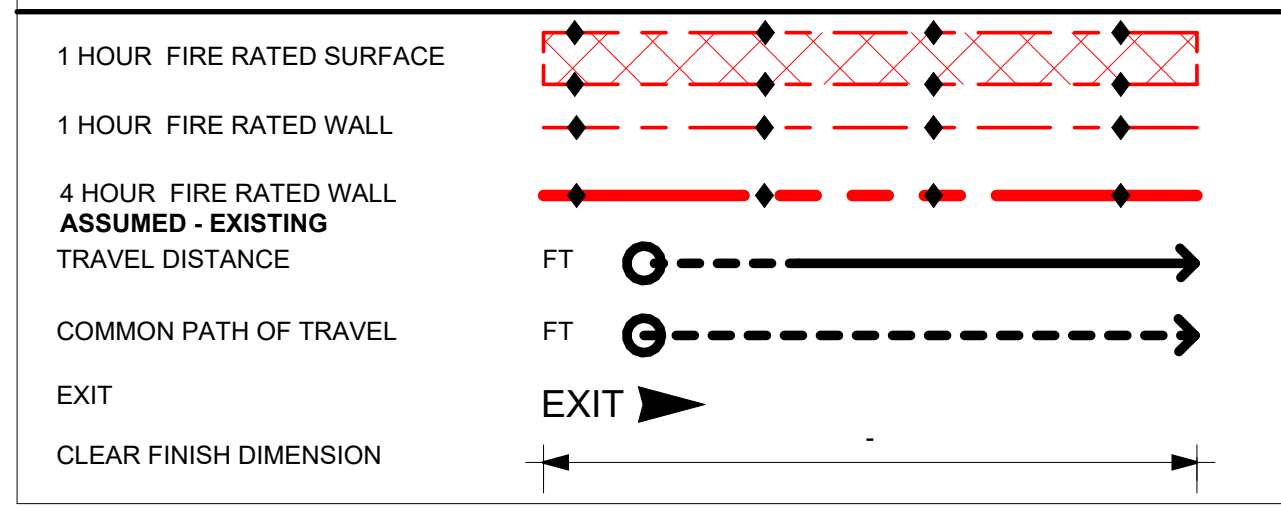
ATTIC FLOOR PLAN
1/8" = 1'-0"

ALTERNATE # 3:
ADD MECHANICAL ZONE FOR AIR
CONDITIONING/HEATING TO THE TEEN CENTER AREAS:
KITCHENETTE 219, ACTIVITY ROOM 217, ART ROOM 227.
THE EXISTING RADIATORS WILL BE DEACTIVATED, THE
HISTORIC UNITS WILL REMAIN IN PLACE.

GENERAL NOTES

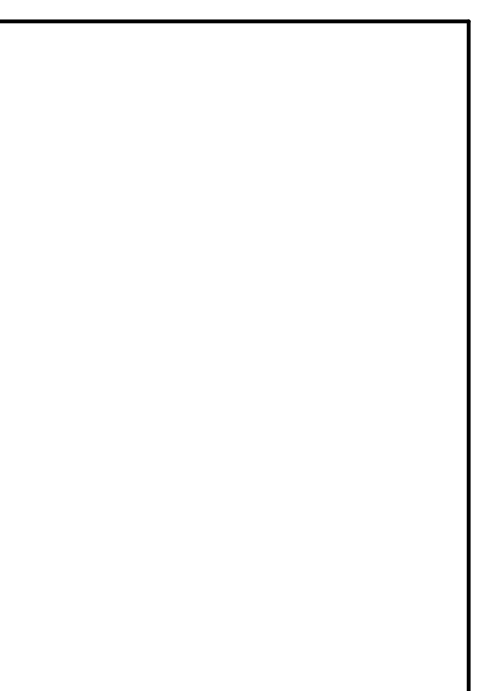
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LIFE SAFETY DESIGNATION



DRAWING PHASE KEY

	NEW CONSTRUCTION
	DEMOLITION
	EXISTING



SCOTT + PARTNERS
ARCHITECTURE

7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
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project name:
LINCOLN HALL

project address:
2 LINCOLN STREET
05452

ESSEX JUNCTION, VT

scale: As indicated

project no. 21-1457

checked by: JA

drawn by: LMW, TN

proj. date: 2024

sheet date: 02/15/2024

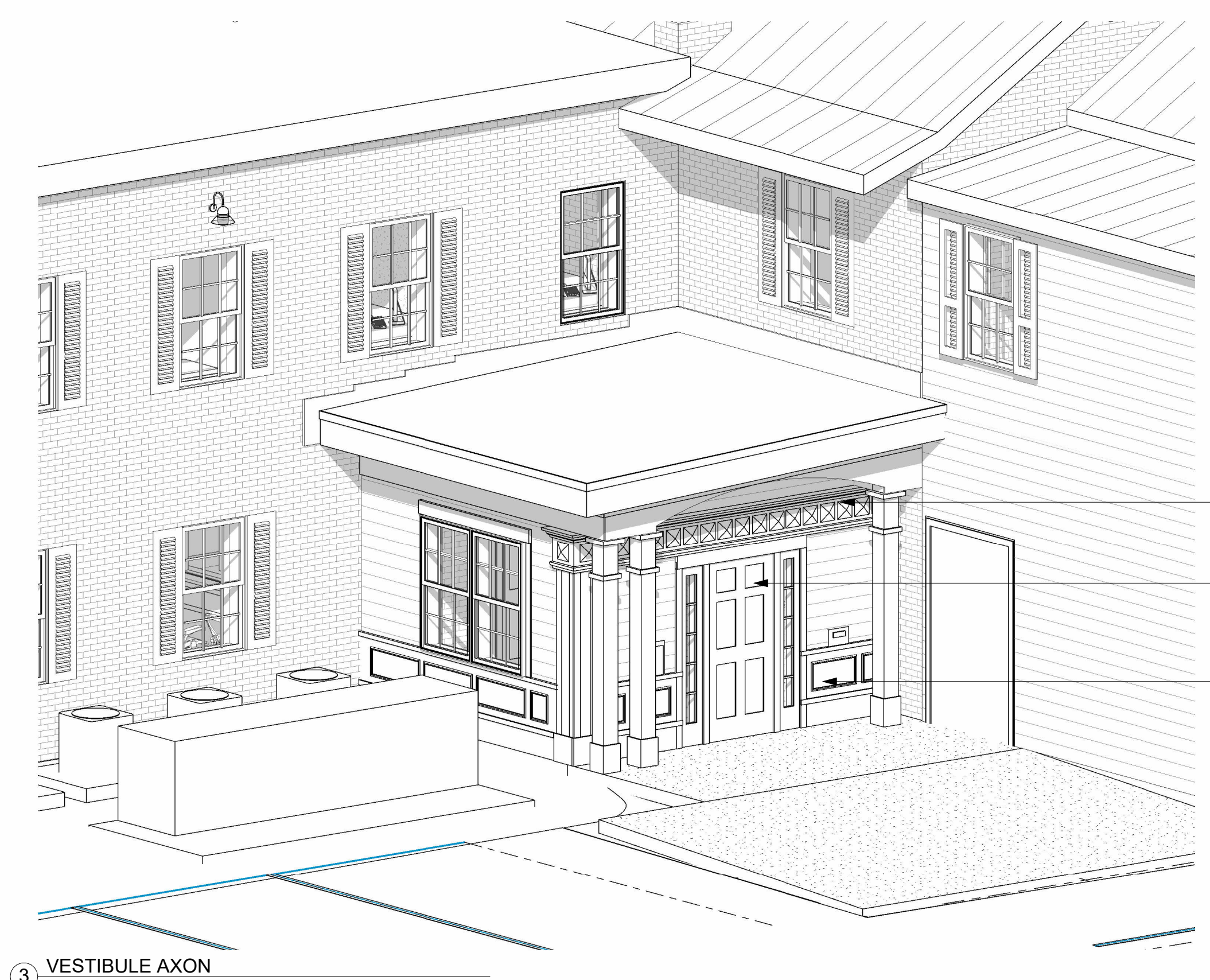
No	Date	Revisions

sheet title:
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sheet no.
A2.3.

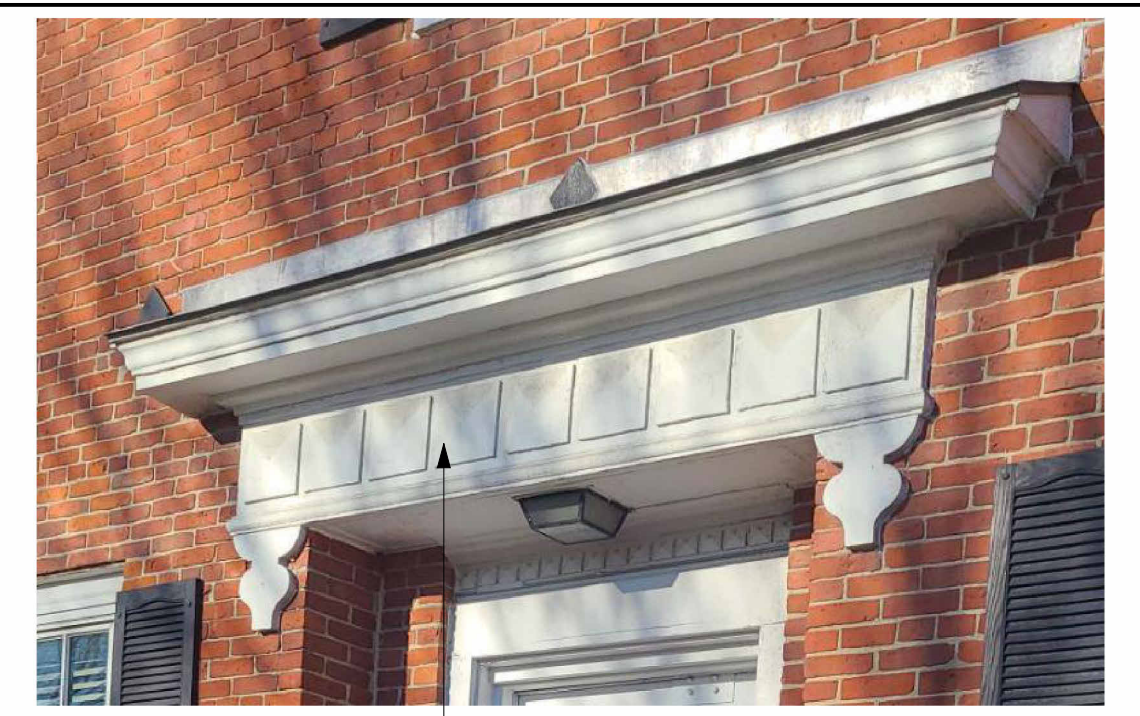
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3 VESTIBULE AXON

DRAWING PHASE KEY

	NEW CONSTRUCTION
	DEMOLITION
	EXISTING

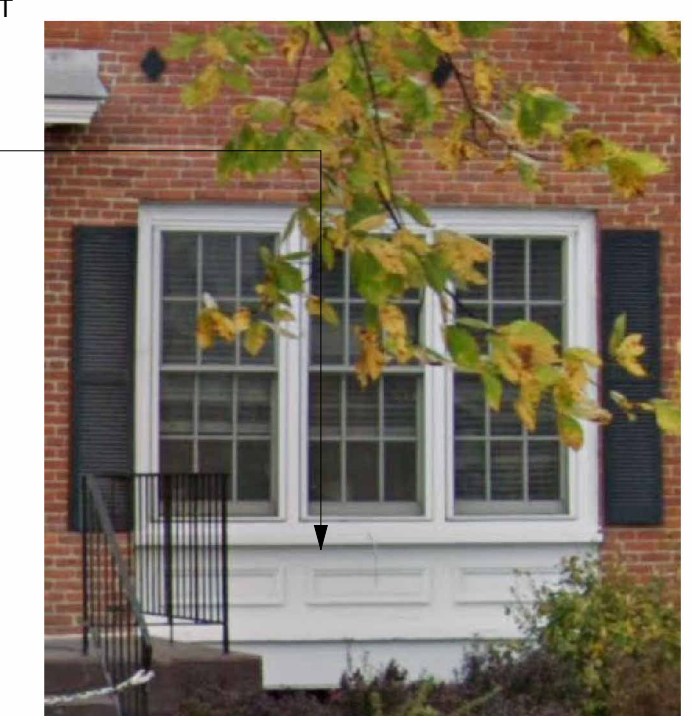


LINCOLN STREET ENTRY WOOD MODIFY

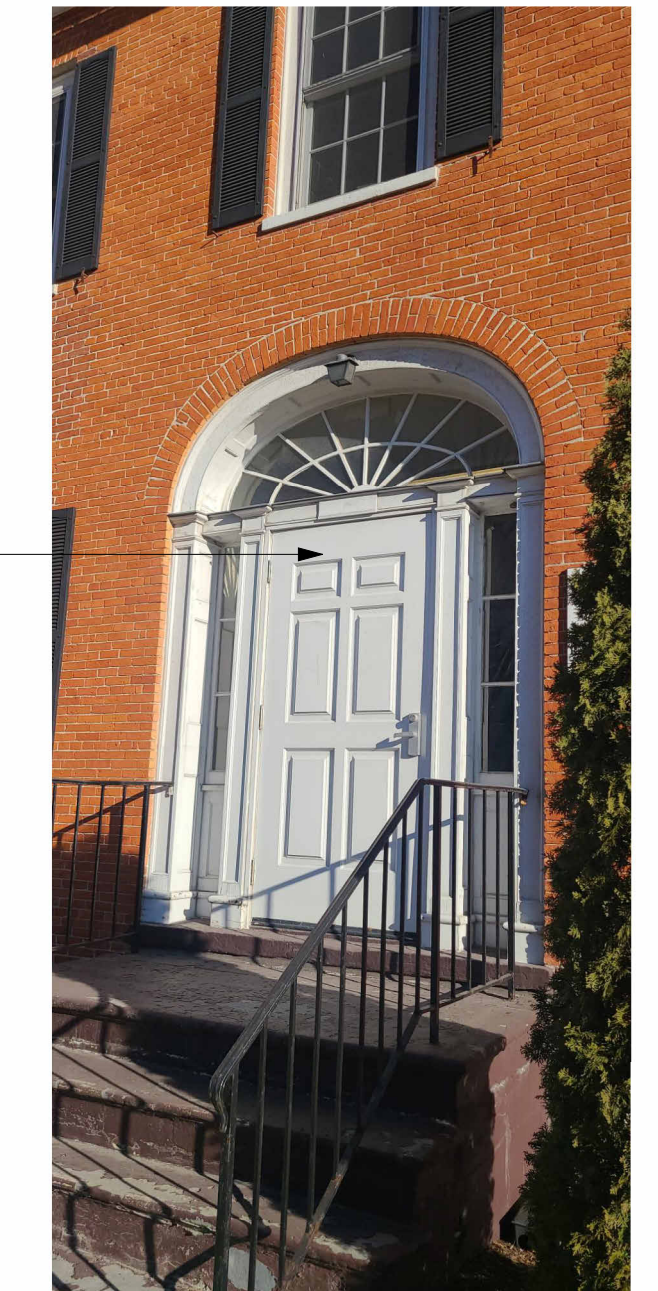
WOOD TRIM DETAIL MODIFY MATCH EXISTING, ON LINCOLN STREET ENTABLATURE

ENTRY DOOR WITH SIDE LIGHTS, SIMILAR TO PEARL STREET FRONT DOOR.

WOOD PANEL TRIM TO MATCH EXISTING ON LINCOLN STREET BELOW WINDOWS



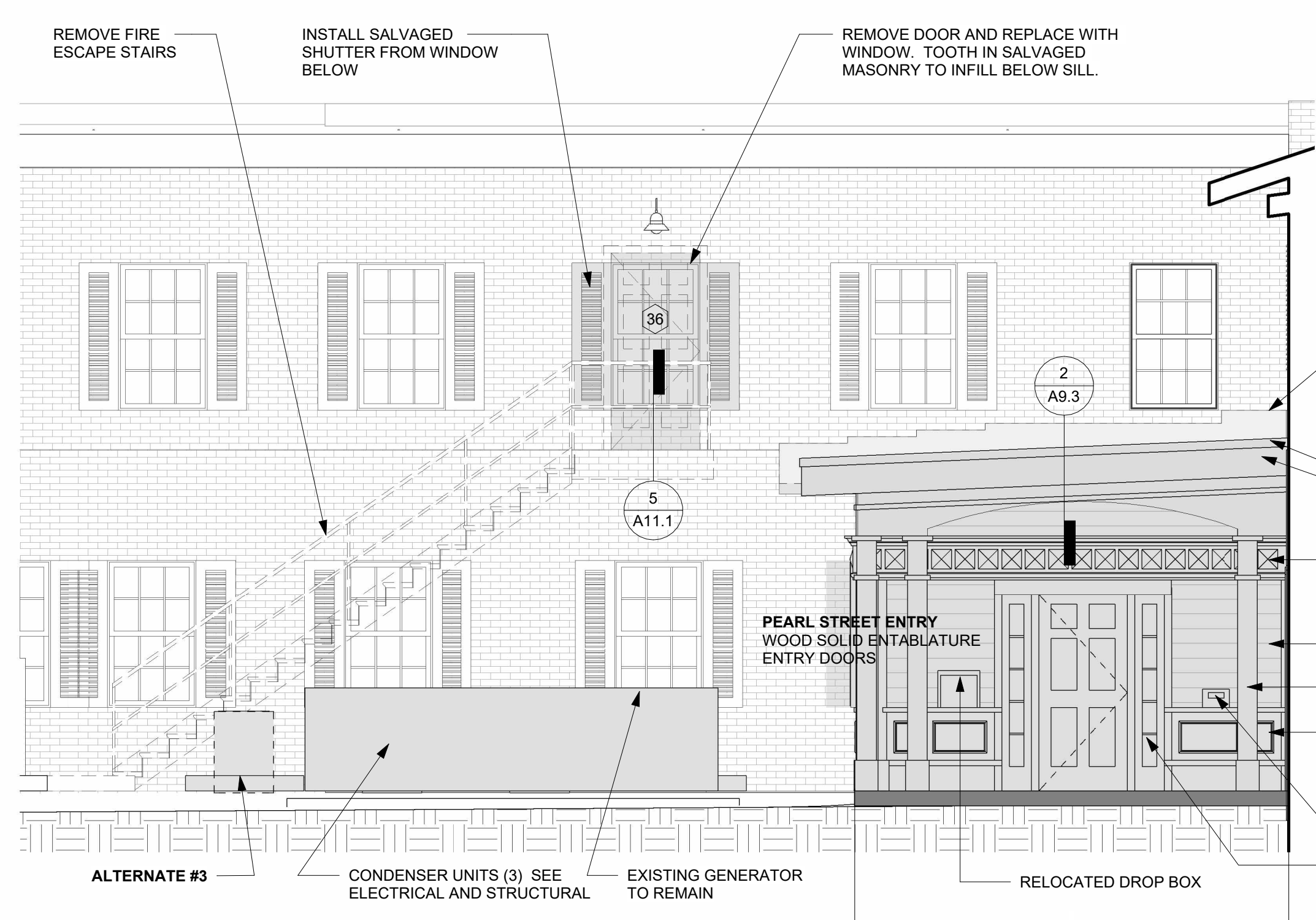
LINCOLN STREET WINDOW WOOD PANEL WOOD PANEL DETAIL



PEARL STREET ENTRY DOOR AND SIDELIGHTS

GENERAL NOTES

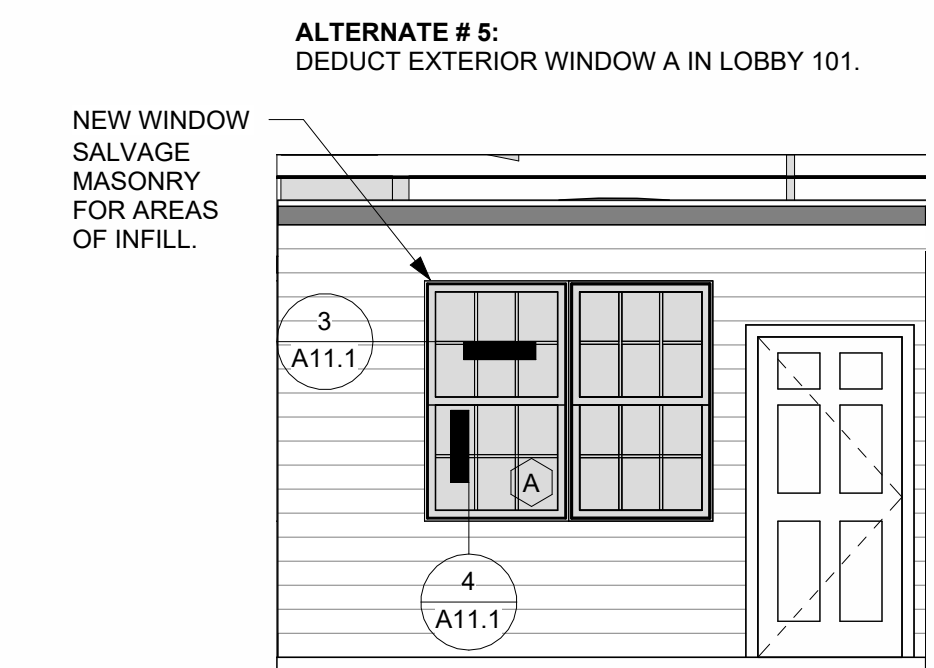
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2 WEST ELEVATION VESTIBULE 1/4" = 1'-0"



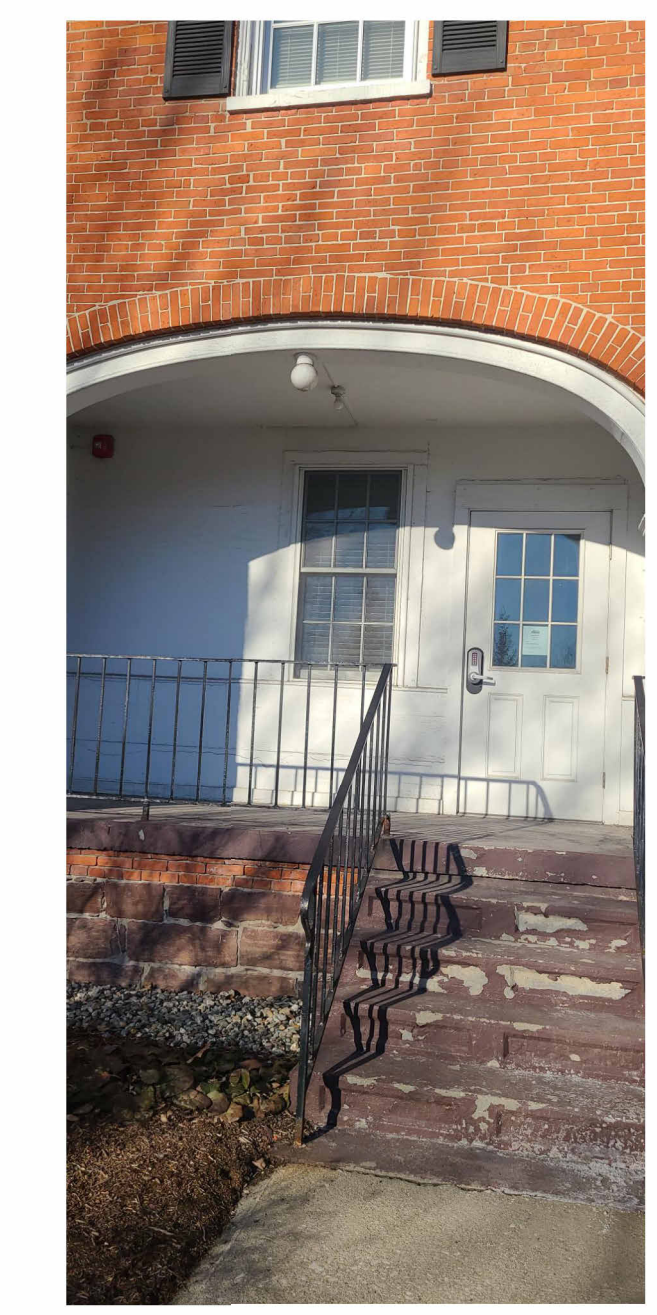
1 NORTH ELEVATION VESTIBULE 1/4" = 1'-0"



5 EAST ENTRY PORCH ELEVATION 1/4" = 1'-0"



4 EAST ELEVATION VESTIBULE 1/4" = 1'-0"



LINCOLN STREET ENTRY ARCH ENTRY

ALTERNATE # 5: DEDUCT EXTERIOR WINDOW A IN LOBBY 101.

NEW WINDOW SALVAGE MASONRY FOR AREAS OF INFILL.

CUT BOTTOM OF EXISTING DOOR BELOW NEW SLAB, TO PROVIDE ACCESS TO STORAGE ROOM.

SCOTT + PARTNERS ARCHITECTURE
 7 CARMICHAEL ST. ESSEX, JUNCTION, VT 05452
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project name: **LINCOLN HALL**
 project address: 2 LINCOLN STREET ESSEX, JUNCTION, VT 05452

scale:	As indicated	
project no.	21-1457	
checked by:	JA	
drawn by:	LMW, TN	
proj. date:	2024	
sheet date:	02/15/2024	
No	Date	Revisions

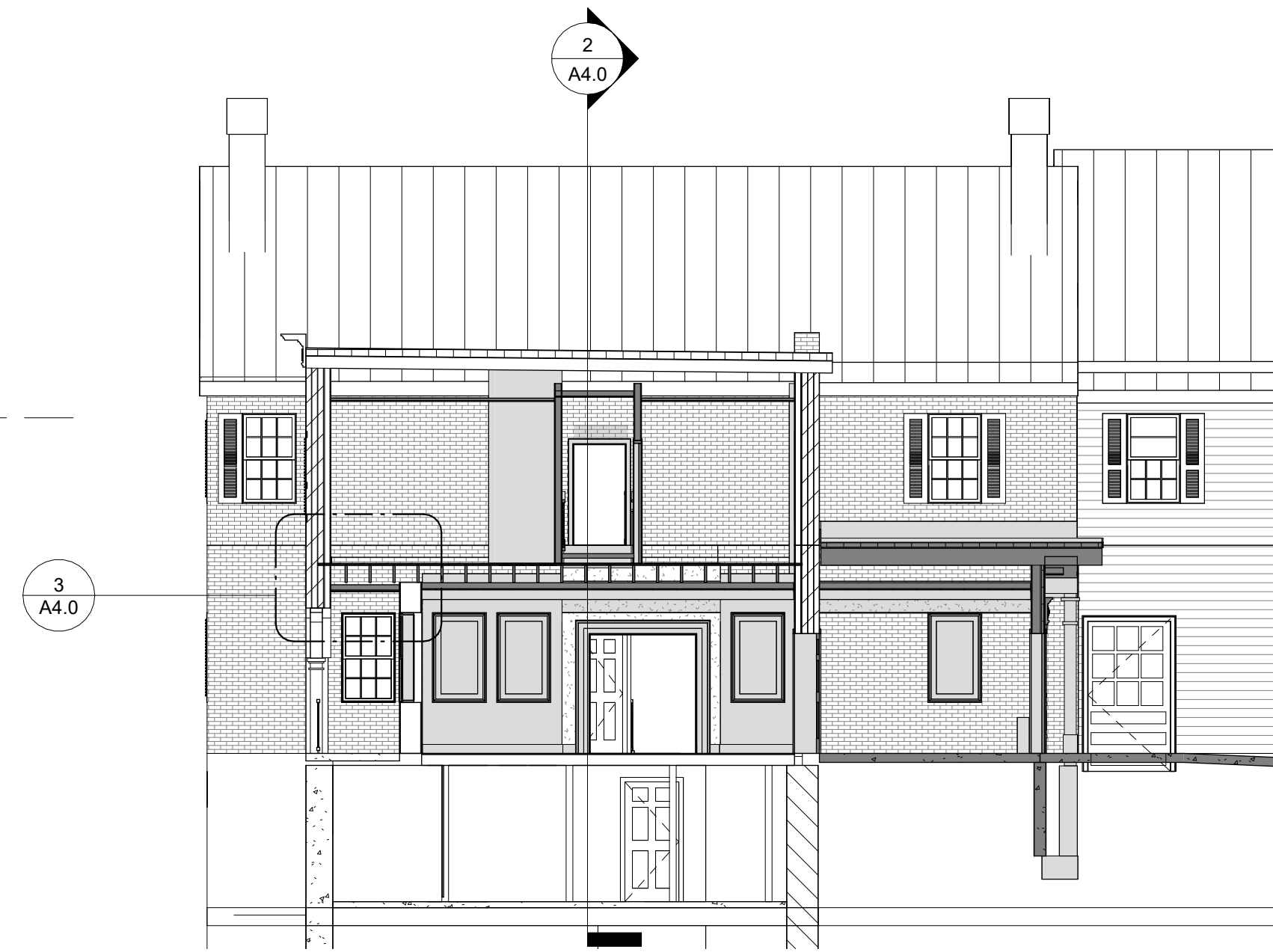
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sheet no. **A3.0**

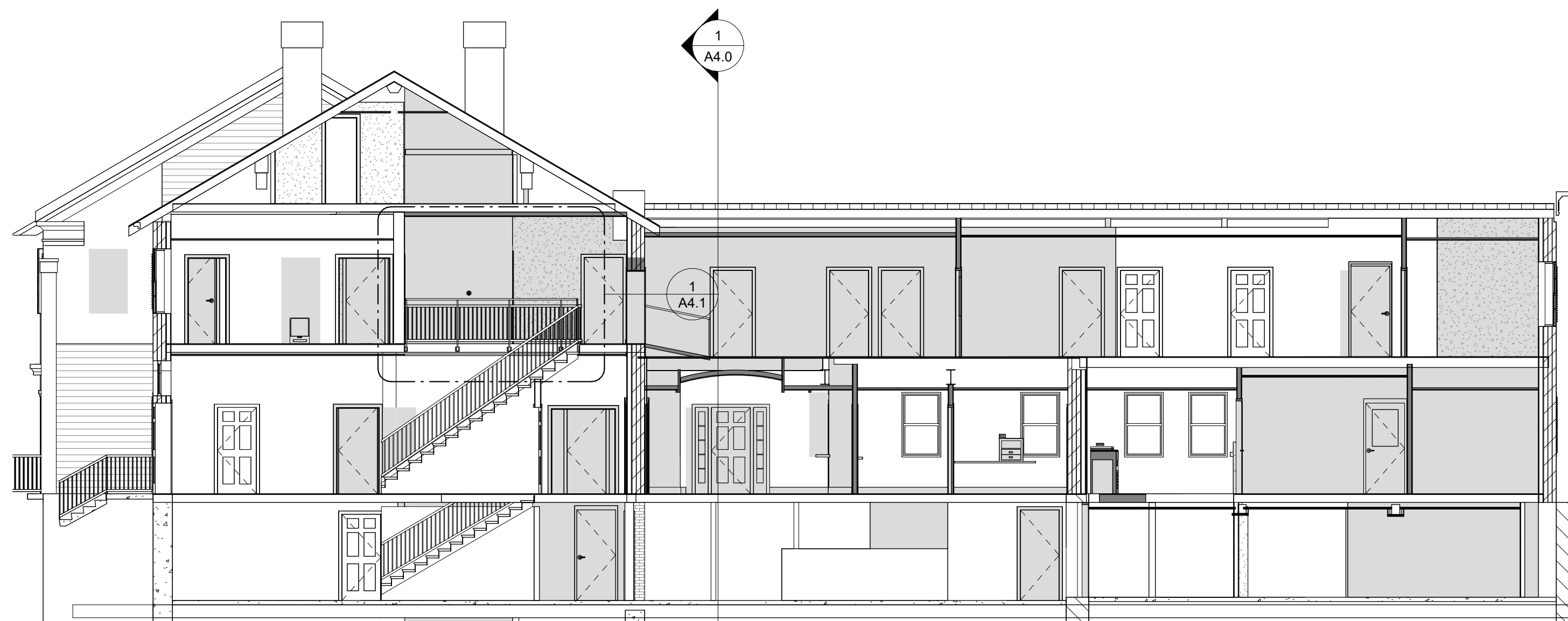
50% CD SET- NOT FOR CONSTRUCTION



3 SECTION DETAIL AT PORCH CEILING
3/4" = 1'-0"



1 BUILDING SECTION THRU C
1/8" = 1'-0"



2 BUILDING SECTION THRU B,C,D
1/8" = 1'-0"

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DRAWING PHASE KEY	
	NEW CONSTRUCTION
	DEMOLITION
	EXISTING



7 CARMICHAEL ST. ESSEX, JUNCTION, VT 05452
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project name: **LINCOLN HALL**
project address: 2 LINCOLN STREET
ESSEX, JUNCTION, VT 05452

scale: As indicated
project no. 21-1457
checked by: JA
drawn by: LMW, TN
proj. date: 2024
sheet date: 02/15/2024

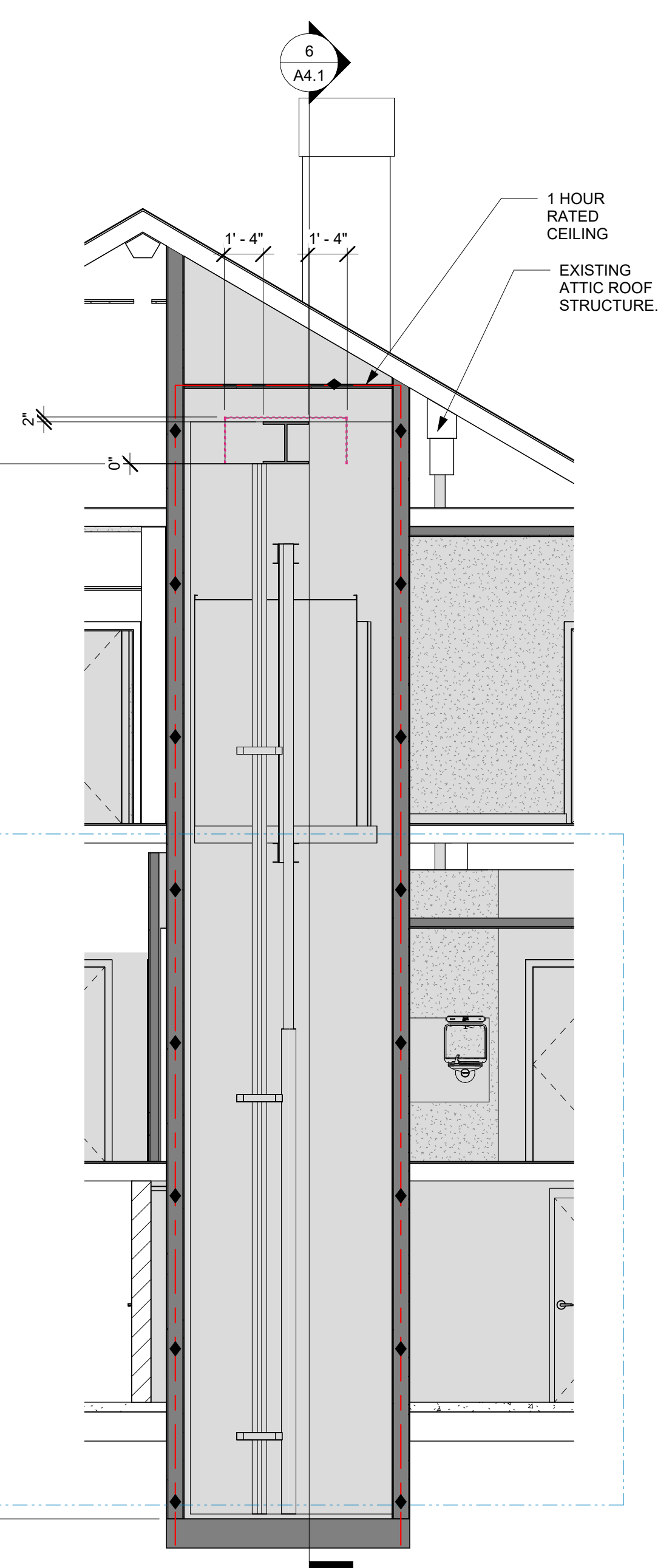
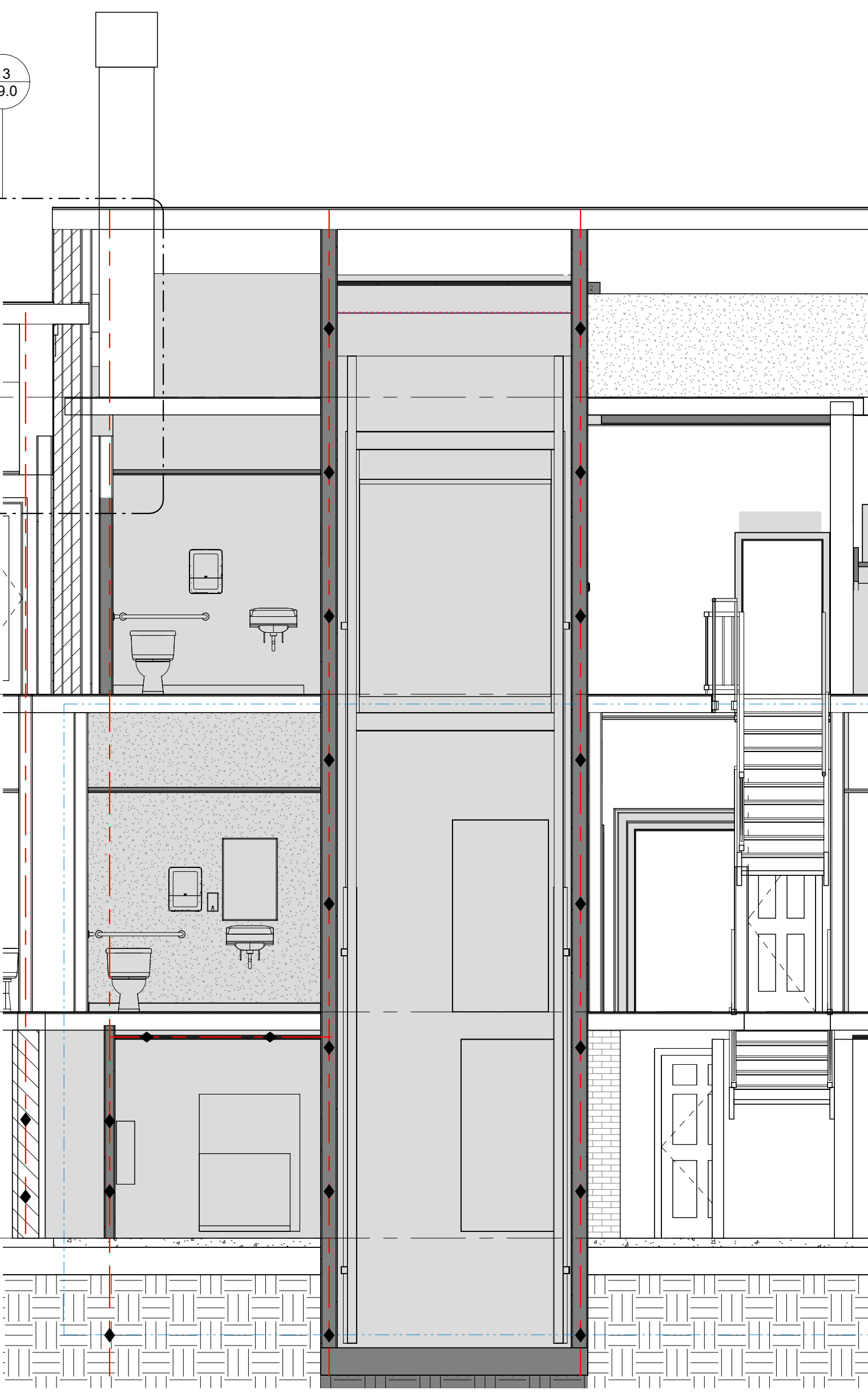
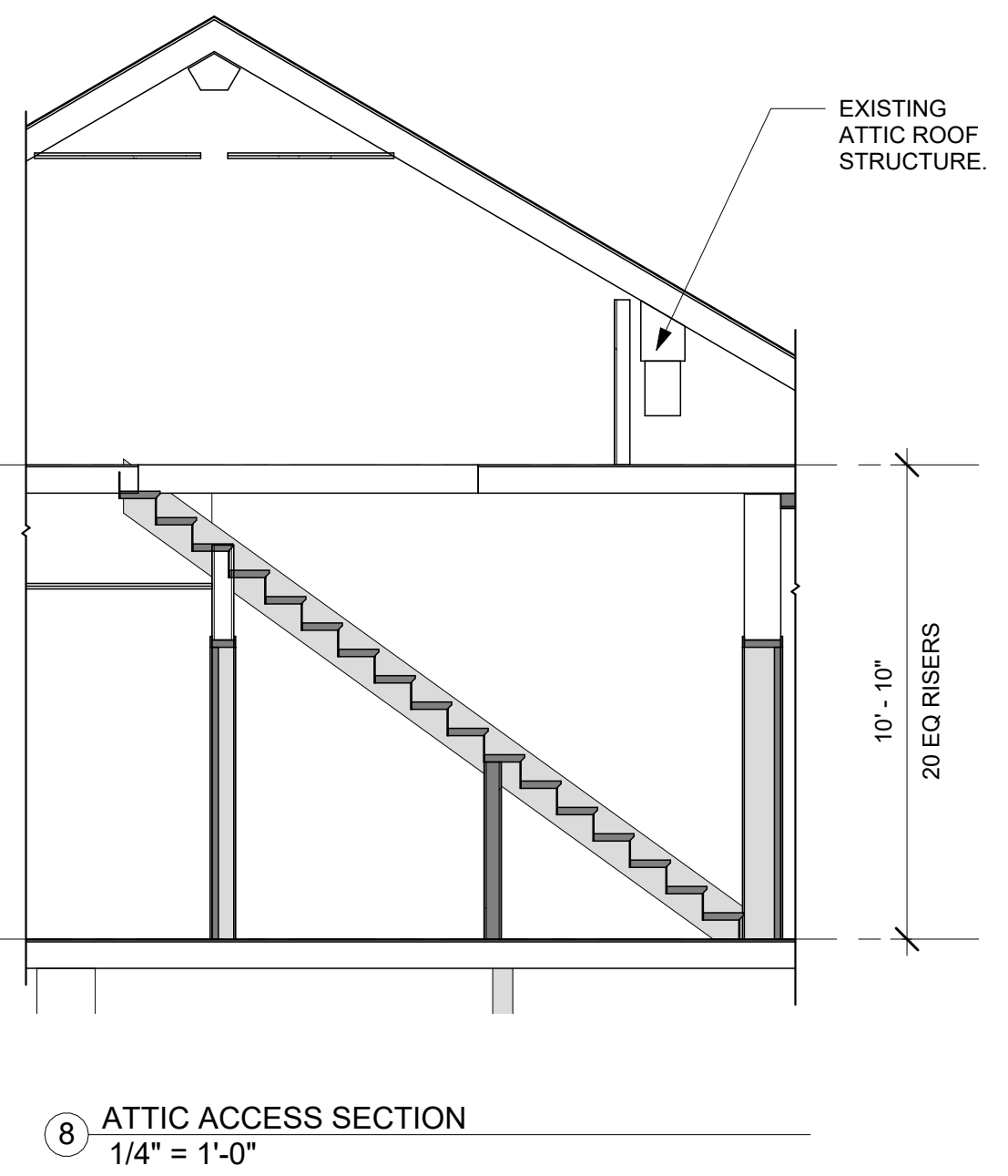
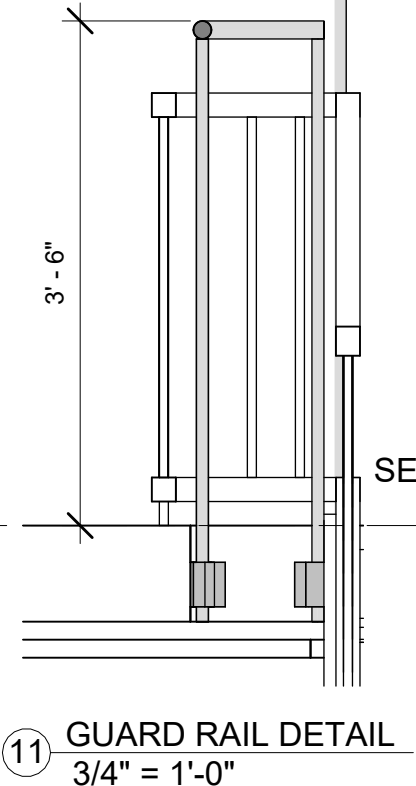
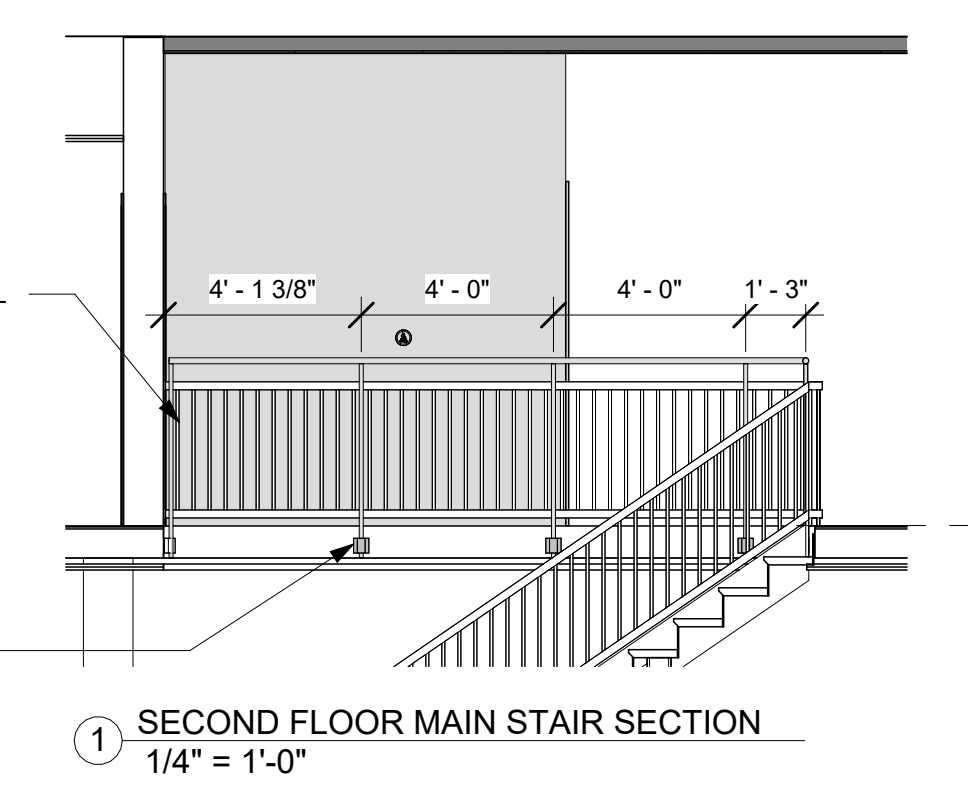
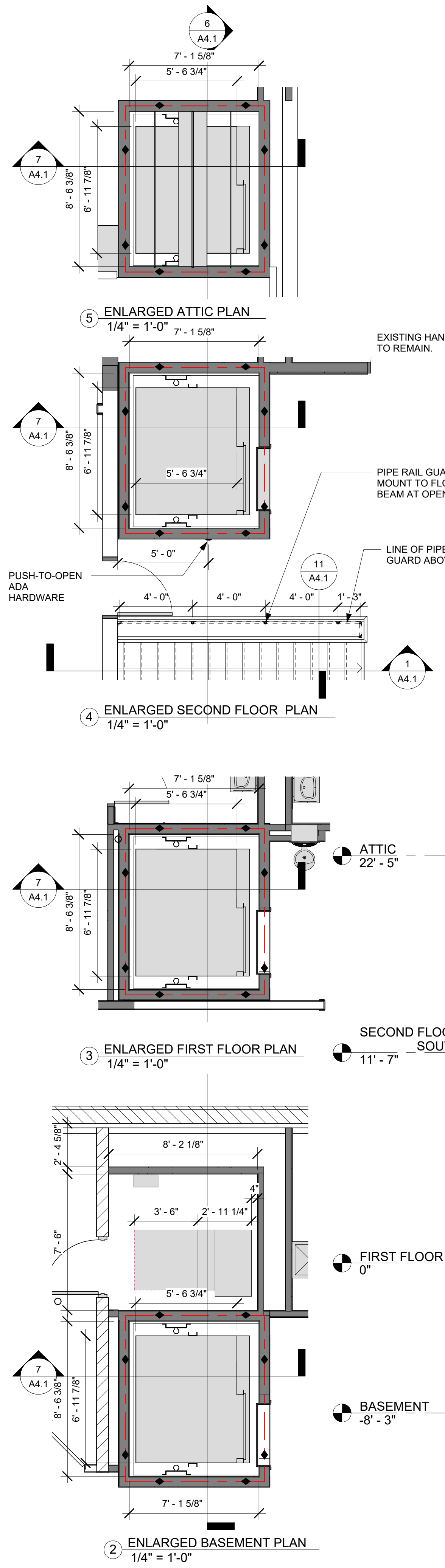
No	Date	Revisions

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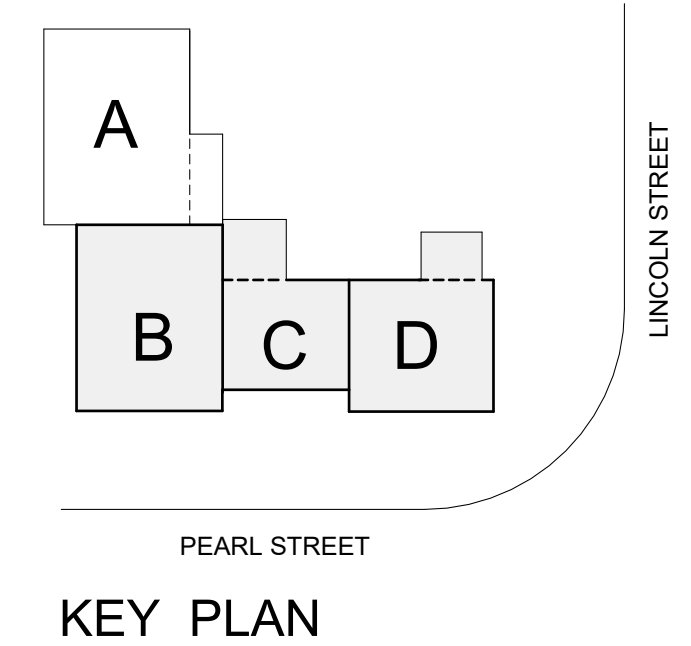
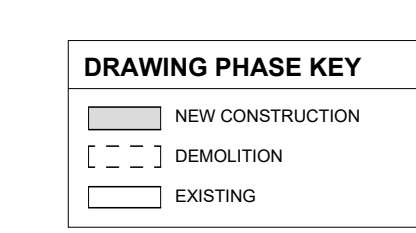
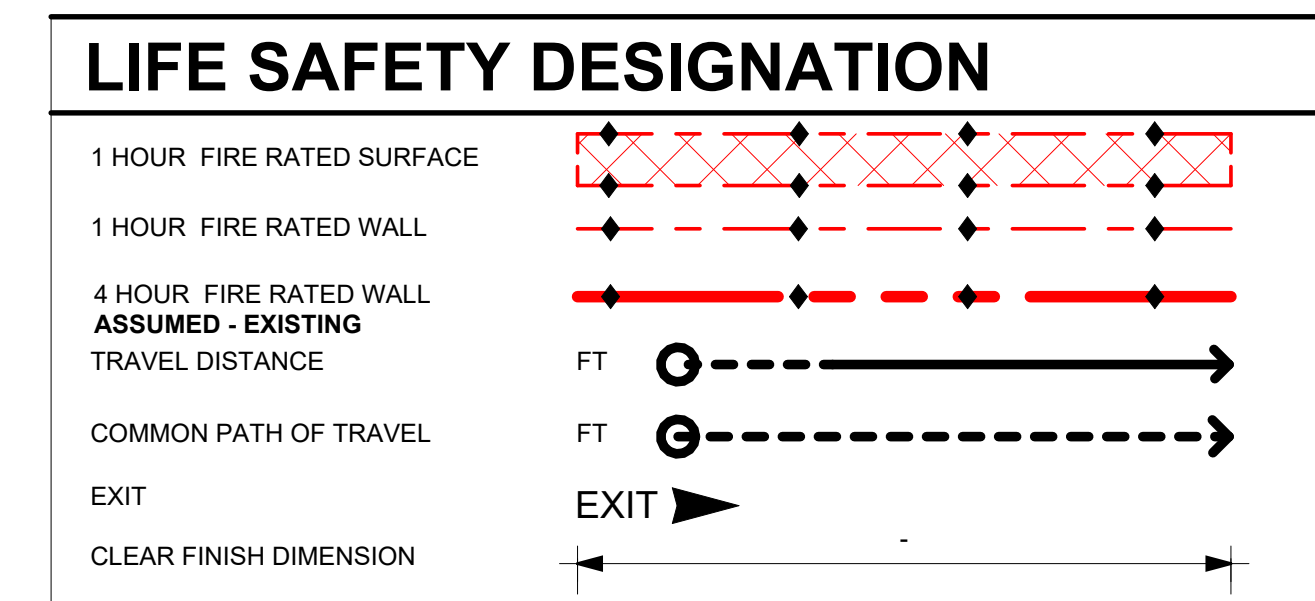
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A4.0

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ARCHITECTURE

7 CARMICHAEL ST. ESSEX, JUNCTION, VT 05452
P: 802.879.5153 | F: 802.872.2764 | SCOTTPARTNERS.COM

project name: **LINCOLN HALL** ESSEX JUNCTION, VT

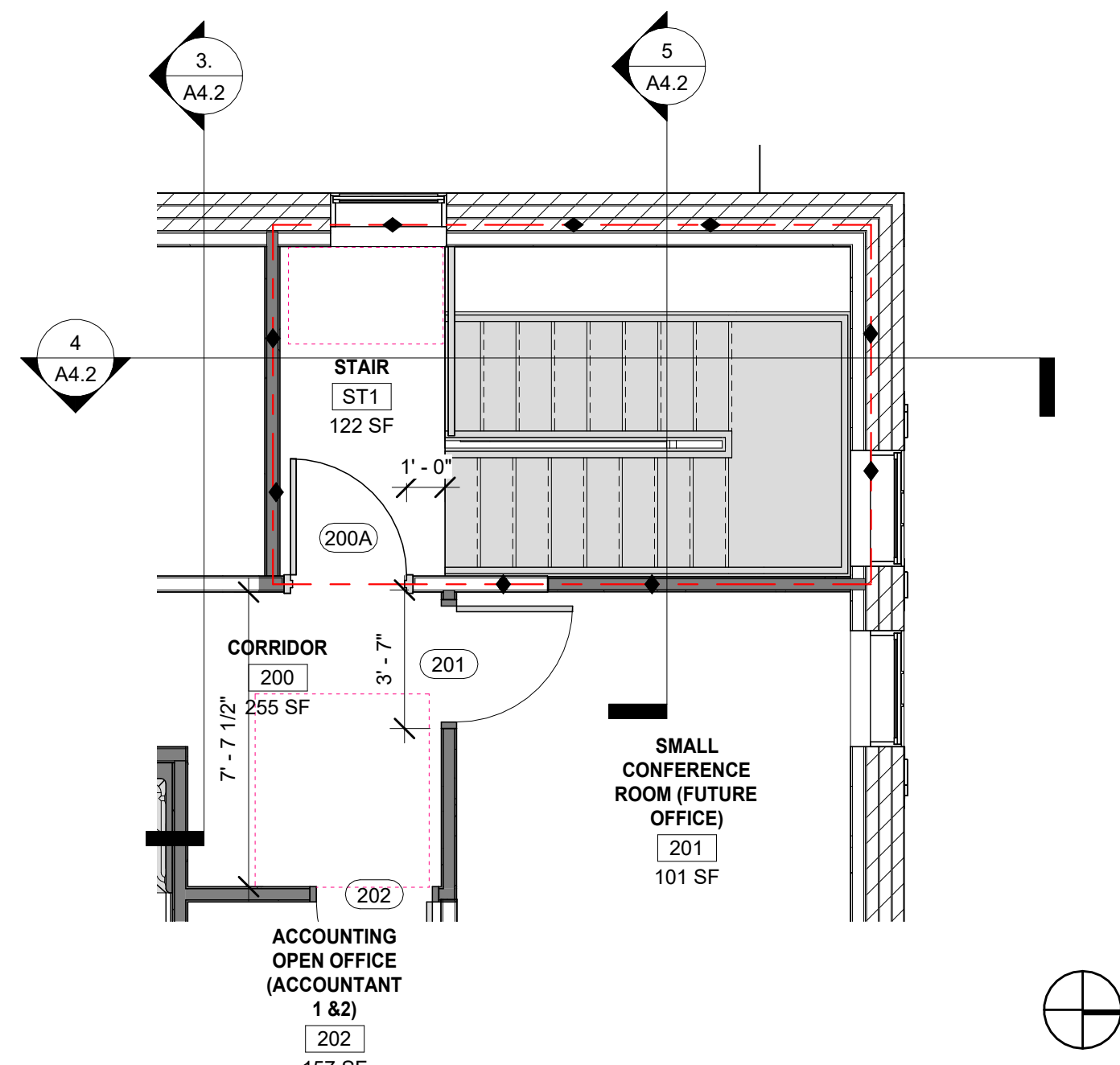
project address: 2 LINCOLN STREET 05452

scale: As indicated
 project no. 21-1457
 checked by: JA
 drawn by: LMW, TN
 proj. date: 2024
 sheet date: 02/15/2024

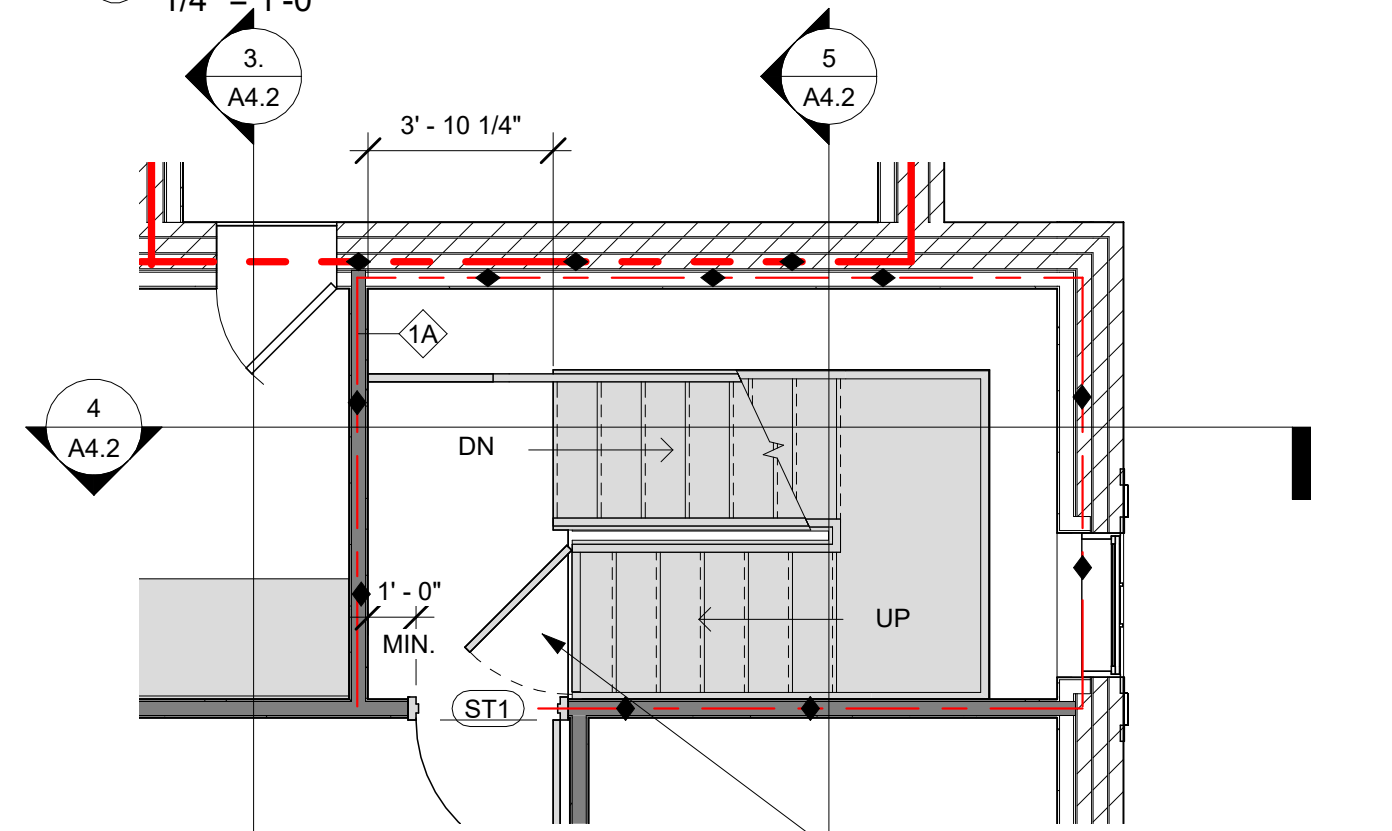
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ENLARGED ELEVATOR PLANS AND SECTIONS

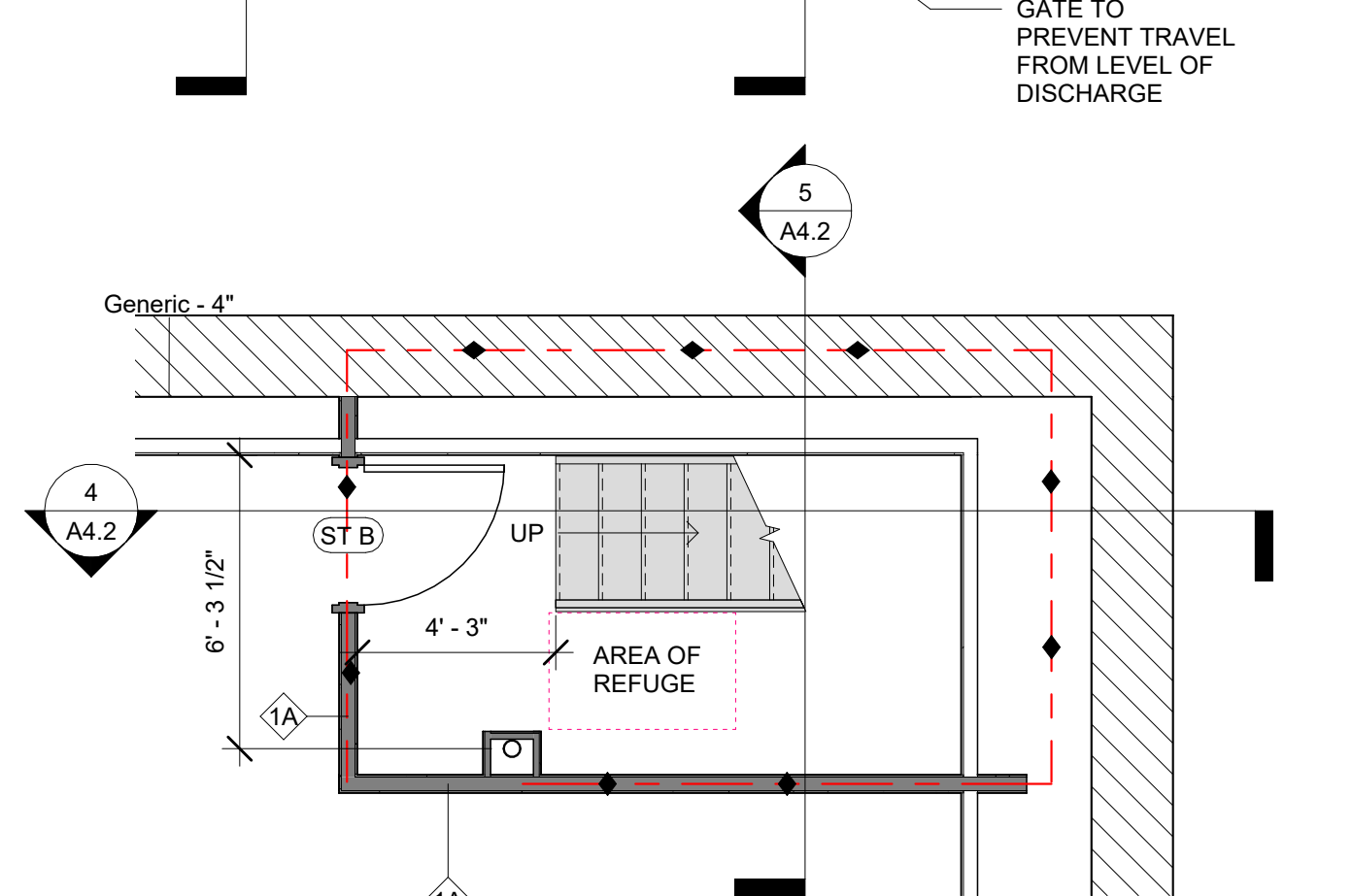
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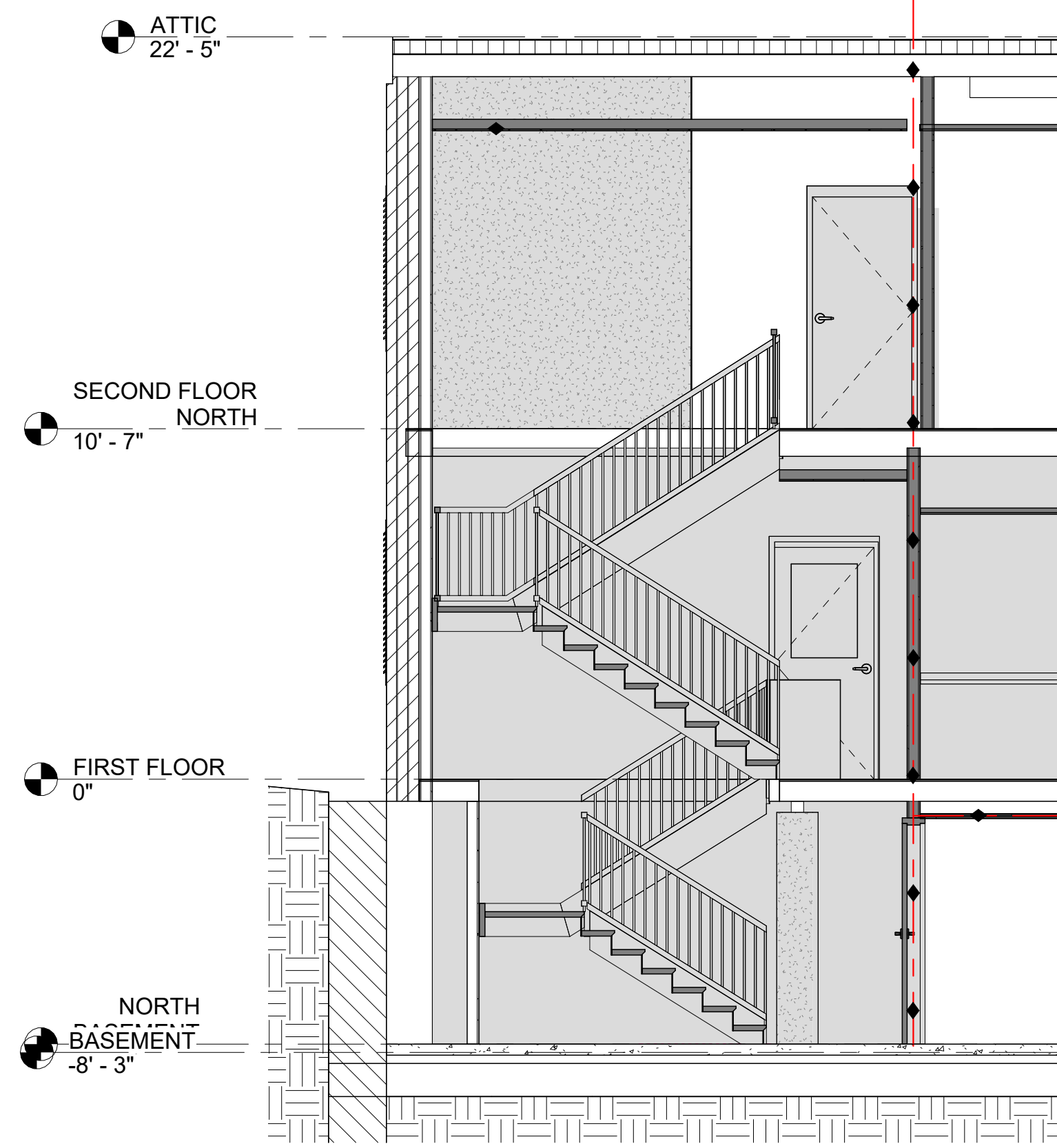
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1/4" = 1'-0"



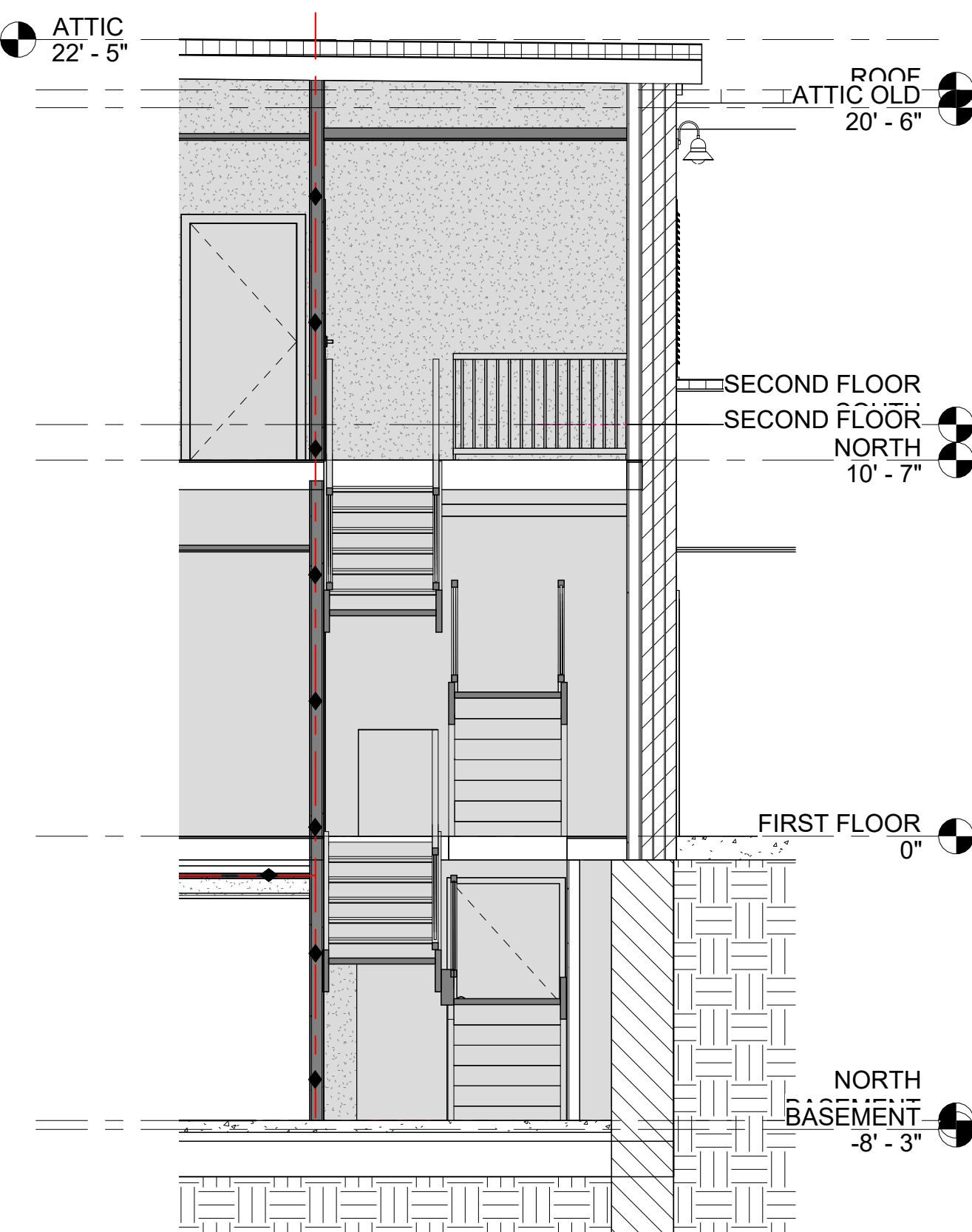
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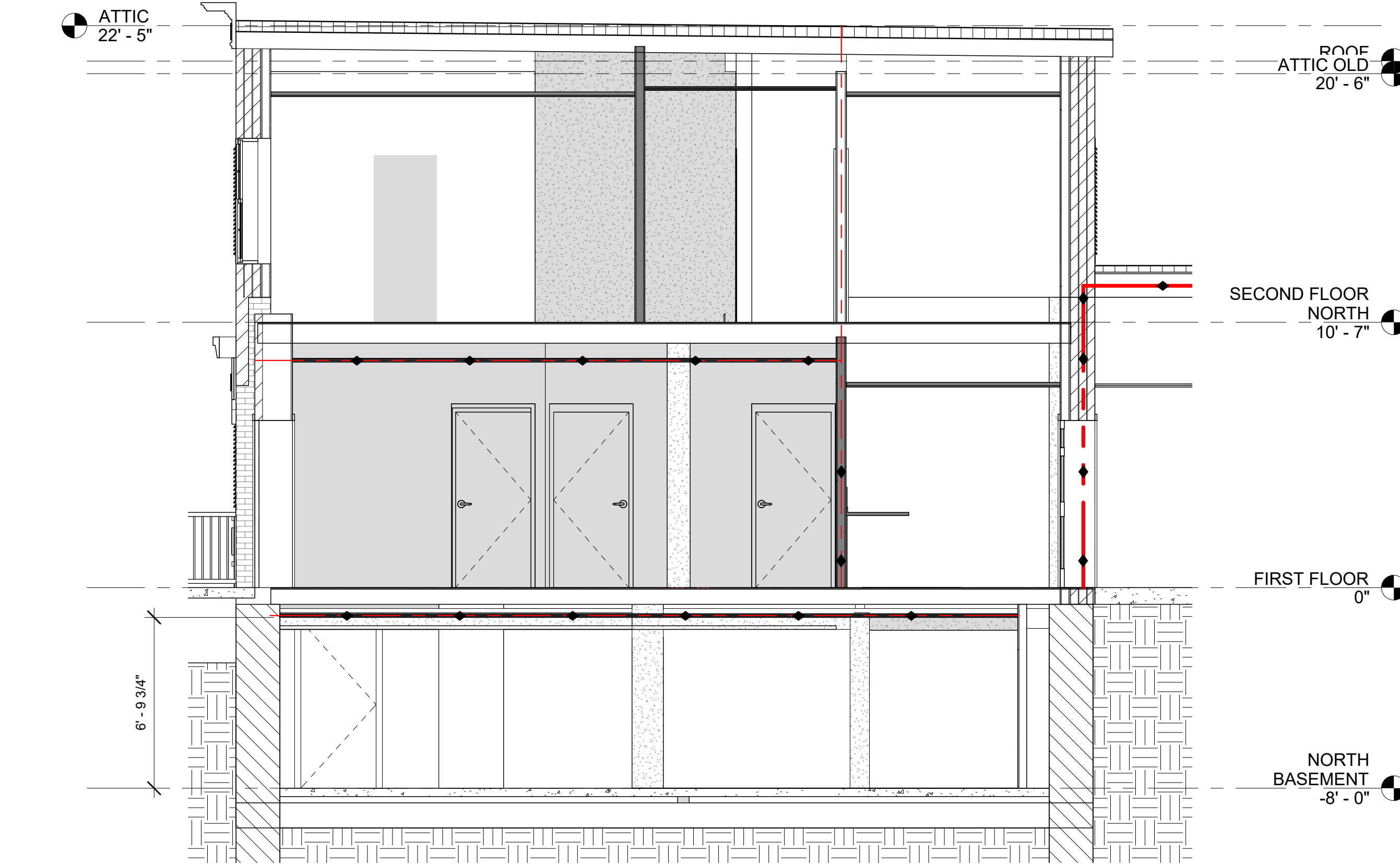
3 ENLARGED STAIR BASEMENT FLOOR PLAN
1/4" = 1'-0"



4 STAIR SECTION
1/4" = 1'-0"



5 STAIR CROSS SECTION
1/4" = 1'-0"

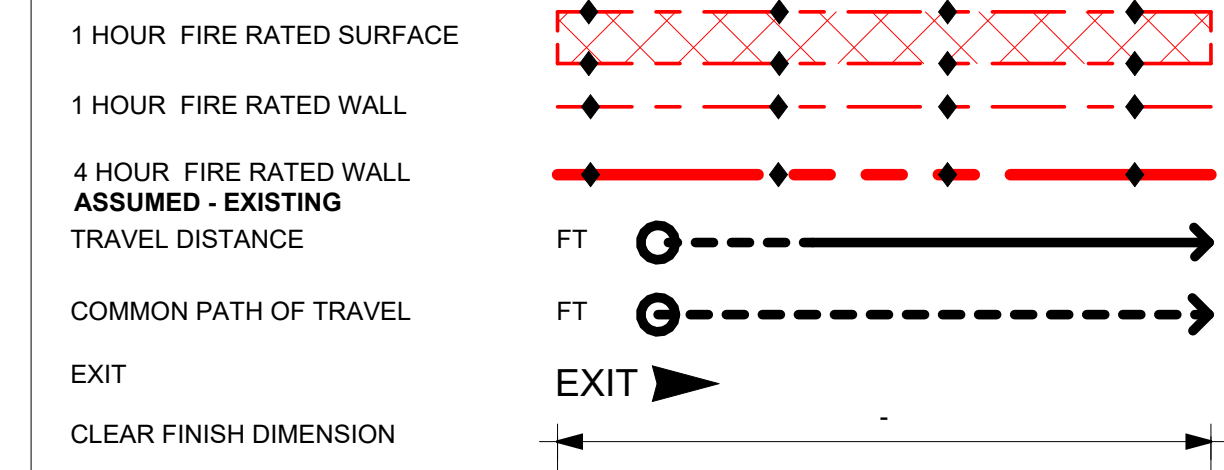


3 STAIR SECTION 1
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DRAWING PHASE KEY

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	DEMOLITION
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7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
P 802.879.5193 F 802.872.2764 SCOTTPARTNERS.COM

project name: **LINCOLN HALL**

project address: **2 LINCOLN STREET 05452**

ESSEX JUNCTION, VT

scale:	As indicated	
project no.	21-1457	
checked by:	JA	
drawn by:	LMW, TN	
proj. date:	2024	
sheet date:	02/15/2024	
No	Date	Revisions

sheet title:
ENLARGED STAIR SECOND FLOOR PLAN

sheet no.
A4.2

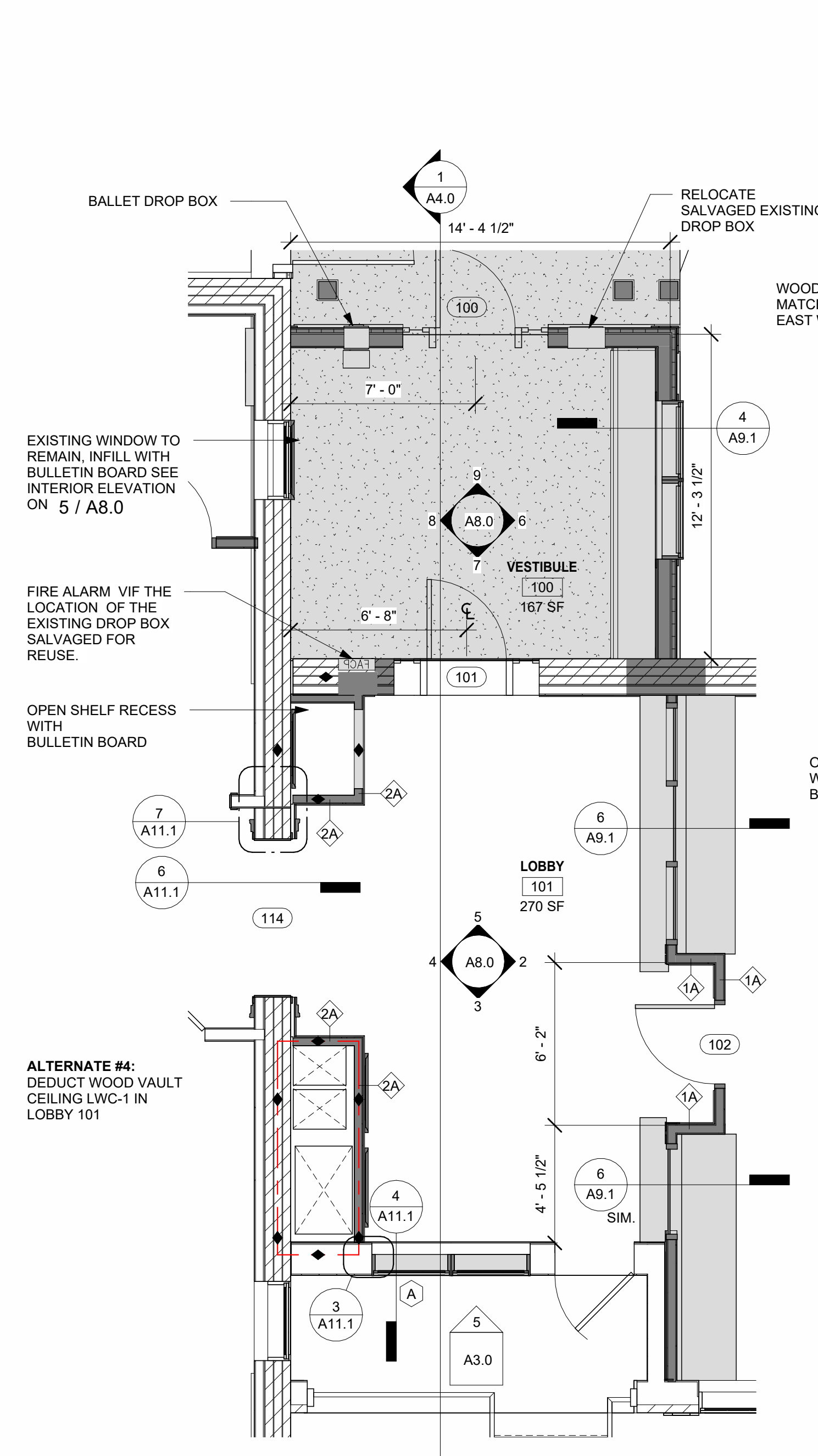
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GENERAL NOTES

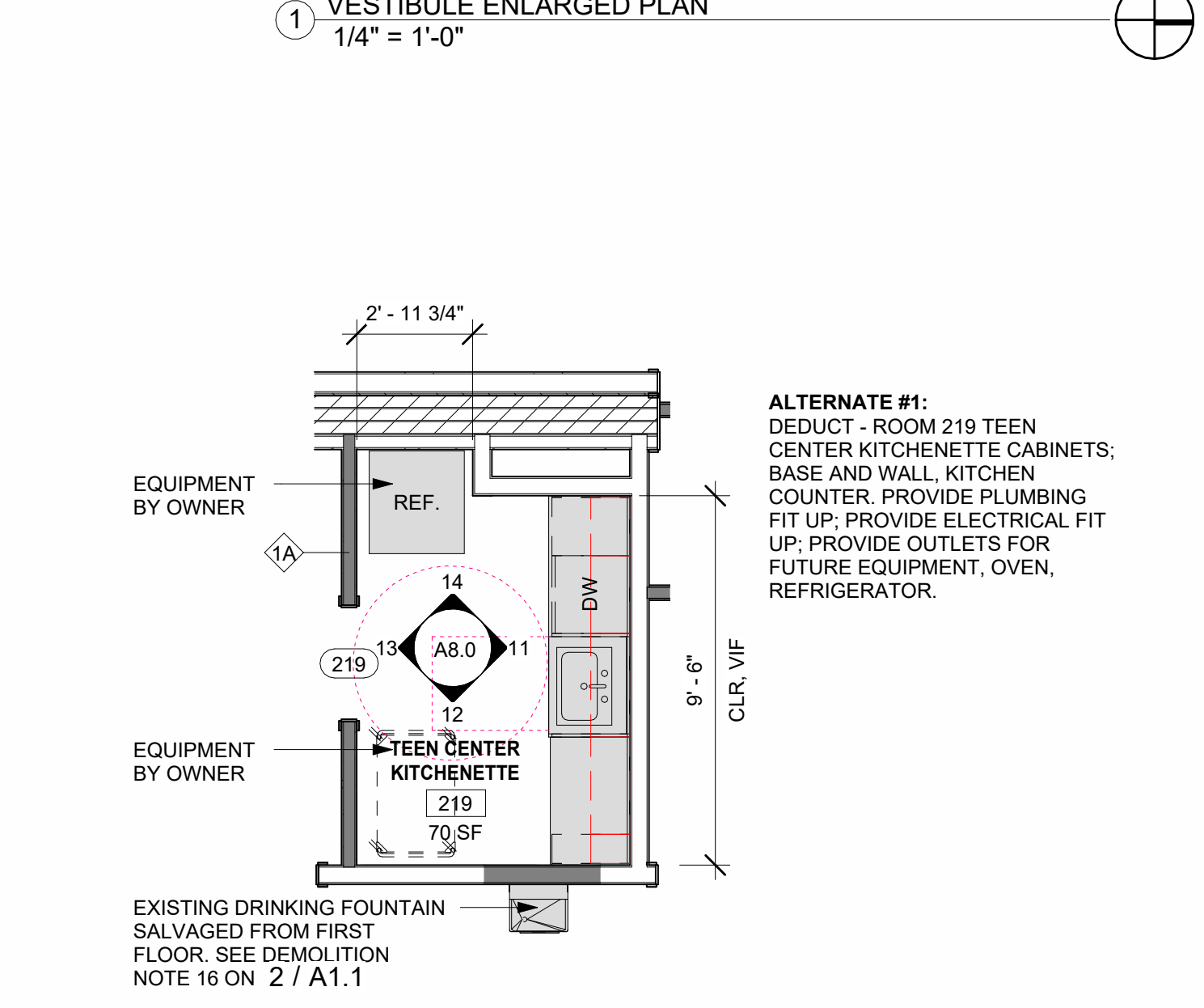
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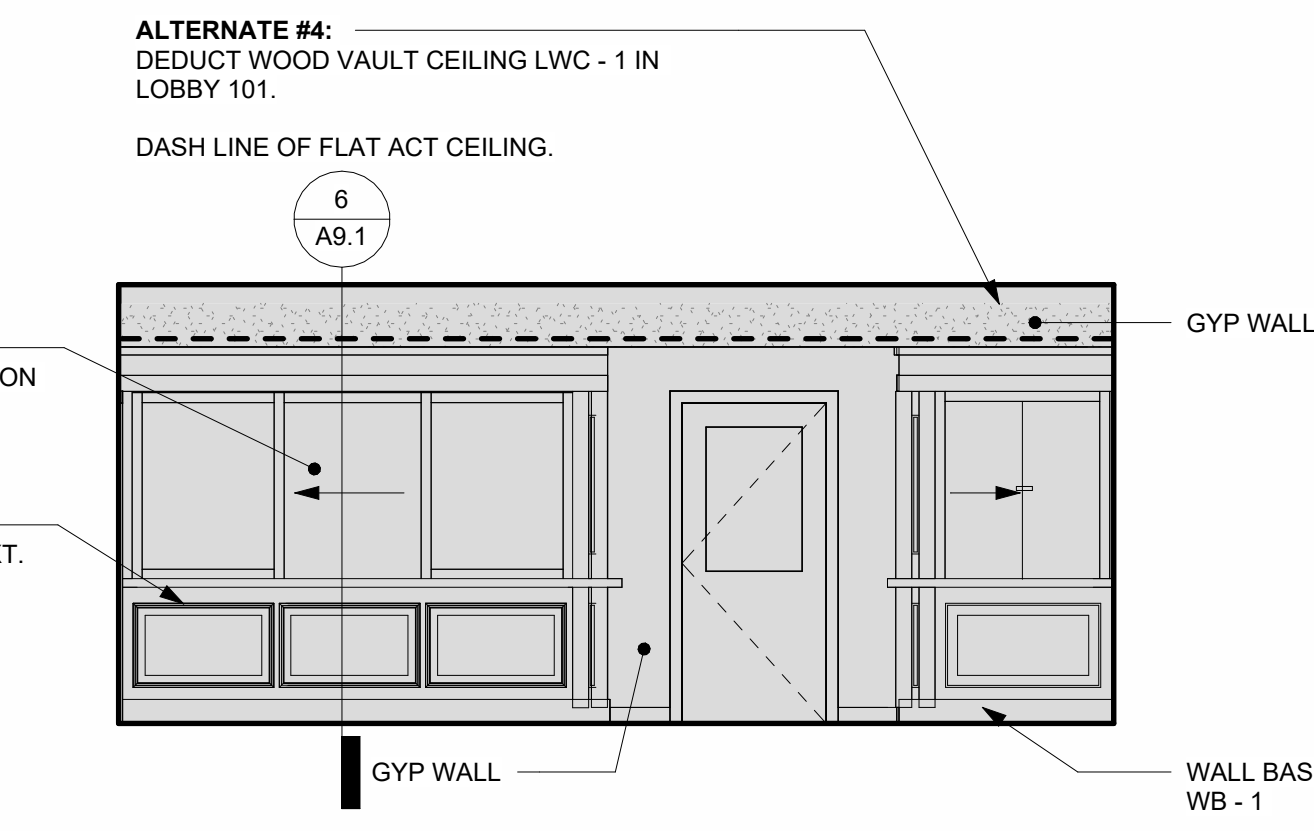
project name: **LINCOLN HALL**
 project address: **2 LINCOLN STREET ESSEX JUNCTION, VT 05452**



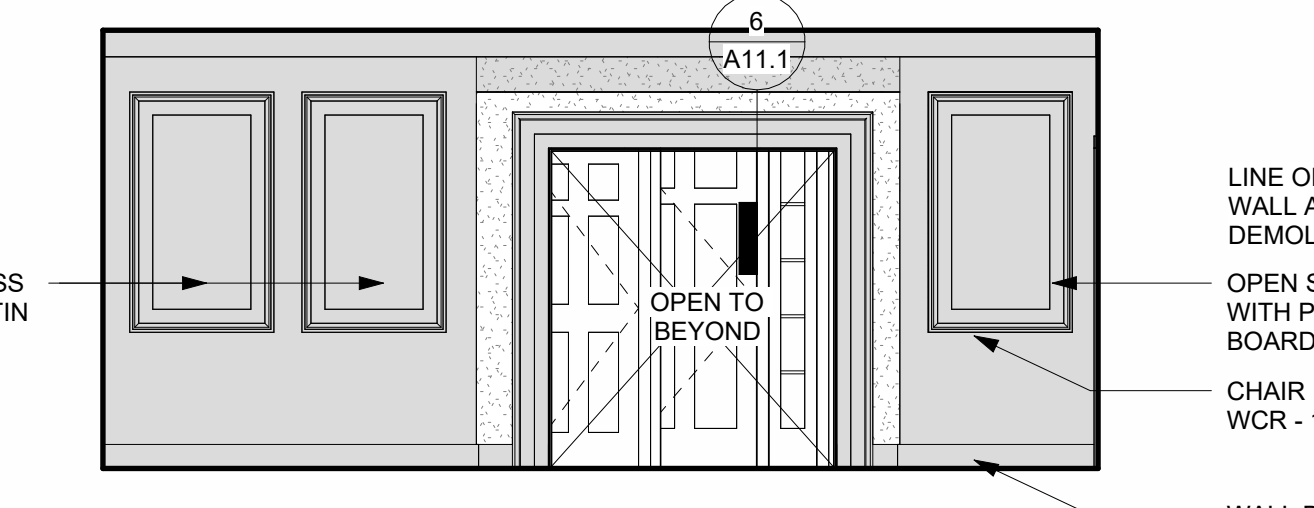
1 VESTIBULE ENLARGED PLAN
1/4" = 1'-0"



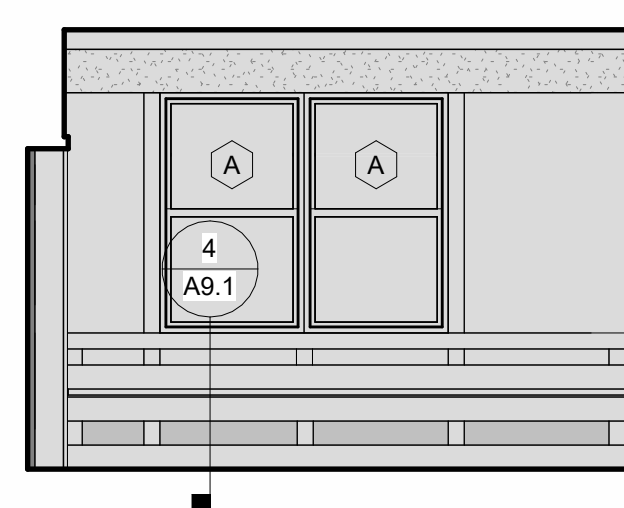
10 TEEN CENTER KICHENETTE
1/4" = 1'-0"



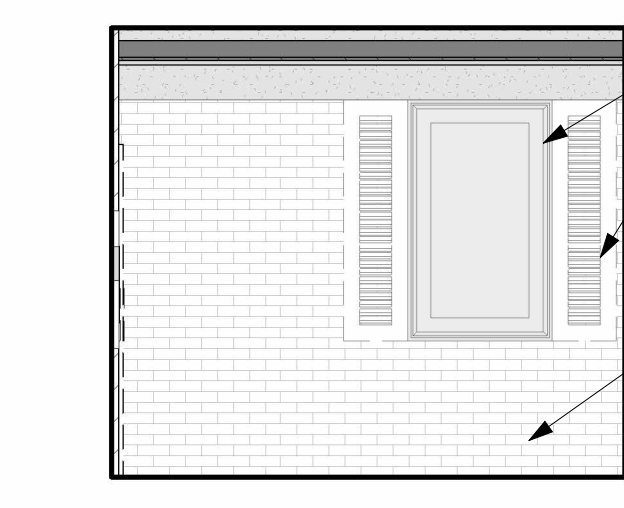
2 NORTH LOBBY INT. ELEVATION
1/4" = 1'-0"



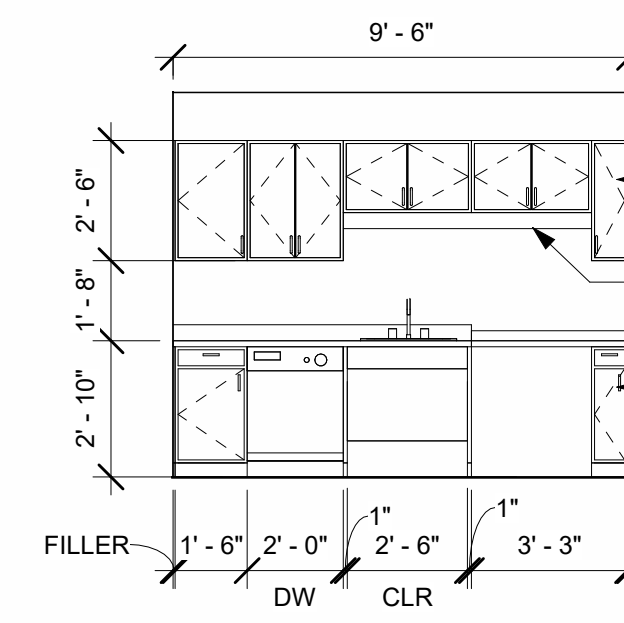
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1/4" = 1'-0"



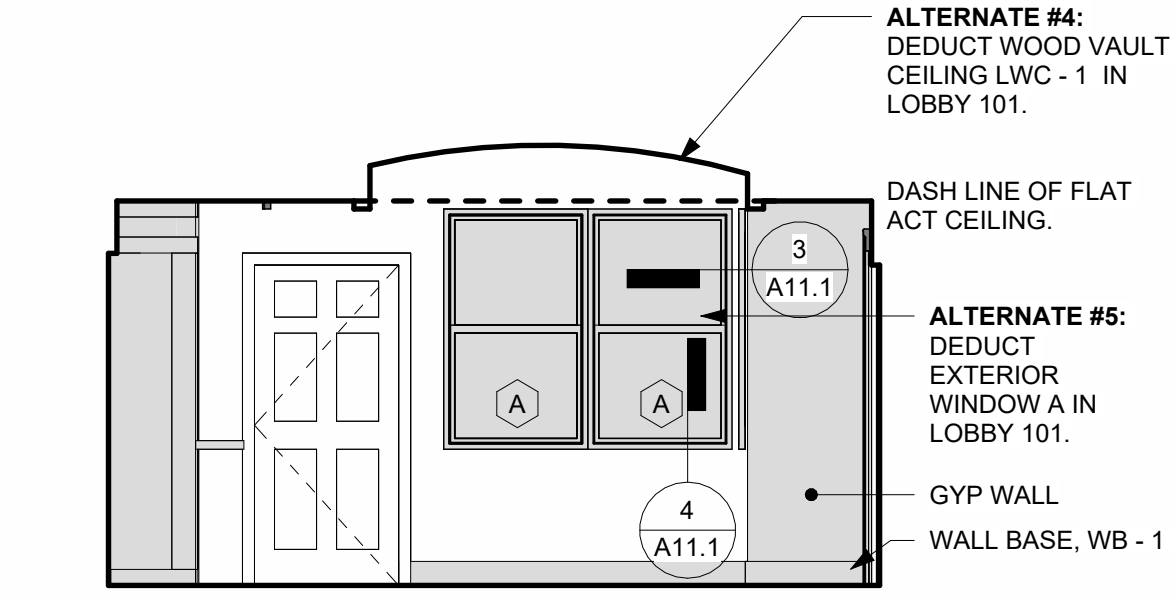
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1/4" = 1'-0"



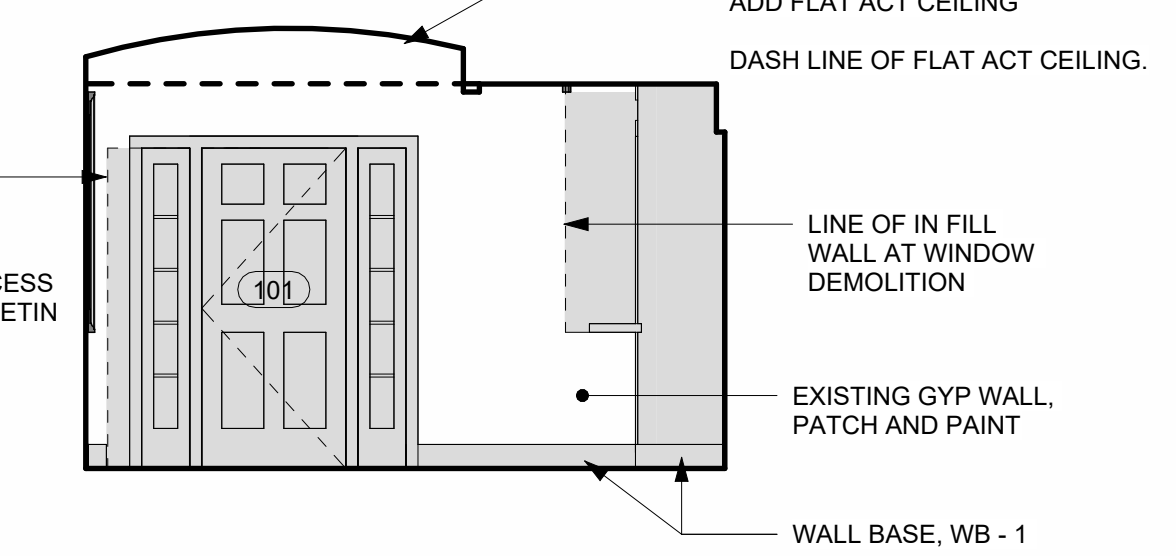
8 SOUTH VEST. INT. ELEVATION
1/4" = 1'-0"



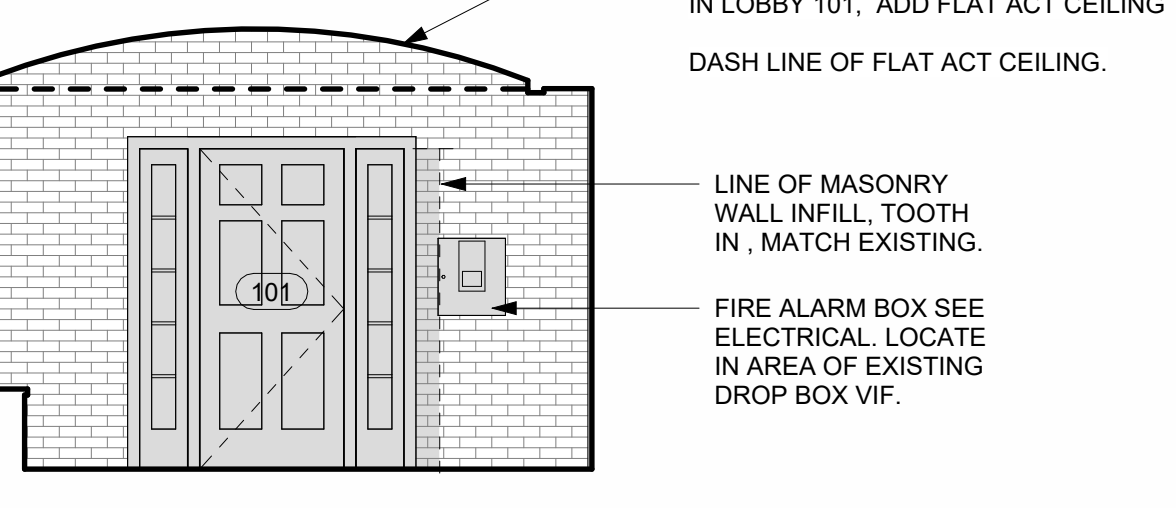
11 219 NORTH
1/4" = 1'-0"



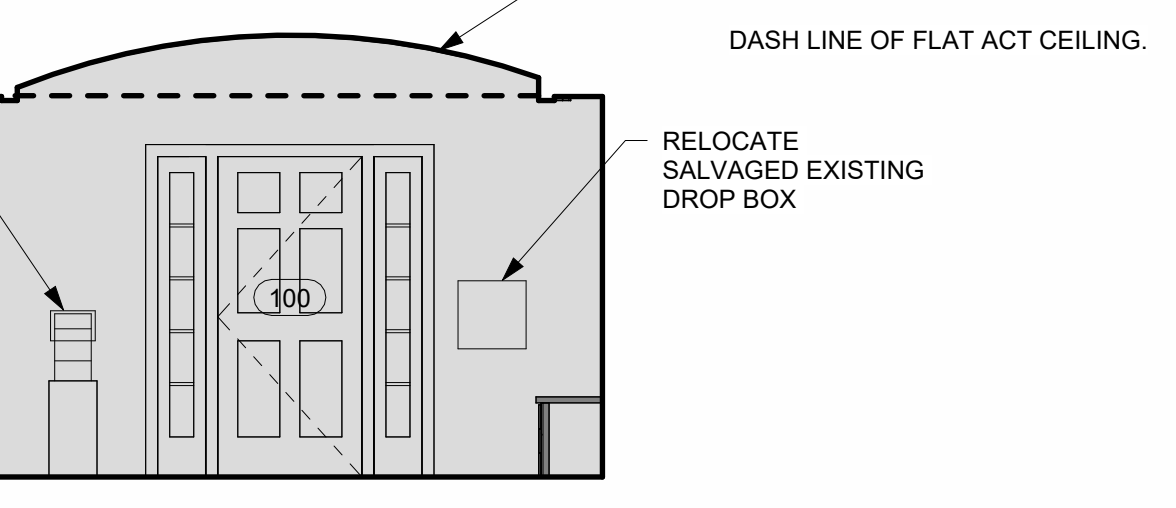
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1/4" = 1'-0"



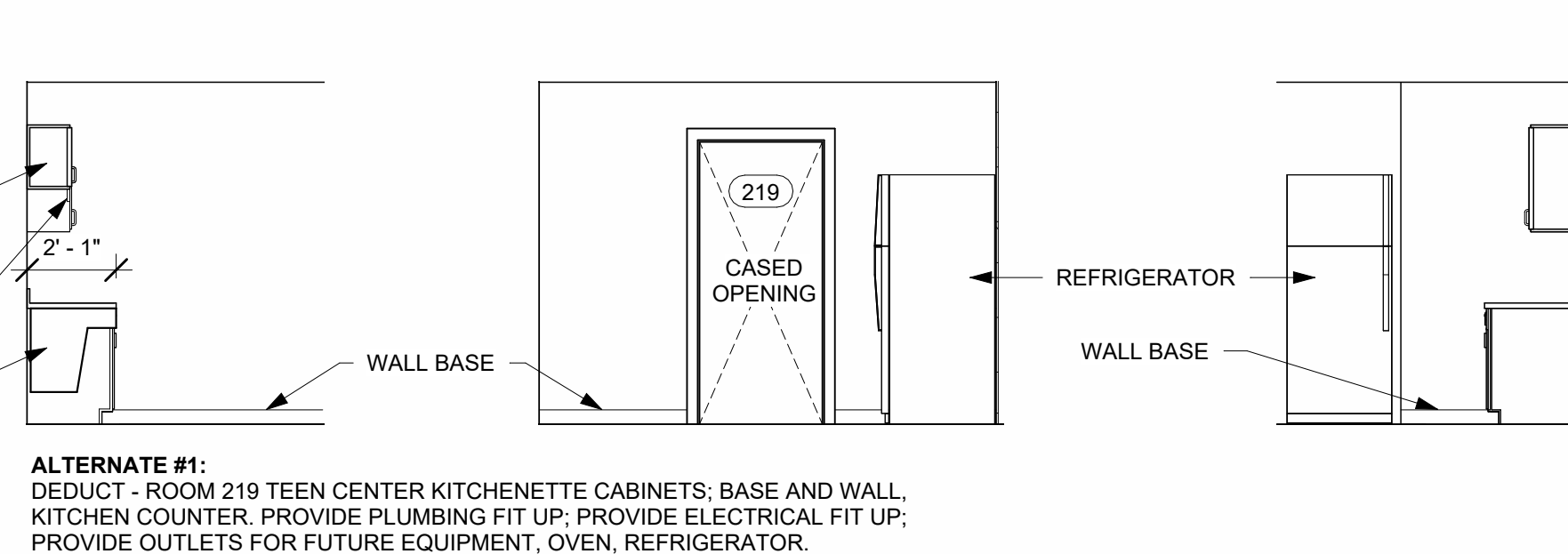
5 WEST LOBBY INT. ELEVATION
1/4" = 1'-0"



7 EAST VEST. INT. ELEVATION
1/4" = 1'-0"



9 WEST VEST. INT. ELEVATION
1/4" = 1'-0"



12 219 EAST
1/4" = 1'-0"

13 219 SOUTH
1/4" = 1'-0"

14 219 WEST
1/4" = 1'-0"

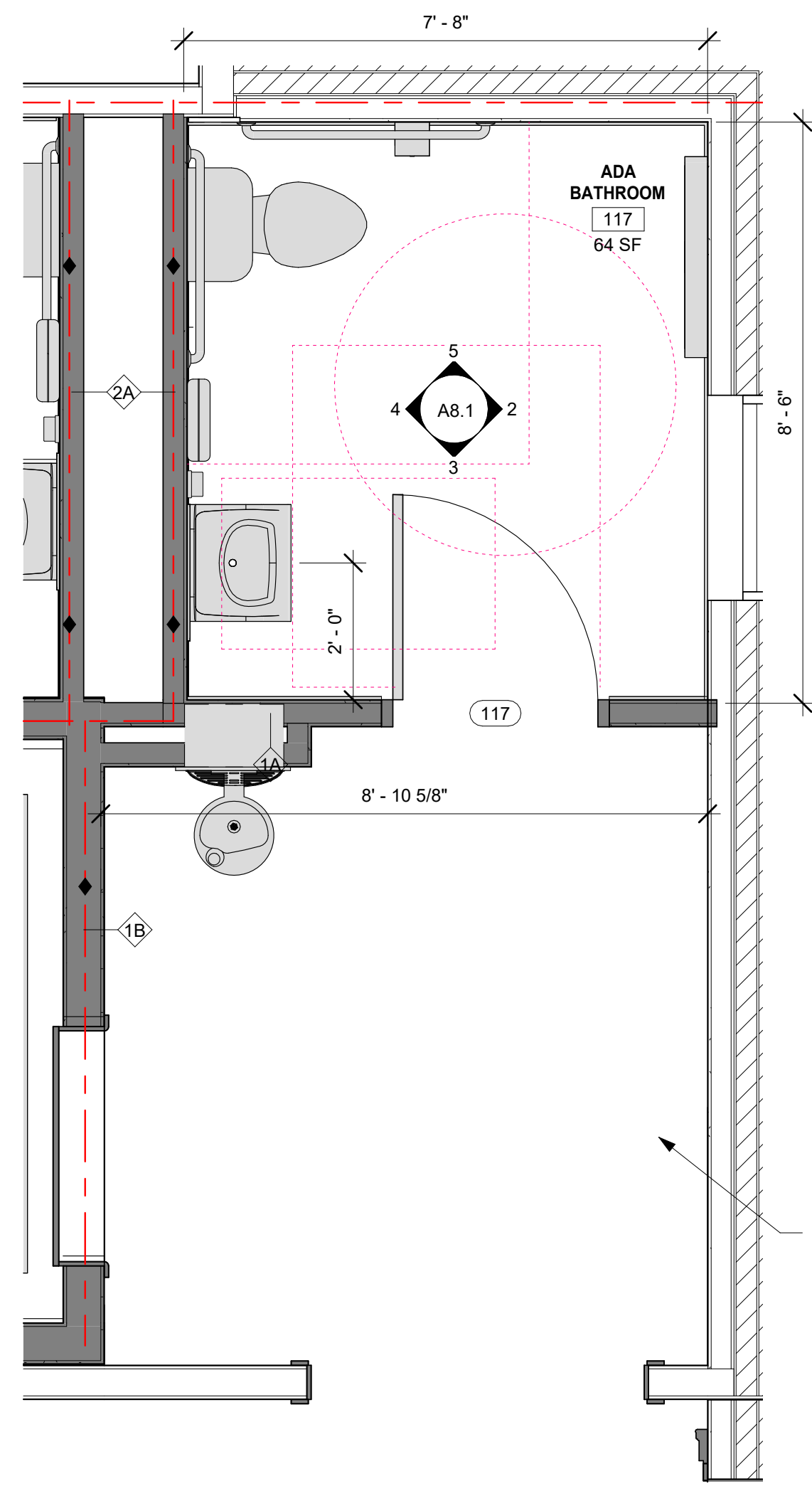
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[Thin Line]	EXISTING

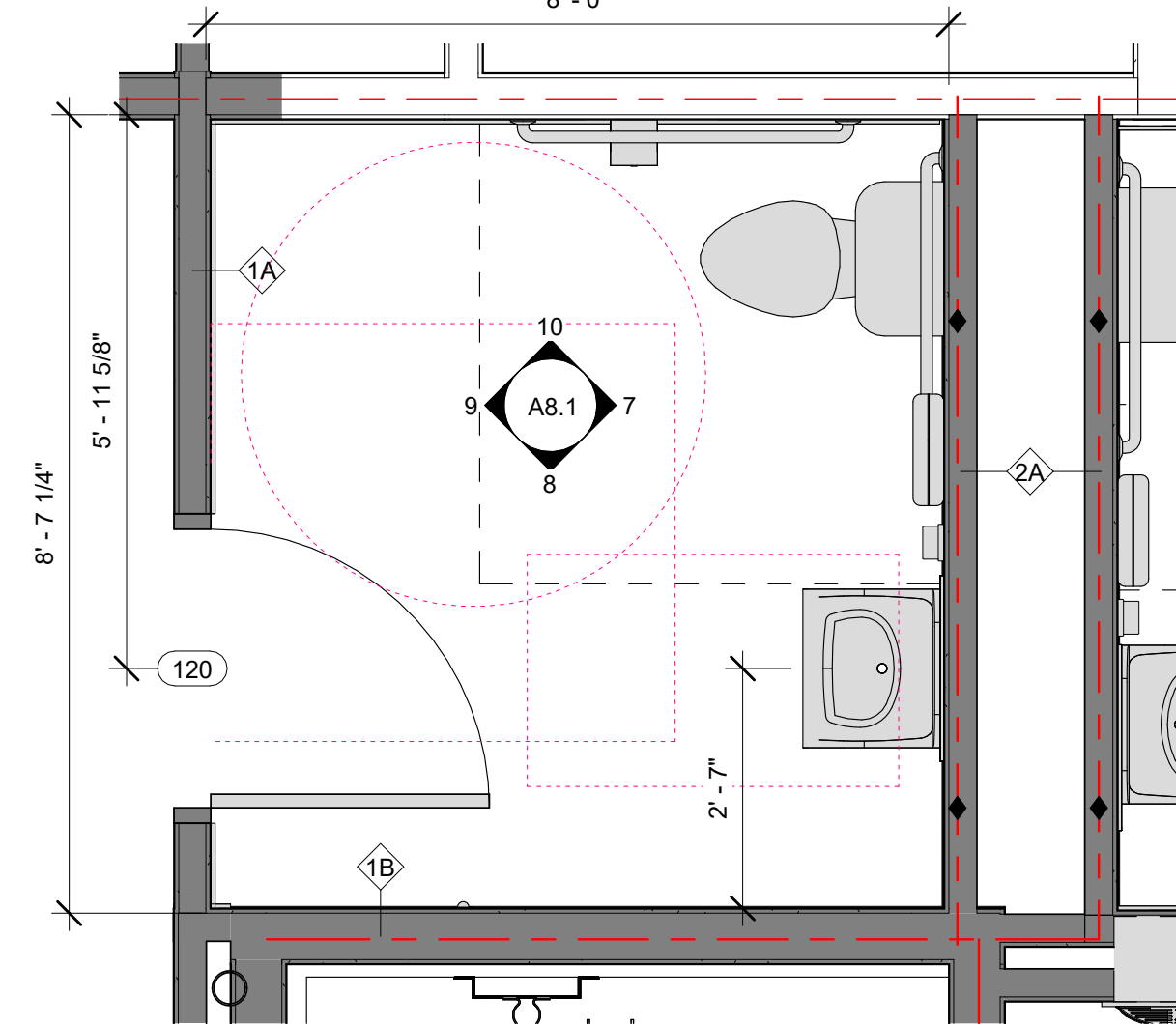
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sheet title:
ENLARGED PLANS AND INTERIOR ELEVATIONS

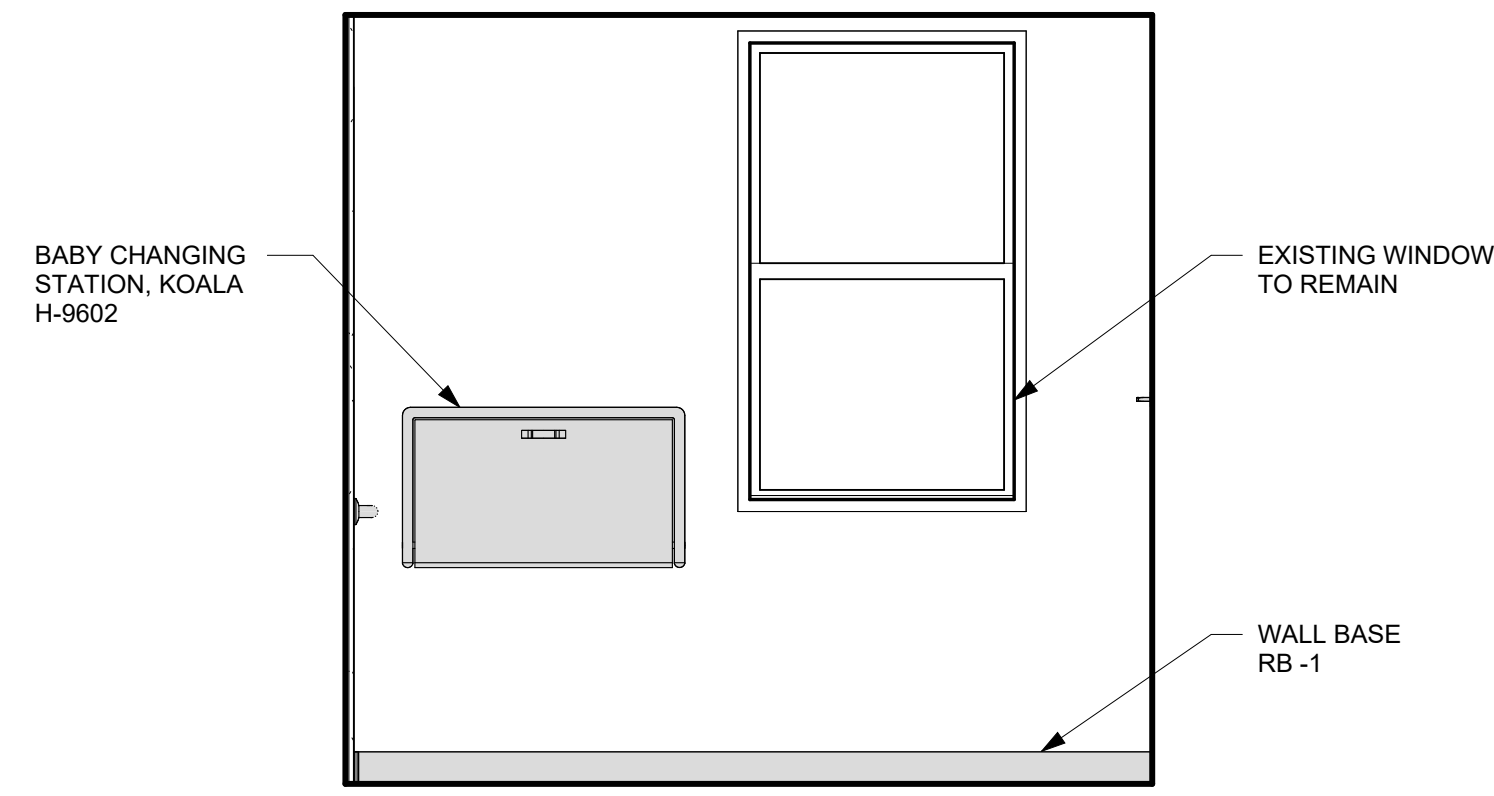
sheet no.
A8.0



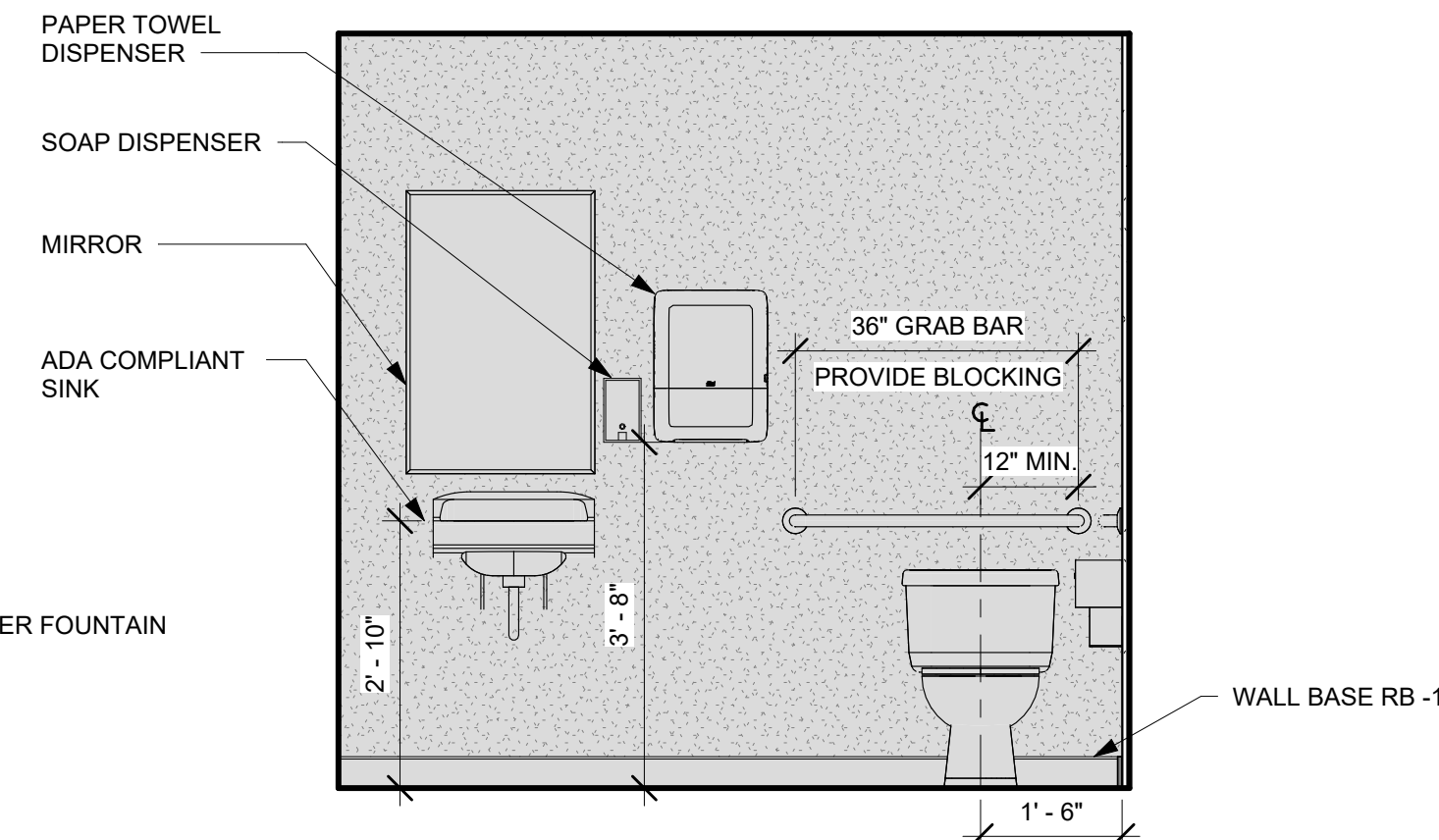
1 TYP. ADA BATHROOM A
1/2" = 1'-0"



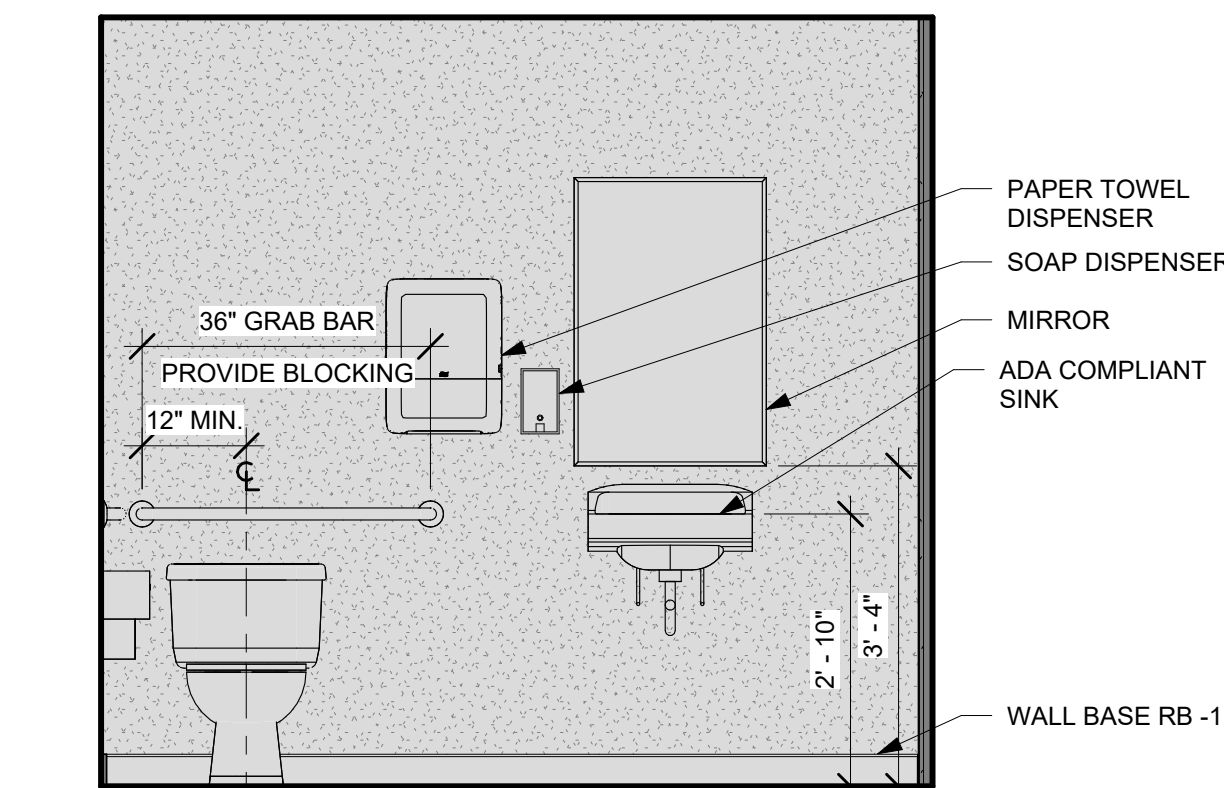
6 TYP. ADA BATHROOM B
1/2" = 1'-0"



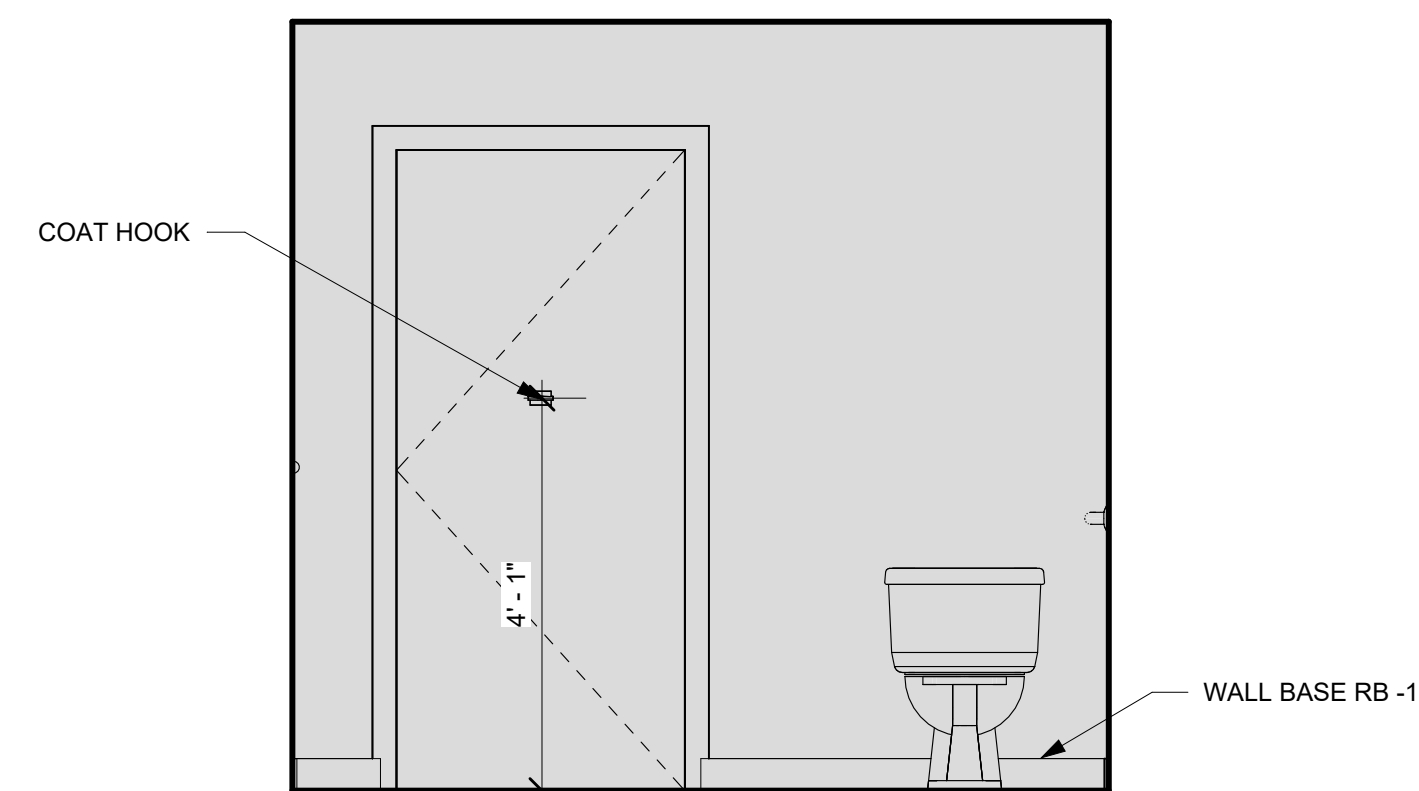
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1/2" = 1'-0"



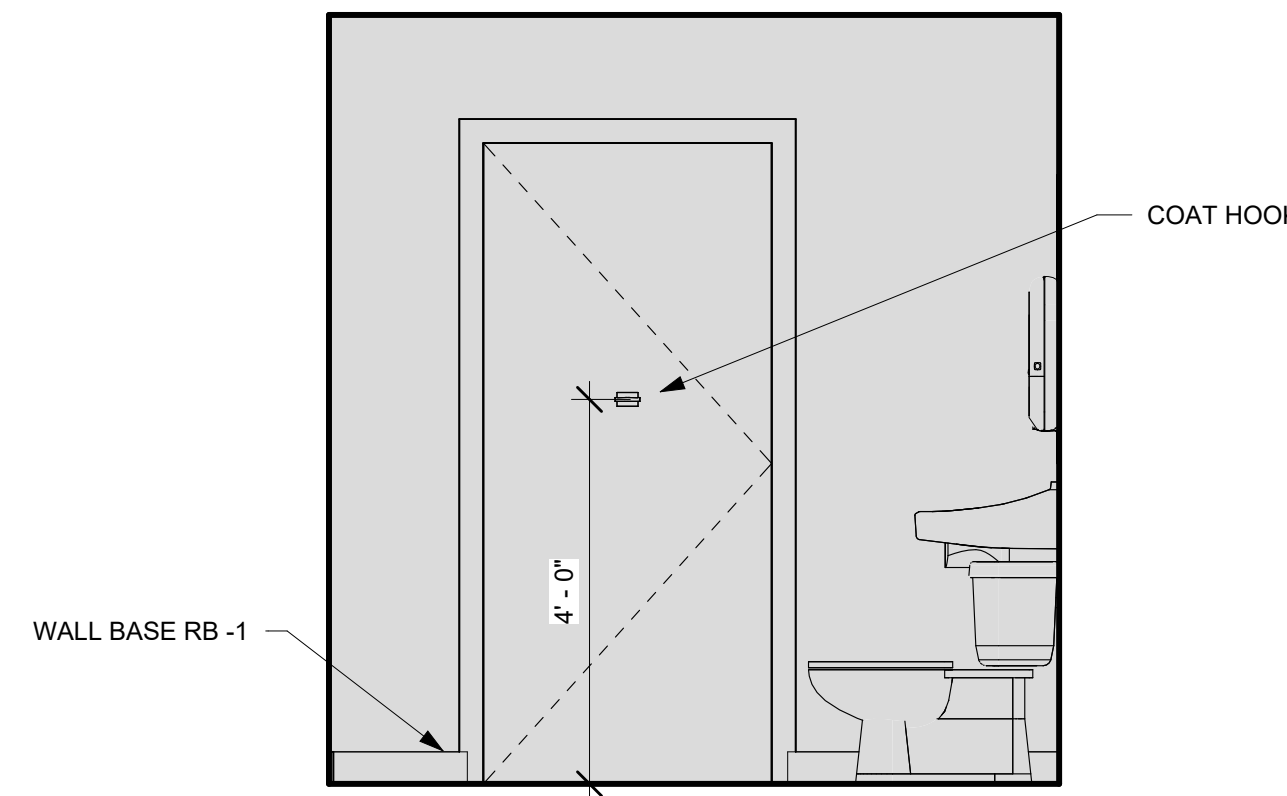
4 SOUTH BATH A INT. ELEVATION
1/2" = 1'-0"



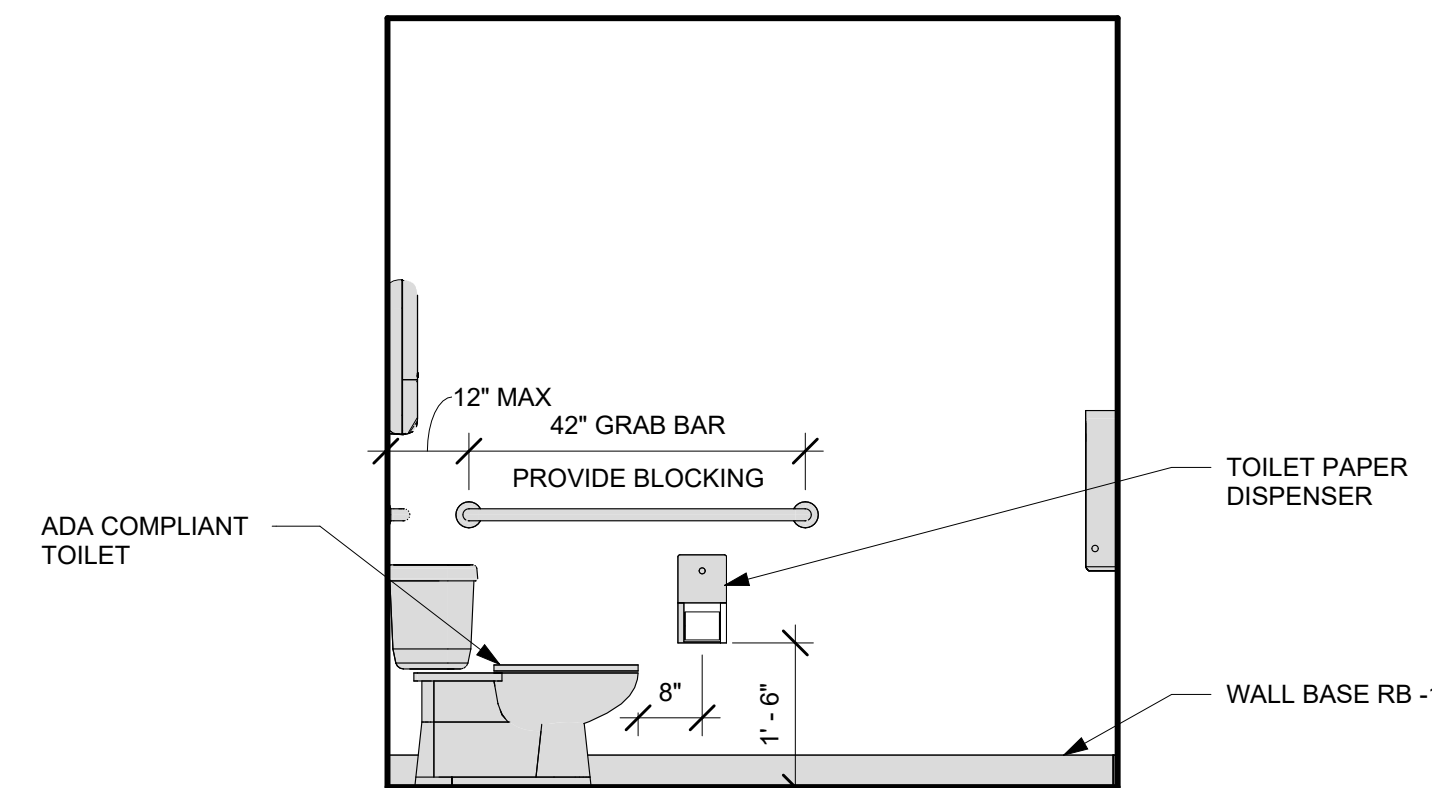
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1/2" = 1'-0"



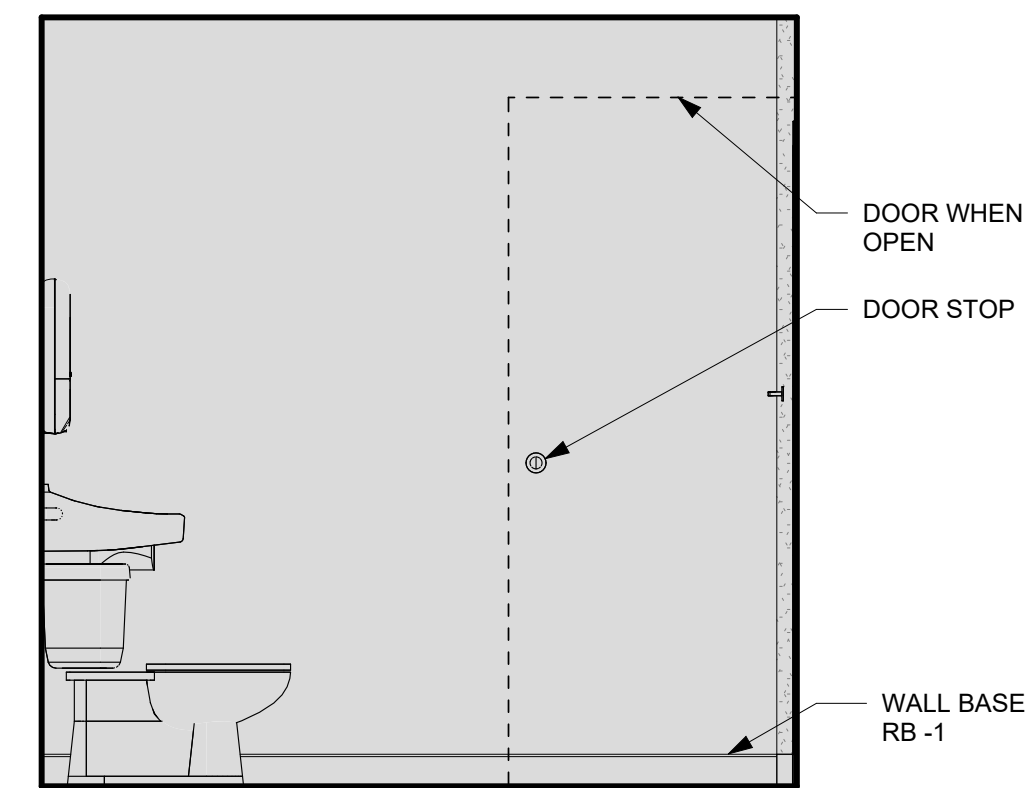
9 SOUTH BATH B INT. ELEVATION
1/2" = 1'-0"



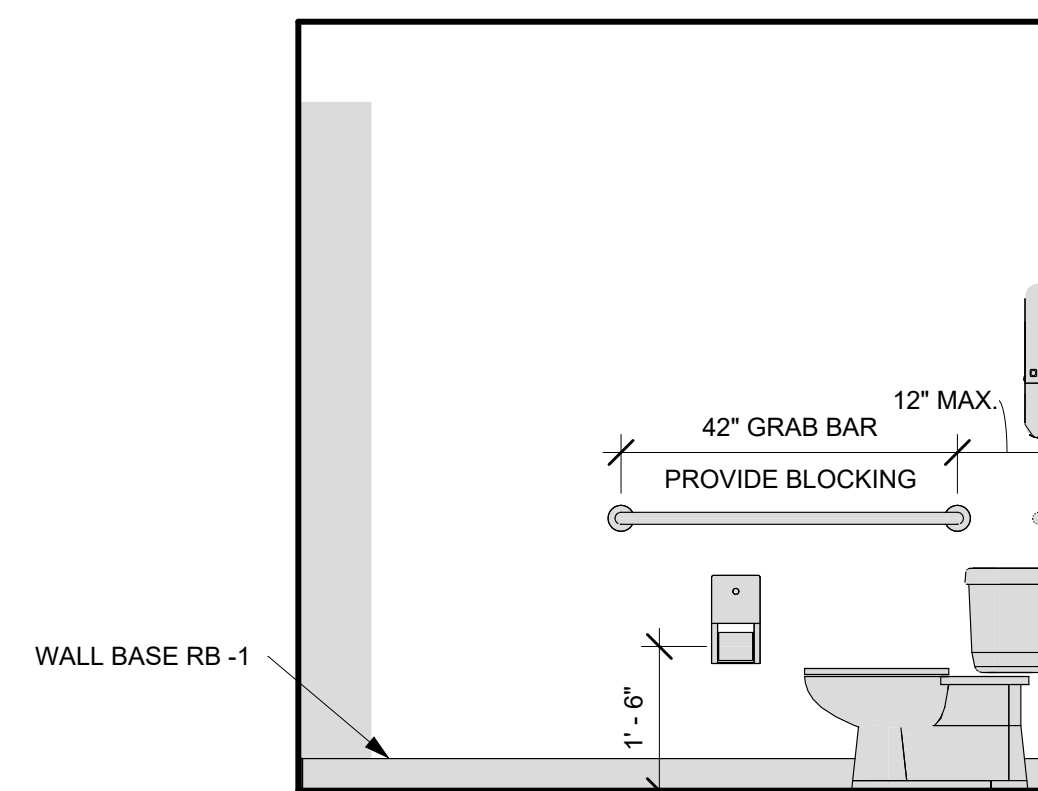
3 EAST BATH A INT. ELEVATION
1/2" = 1'-0"



5 WEST BATH A INT. ELEVATION
1/2" = 1'-0"



8 EAST BATH B INT. ELEVATION
1/2" = 1'-0"



10 WEST BATH B INT. ELEVATION
1/2" = 1'-0"

GENERAL NOTES

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DRAWING PHASE KEY

	NEW CONSTRUCTION
	DEMOLITION
	EXISTING

50% CD SET- NOT FOR CONSTRUCTION

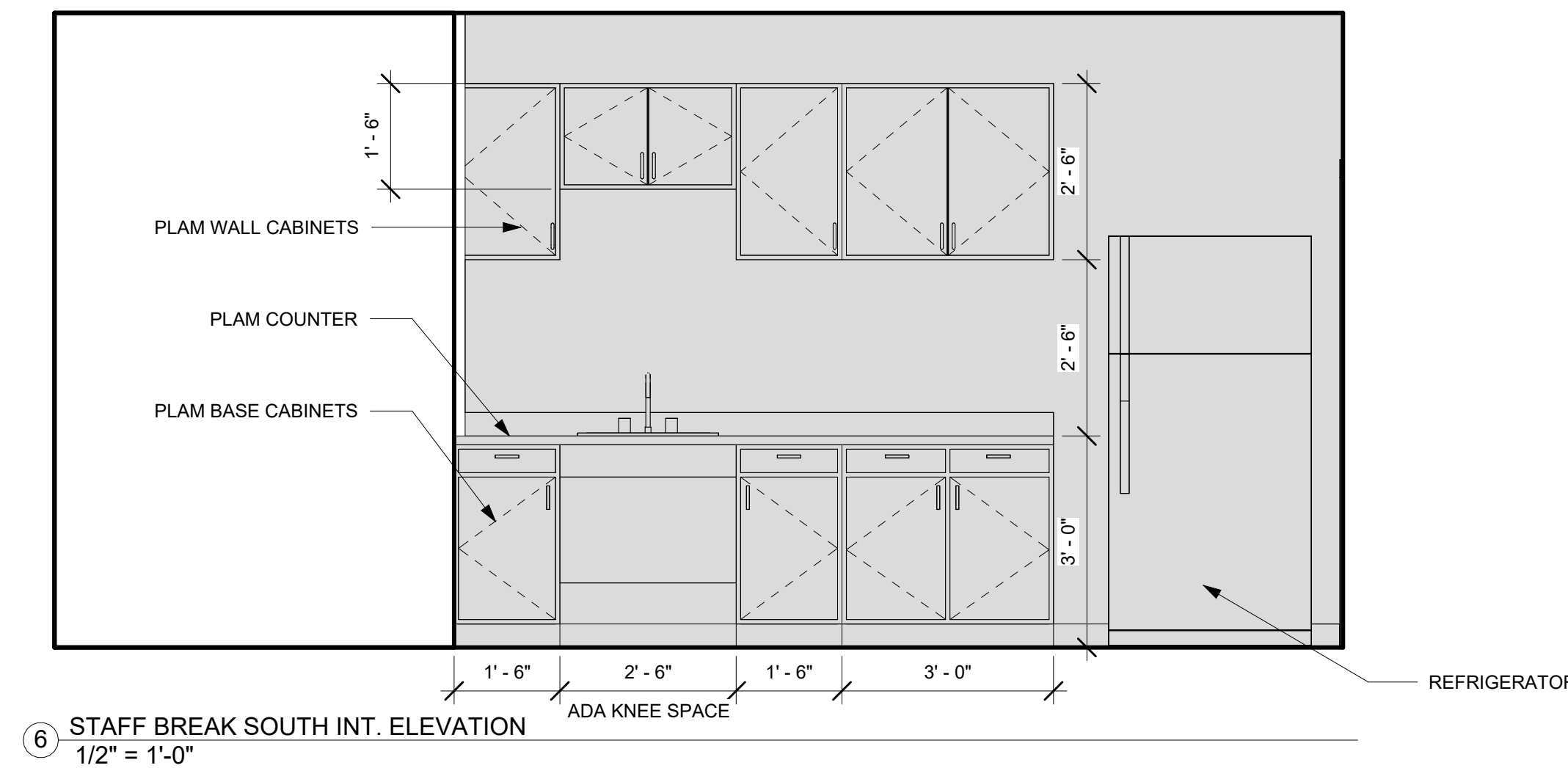
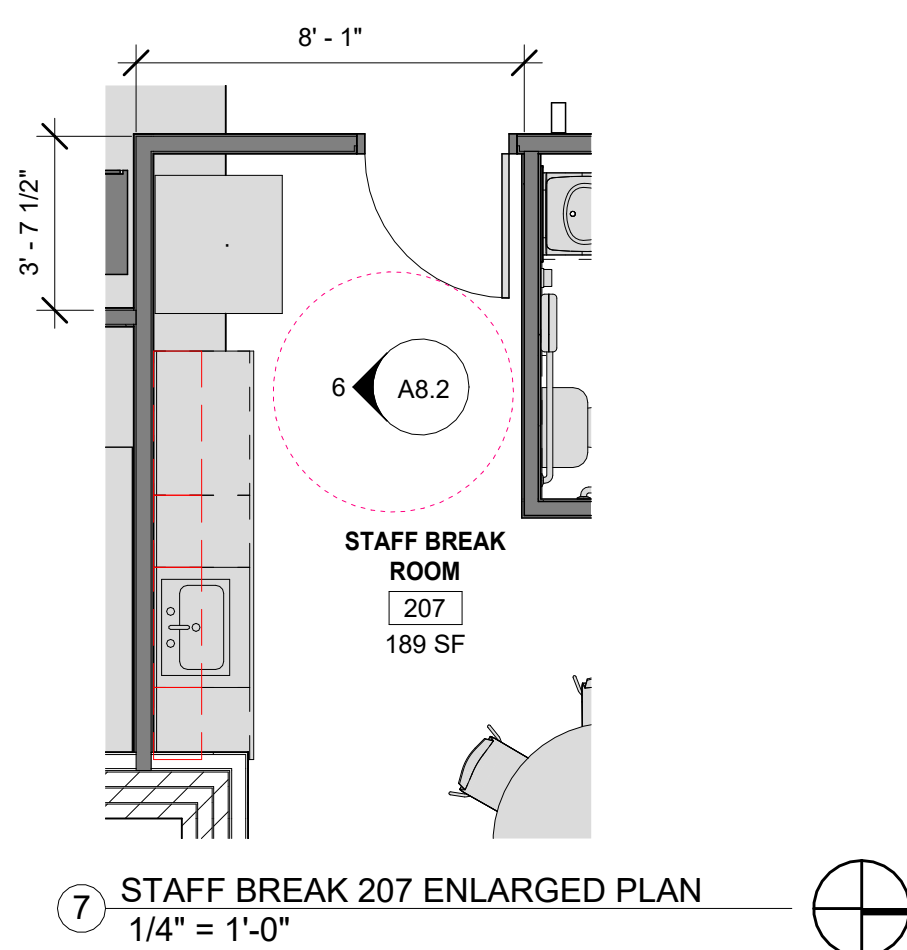
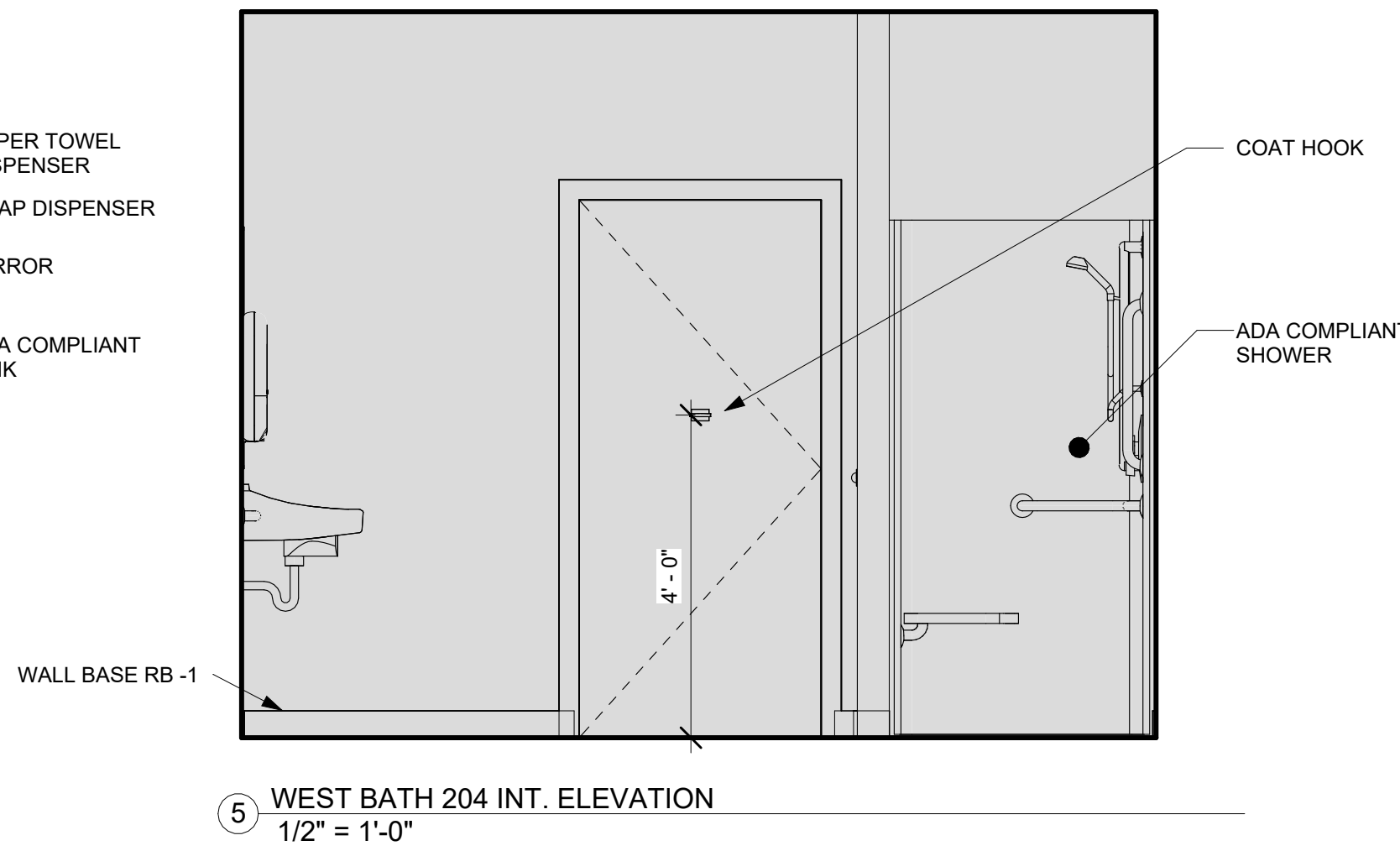
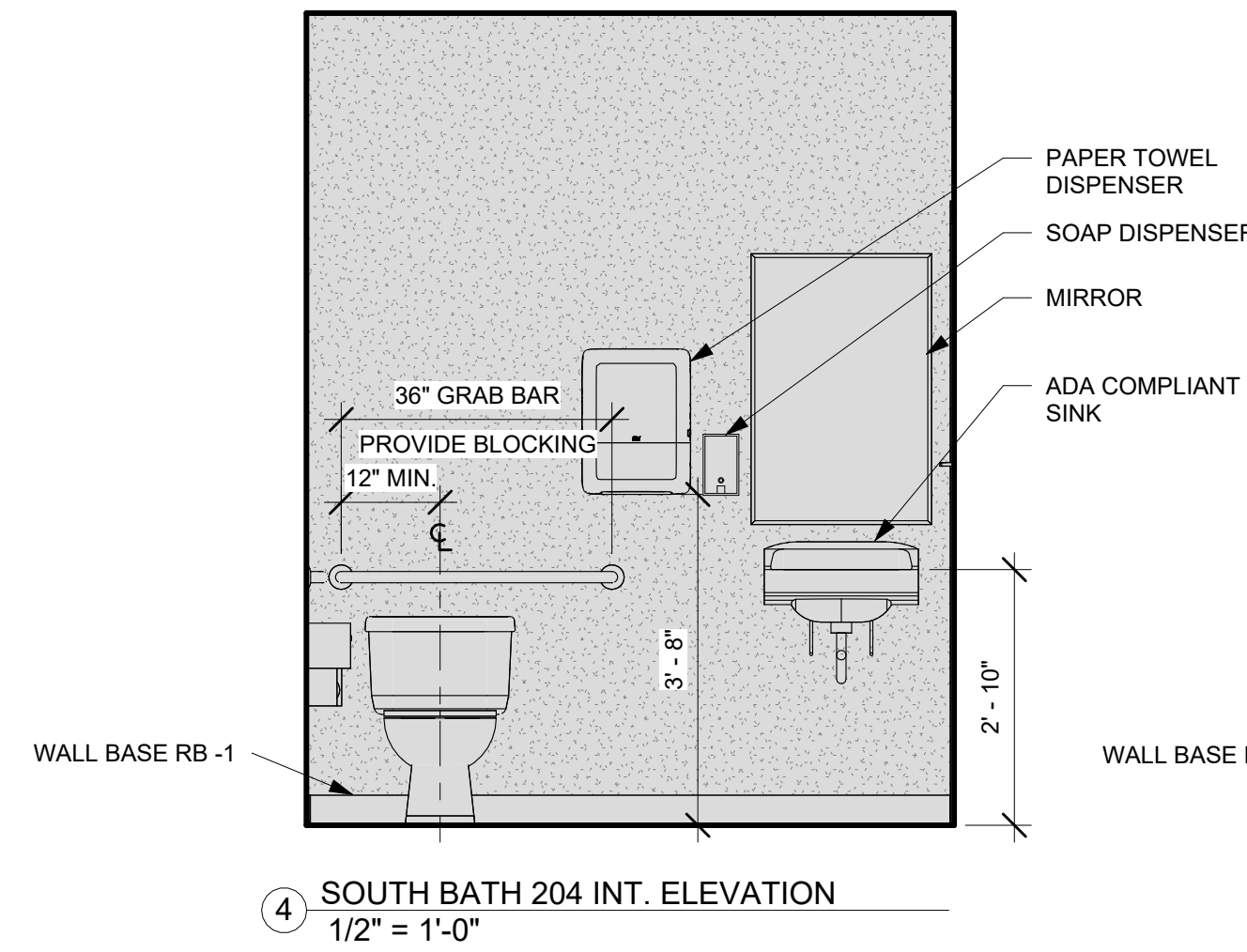
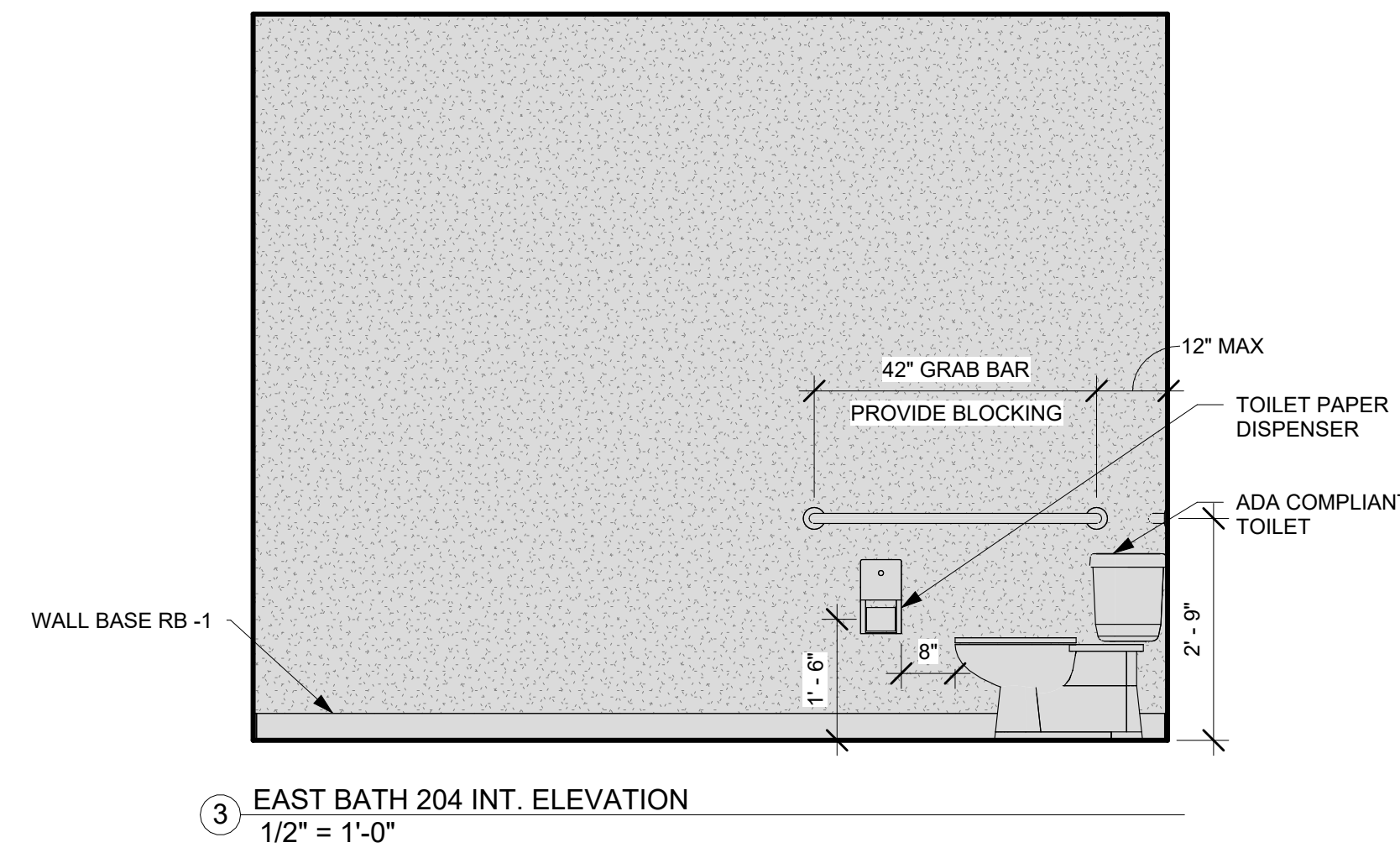
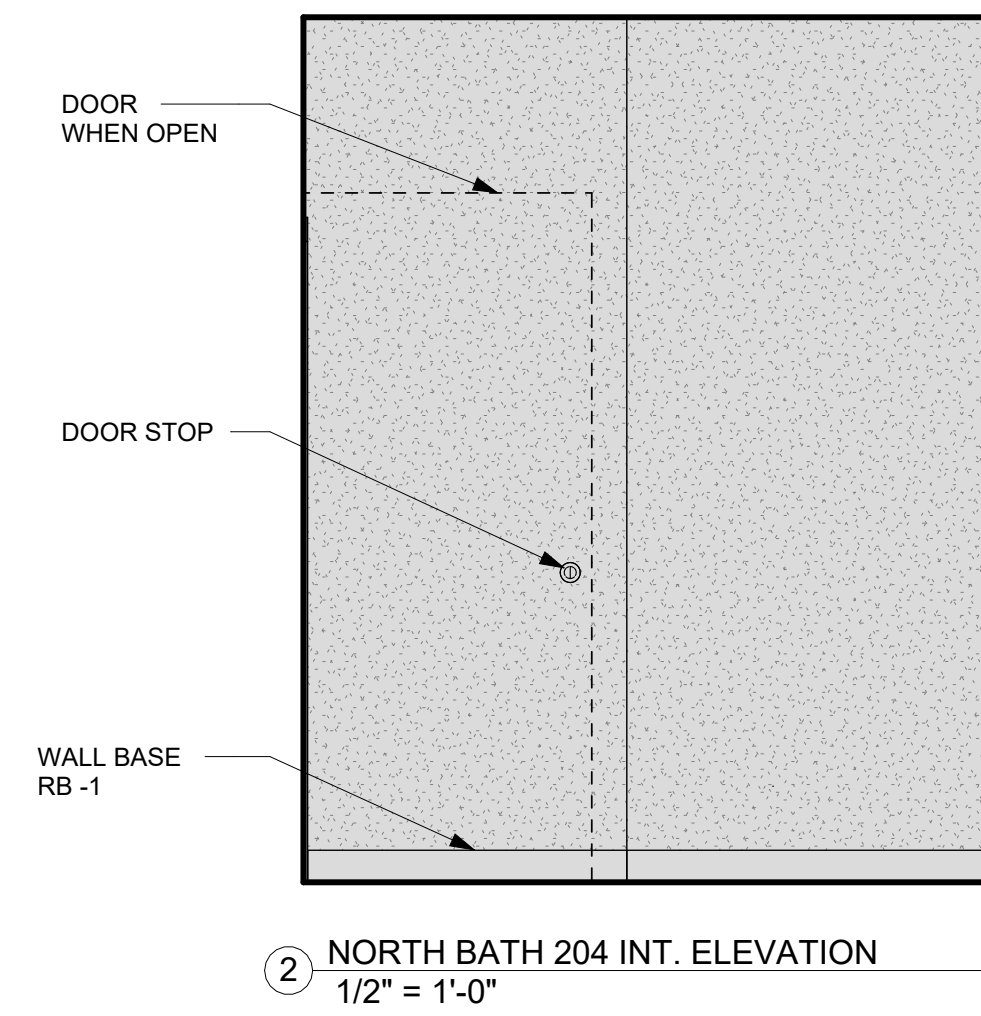
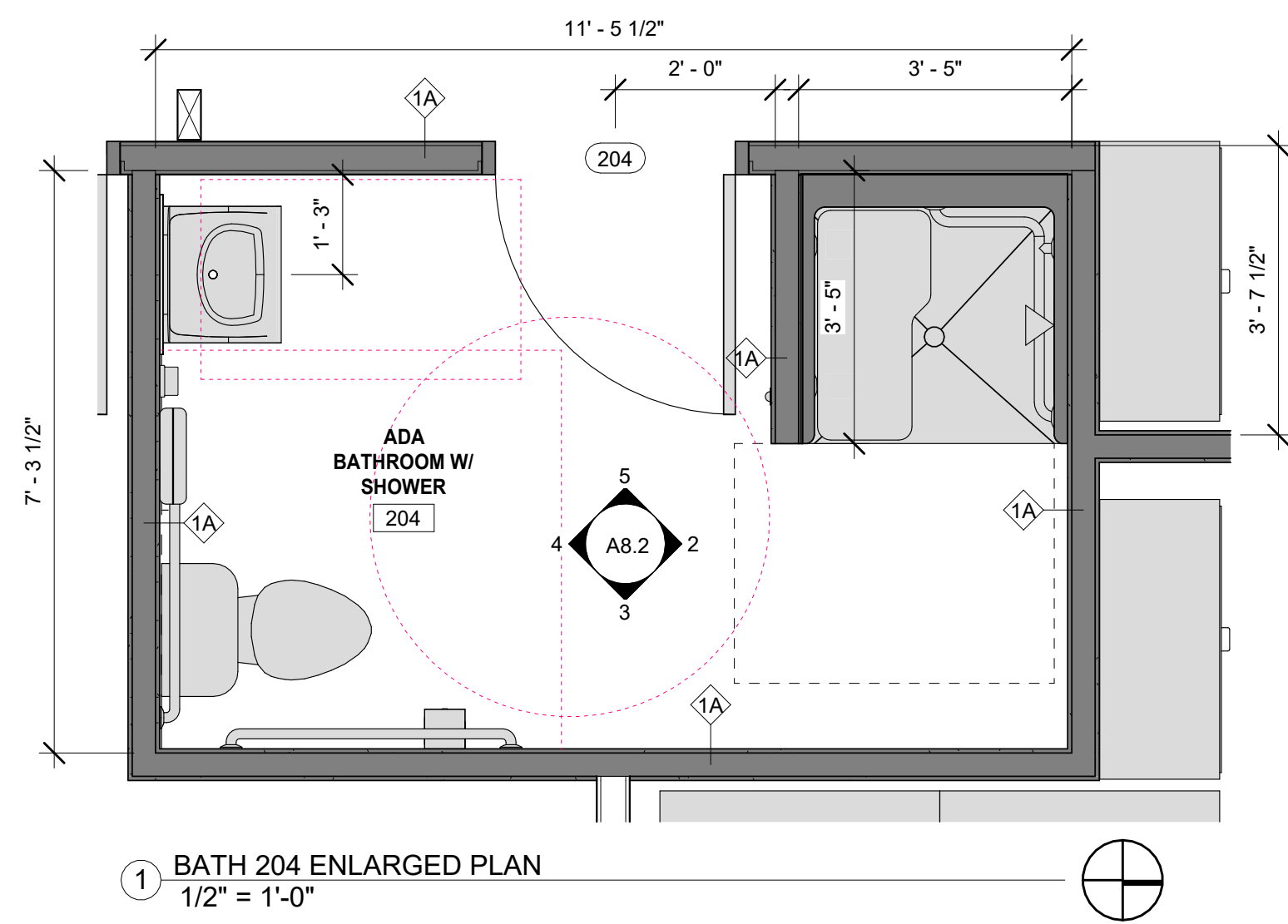
SCOTT + PARTNERS
ARCHITECTURE
7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
P. 802.879.5153 | F. 802.872.2764 | SCOTTPARTNERS.COM

project name: **LINCOLN HALL**
project address: **2 LINCOLN STREET**
ESSEX JUNCTION, VT 05452

scale: As indicated
project no. 21-1457
checked by: JA
drawn by: LMW, TN
proj. date: 2024
sheet date: 02/15/2024

No	Date	Revisions

sheet title: **ENLARGED PLANS AND INTERIOR ELEVATIONS**
sheet no. **A8.1**



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DRAWING PHASE KEY

	NEW CONSTRUCTION
	DEMOLITION
	EXISTING

SCOTT + PARTNERS
ARCHITECTURE

7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
P 802.879.5193 | F 802.872.2764 | SCOTTPARTNERS.COM

project name: **LINCOLN HALL**

project address: **2 LINCOLN STREET ESSEX JUNCTION, VT 05452**

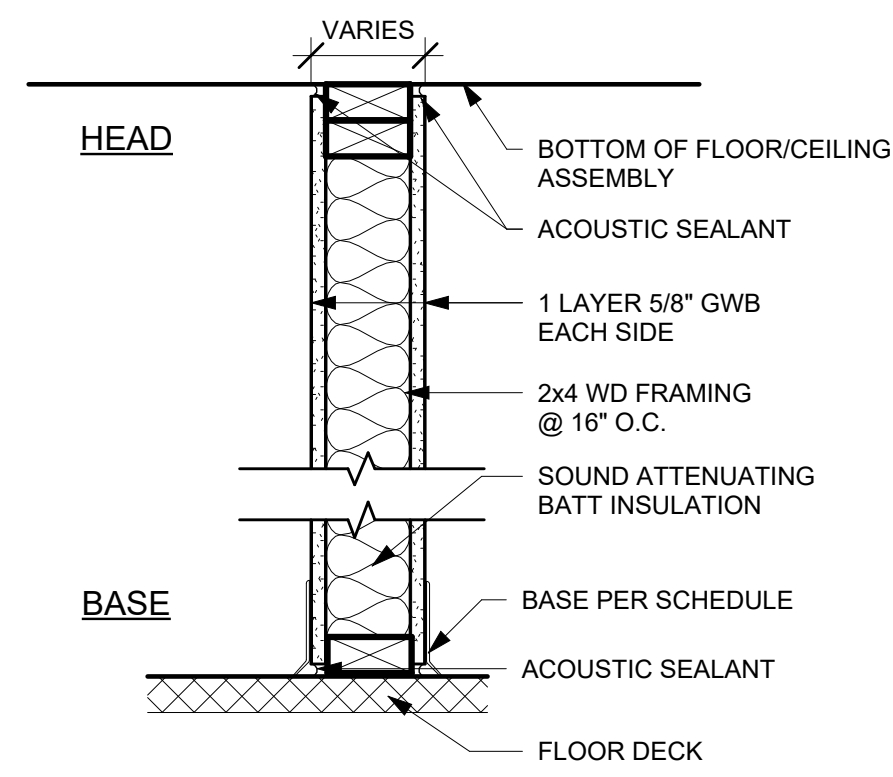
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project no.	21-1457
checked by:	JA
drawn by:	LMW, TN
proj. date:	2024
sheet date:	02/15/2024

No	Date	Revisions

sheet title:
ENLARGED PLANS AND INTERIOR ELEVATIONS

sheet no.
A8.2

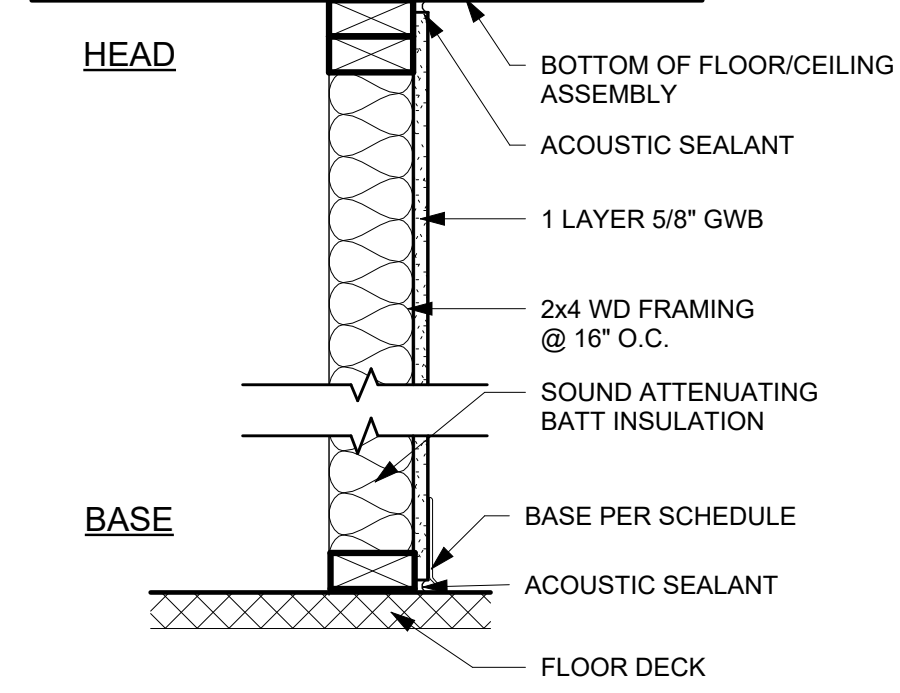
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1A 2X4 INTERIOR PARTITION GWB BOTH SIDES

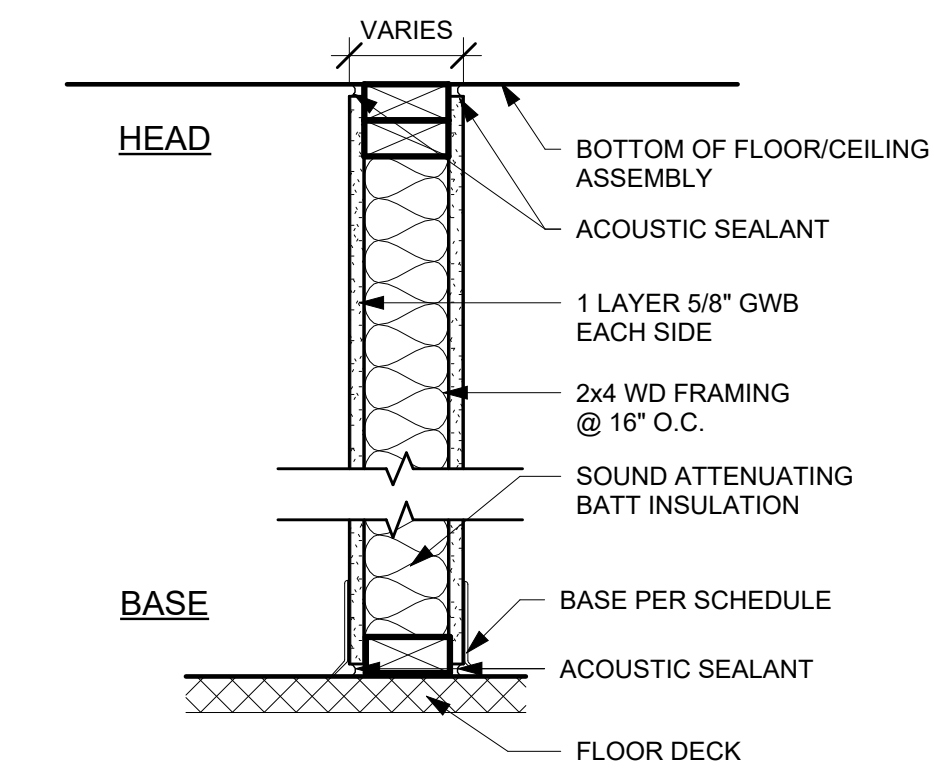
1B 2X6 INTERIOR PARTITION GWB BOTH SIDES

UL U305	
FIRE RATING:	1 HOUR
STC RATING:	32
SOUND TEST:	RAL-TL11-129
SYSTEM THICKNESS:	4-3/4"
LOCATION:	INTERIOR
FRAMING TYPE:	WOOD STUD (LOAD-BEARING)

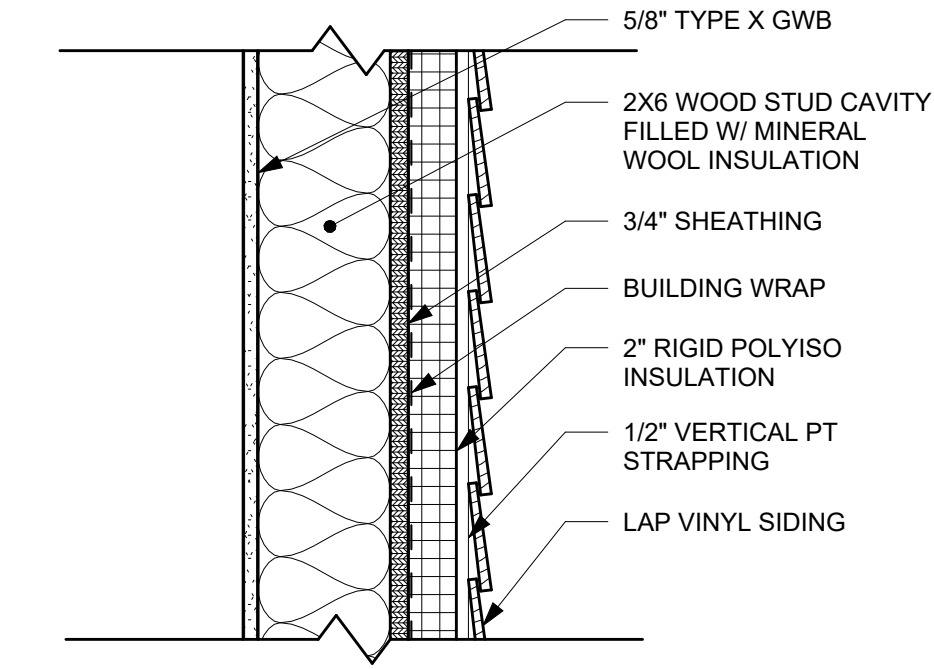


2A 2X4 INTERIOR PARTITION GWB ONE SIDE

2B 2X6 INTERIOR PARTITION GWB ONE SIDE

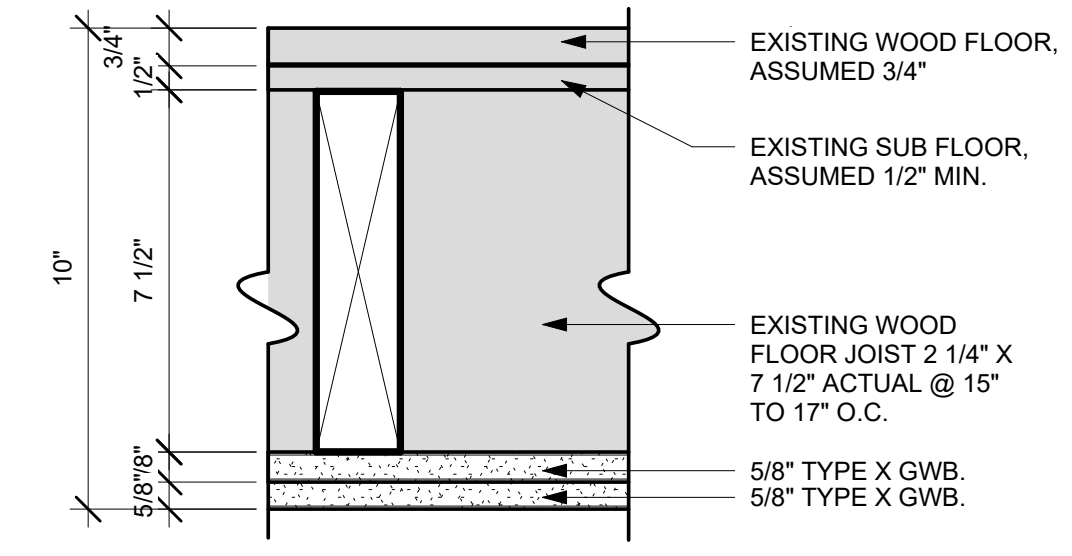


3 2X4 INTERIOR PARTITION GWB BOTH SIDES



4 TYP. EXTERIOR WALL ASSEMBLY

BUILDING ENVELOPE SUMMARY	
WOOD FRAMING:	R - 19 + R8ci



1 HOUR RATED ASSEMBLY	
AS DEFINED BY IBC TABLE 721.1 (3) 21.	
FIRE RATING:	1 HOUR
STC RATING:	
SOUND TEST:	
SYSTEM THICKNESS:	9 1/2"
LOCATION:	INTERIOR
FRAMING TYPE:	WOOD JOIST

12 1 HOUR RATED CEILING
3" = 1'-0"

SCOTT + PARTNERS
ARCHITECTURE

7 CARMICHAEL ST. ESSEX JUNCTION, VT 05452
P 802.879.5153 | F 802.872.2764 | SCOTTPARTNERS.COM

project name:
LINCOLN HALL

project address:
2 LINCOLN STREET
05452

ESSEX JUNCTION, VT

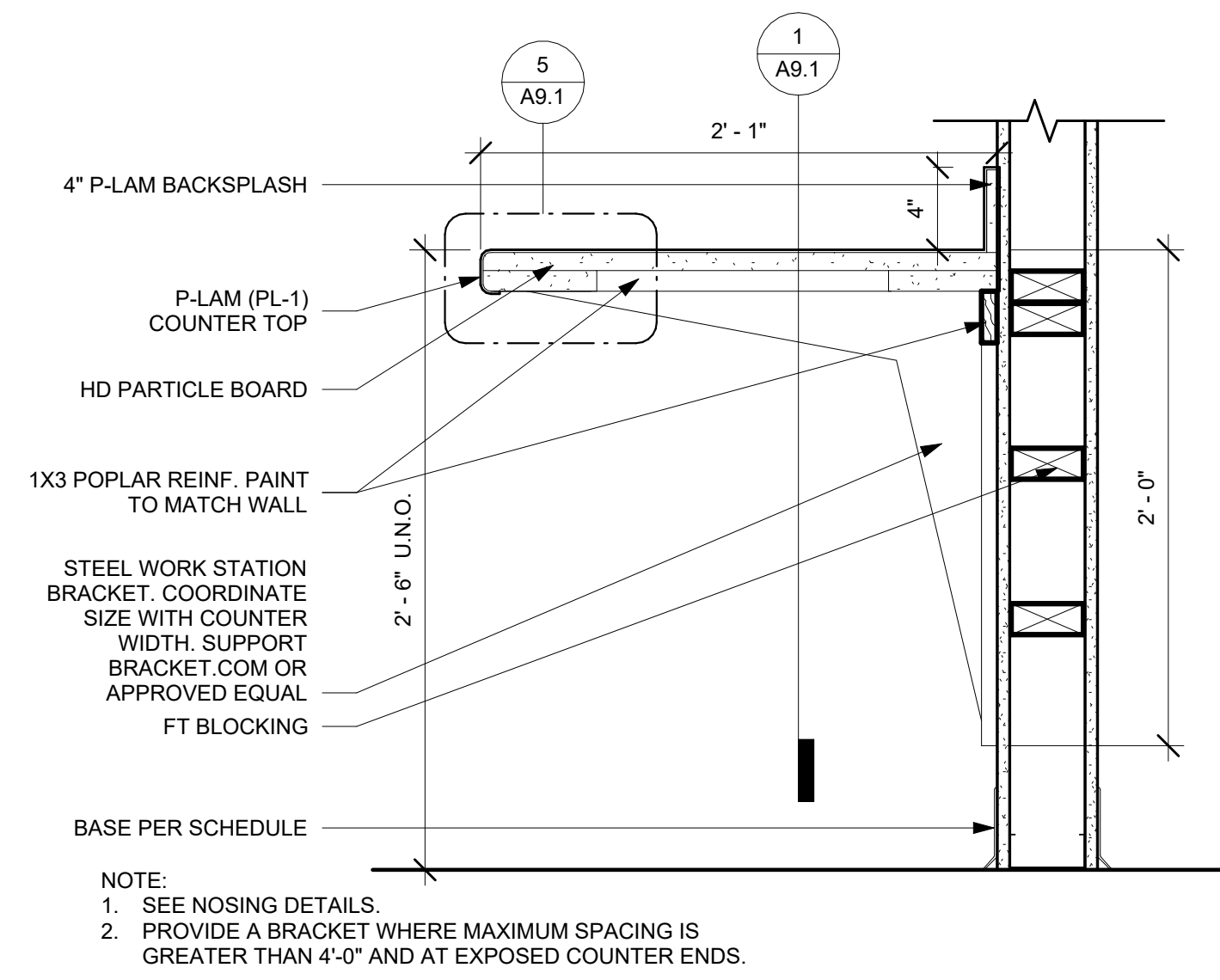
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checked by:	JA
drawn by:	LMW, TN
proj. date:	2024
sheet date:	02/15/2024

No	Date	Revisions

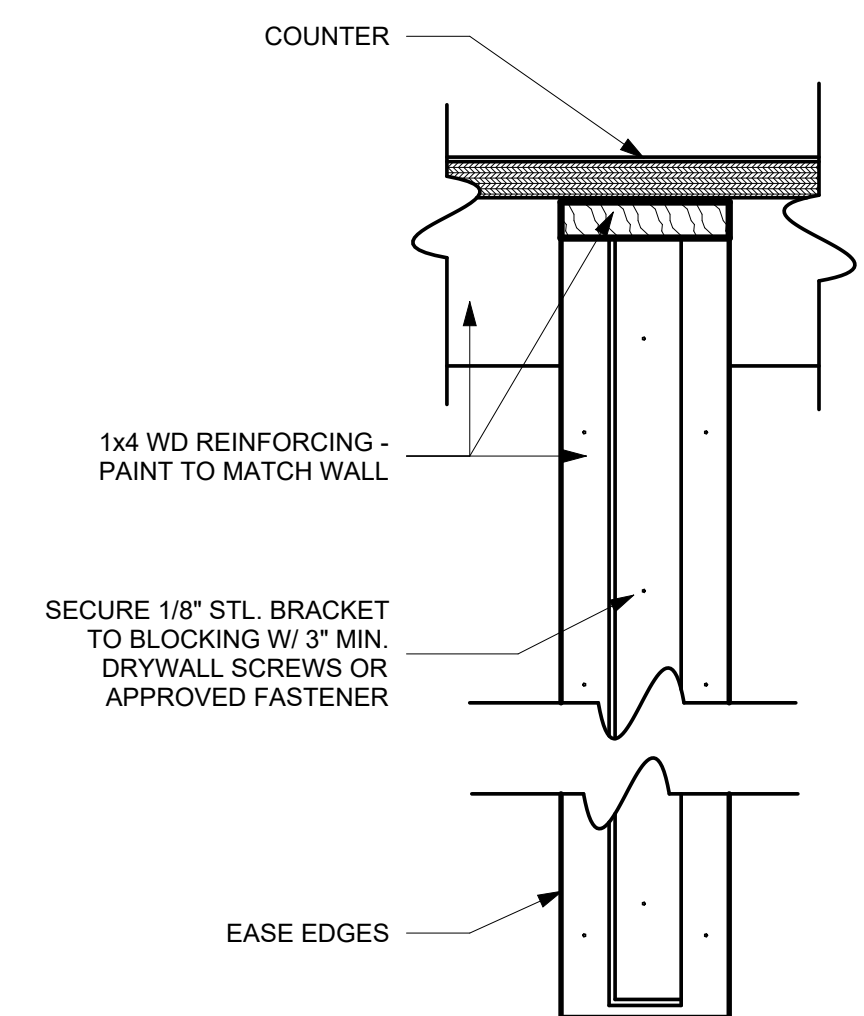
sheet title:
WALL TYPES

sheet no.
A9.0

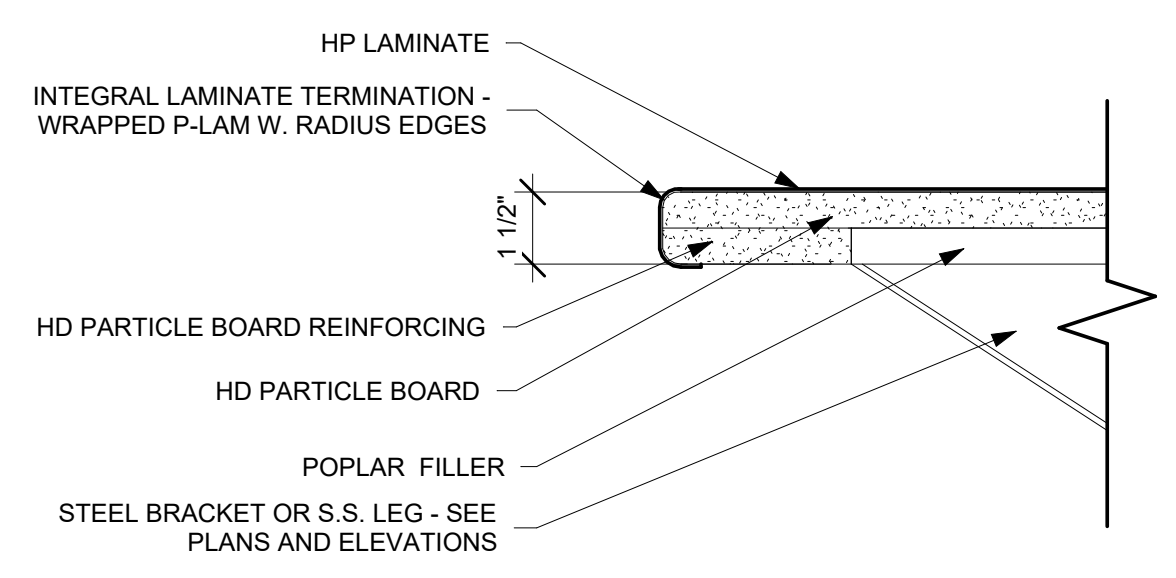
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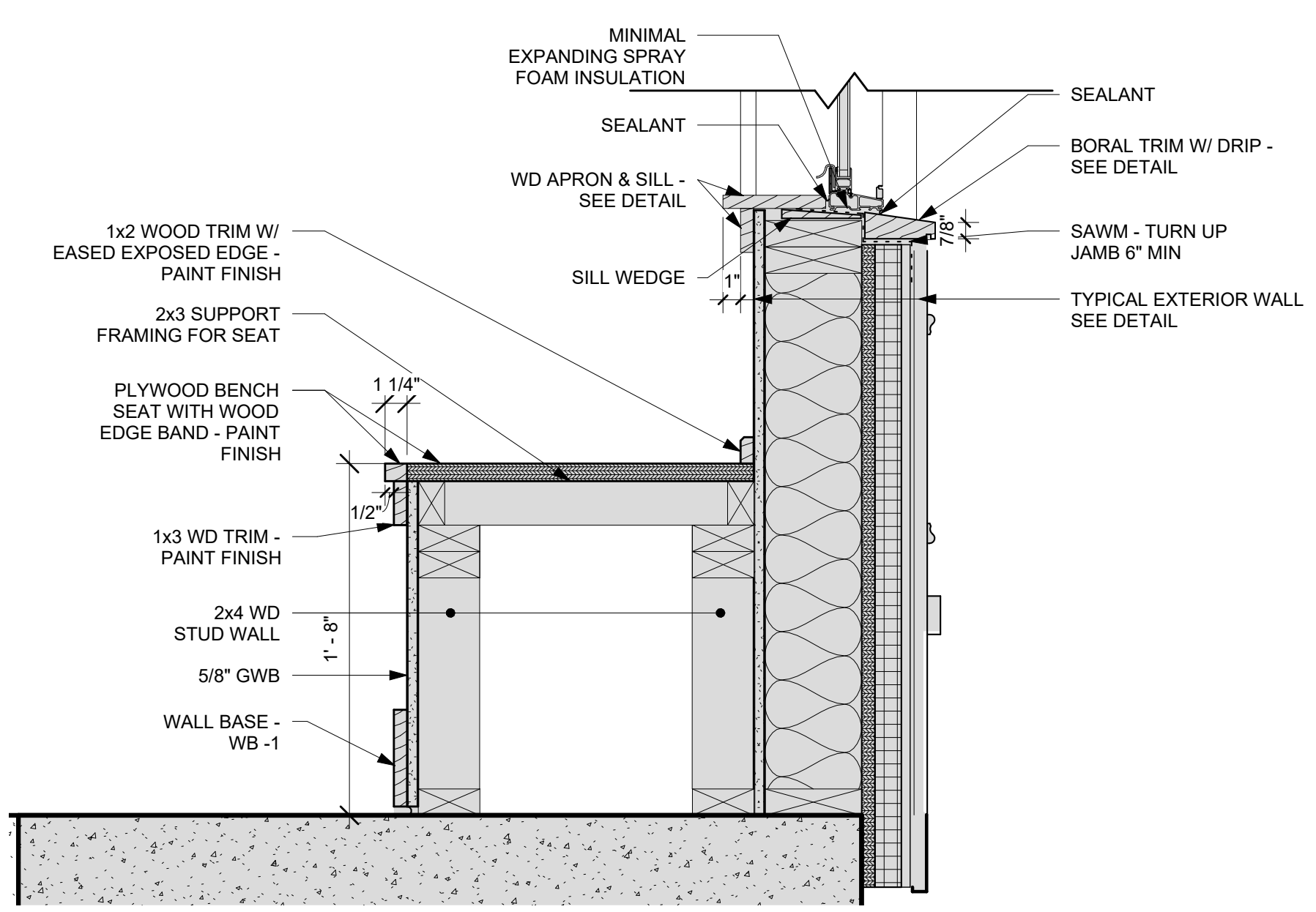
2 TYP WORKCOUNTER DTL
1 1/2" = 1'-0"



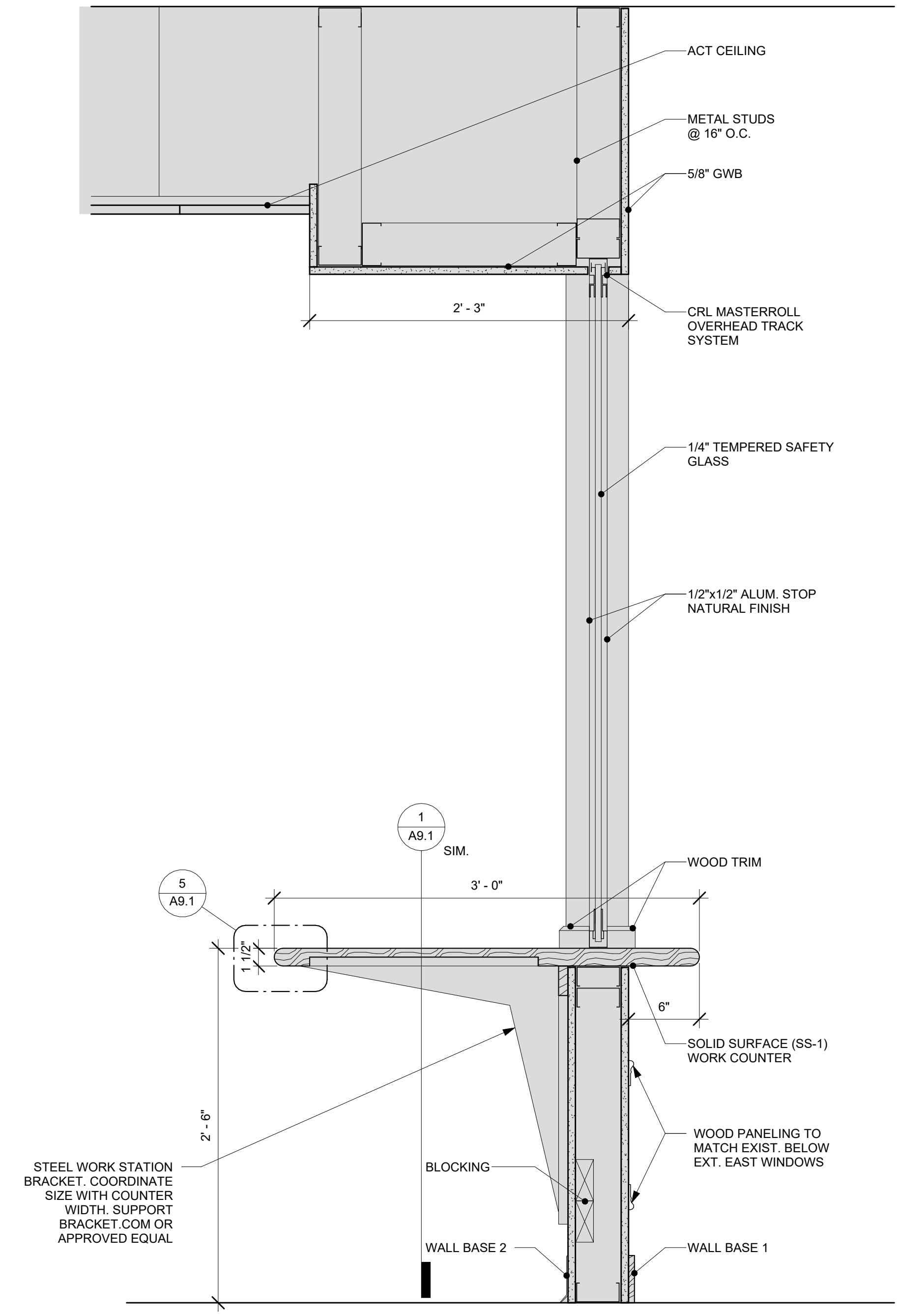
1 WORKCOUNTER BRACKET
3" = 1'-0"



5 NOSING DETAILS - P-LAM COUNTERS
3" = 1'-0"



4 VESTIBULE BENCH WINDOW DETAIL 1
1 1/2" = 1'-0"



6 SLIDING GLASS WINDOW @ RECEPTION
1 1/2" = 1'-0"

50% CD SET- NOT FOR CONSTRUCTION

SCOTT + PARTNERS
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LINCOLN HALL

project name: LINCOLN HALL
project address: 2 LINCOLN STREET
ESSEX JUNCTION, VT 05452

scale: As indicated

project no. 21-1457

checked by: JA

drawn by: LMW, TN

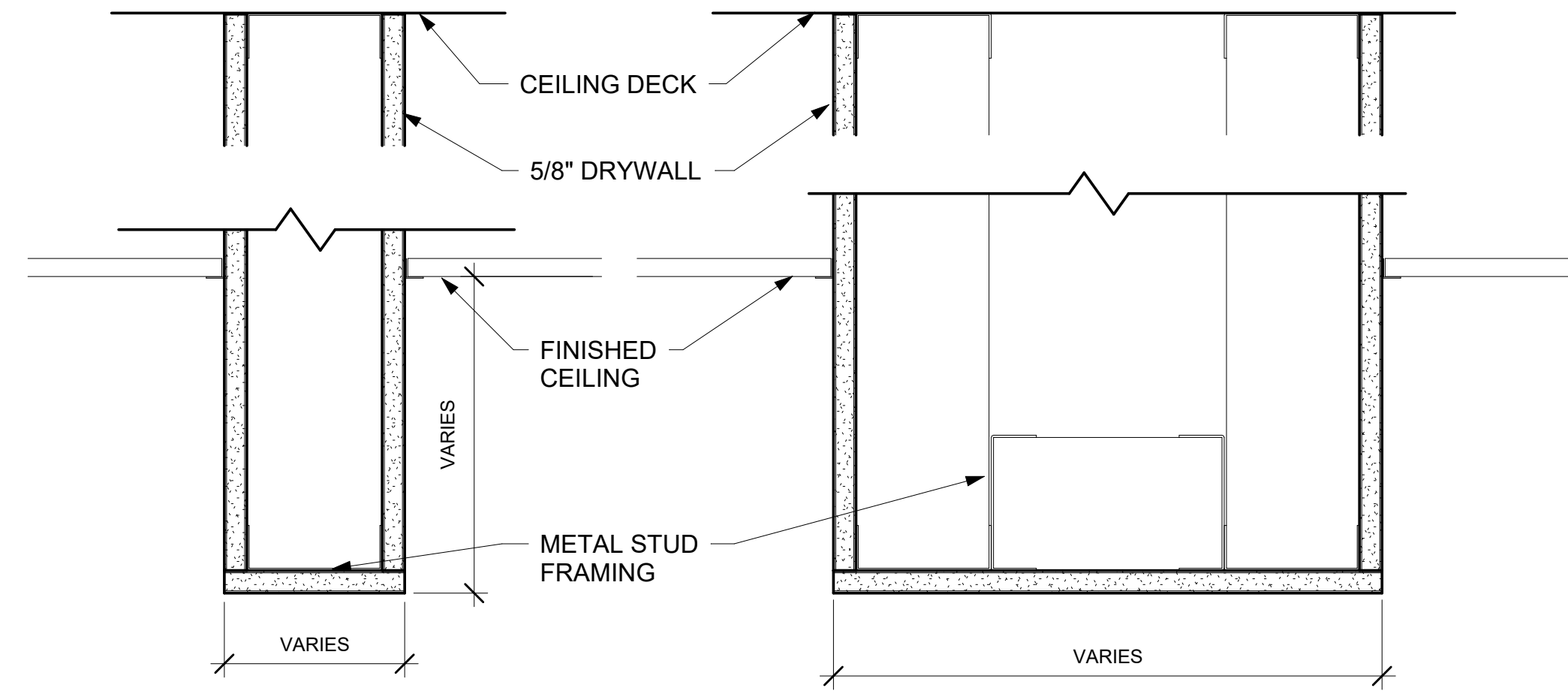
proj. date: 2024

sheet date: 02/15/2024

No	Date	Revisions

sheet title:
INTERIOR DETAILS

sheet no.
A9.1



- NOTE:
- PROVIDE DIAGONAL BRACING IF SOFFIT IS GREATER THAN 4' IN WIDTH OR DEPTH.
 - SEE CEILING PLAN FOR BOTTOM OF SOFFIT HEIGHT.
 - SEE CEILING PLAN FOR WIDTH IF DIFFERENT THAN TYPICAL WALL WIDTH.

50% CD SET- NOT FOR CONSTRUCTION



project name:
LINCOLN HALL

project address:
2 LINCOLN STREET
05452

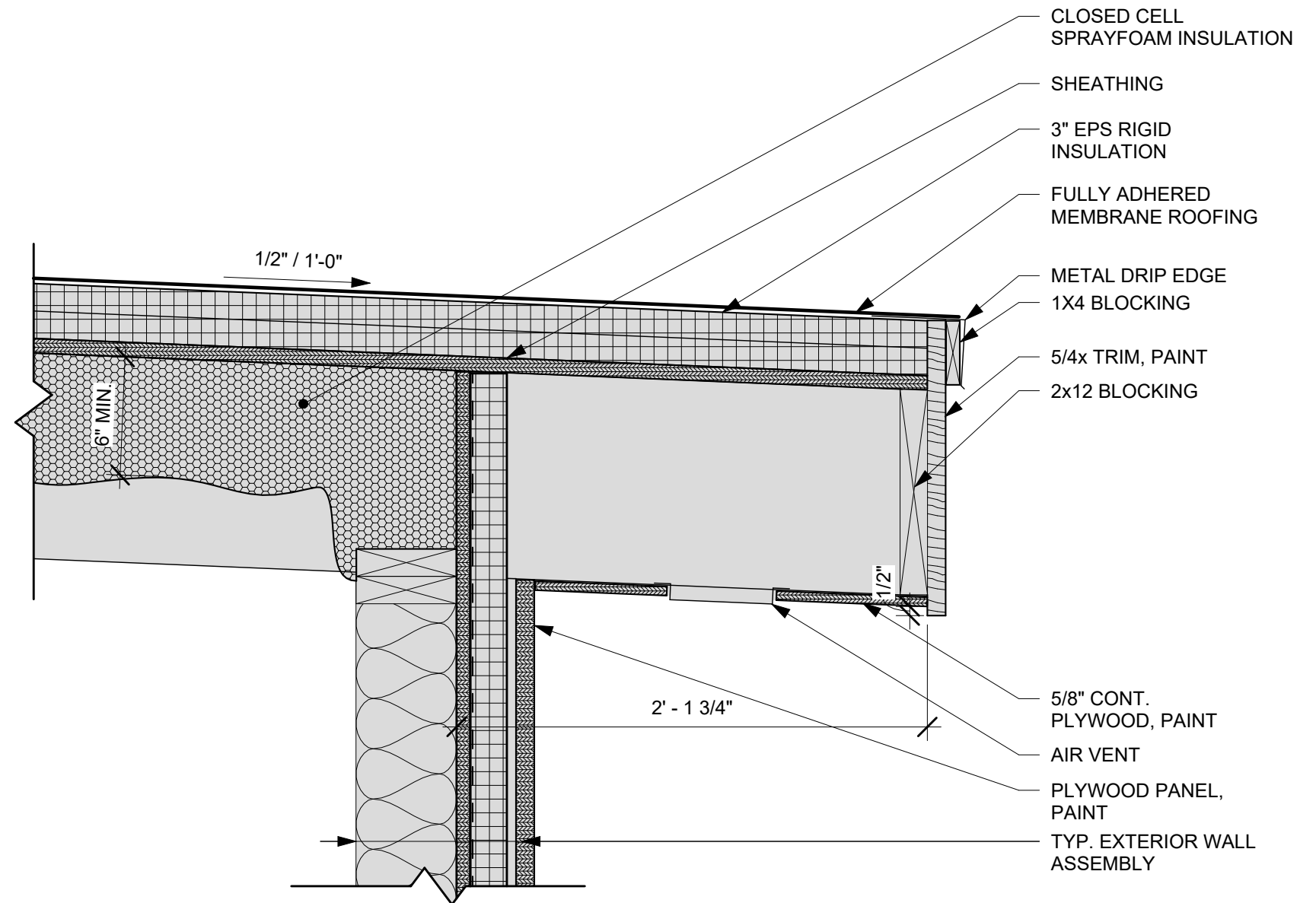
ESSEX, JUNCTION, VT

scale: 3" = 1'-0"
 project no. 21-1457
 checked by: JA
 drawn by: LMW, TN
 proj. date: 2024
 sheet date: 02/15/2024

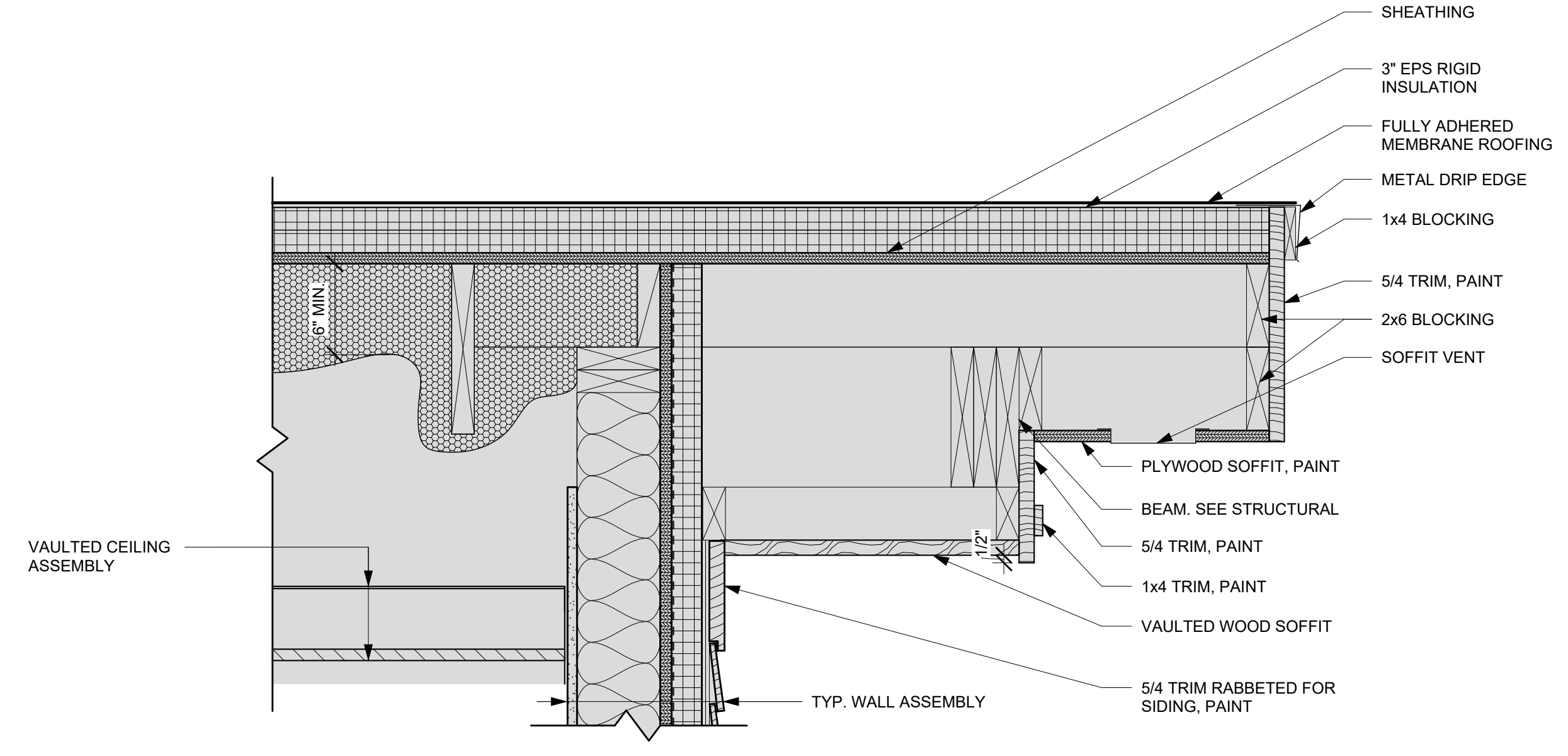
No	Date	Revisions

sheet title:
INTERIOR DETAILS

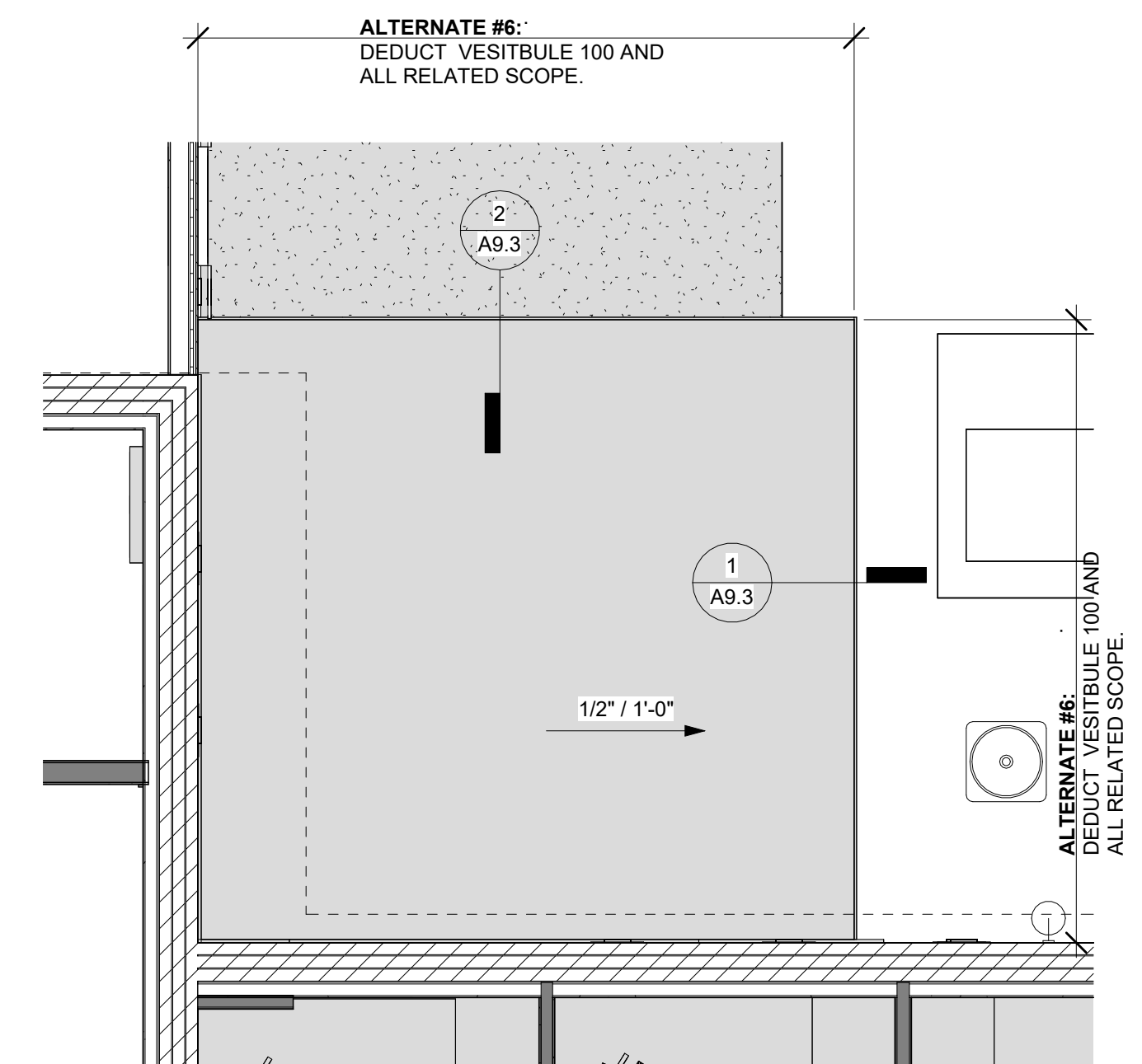
sheet no.
A9.2



1 VESTIBULE EAVE DETAIL
1 1/2" = 1'-0"



2 VESTIBULE RAKE DETAIL
1 1/2" = 1'-0"



3 VESTIBULE ROOF PLAN
1/4" = 1'-0"

SCOTT + PARTNERS
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ESSEX JUNCTION, VT

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checked by: JA

drawn by: LMW, TN

proj. date: 2024

sheet date: 02/15/2024

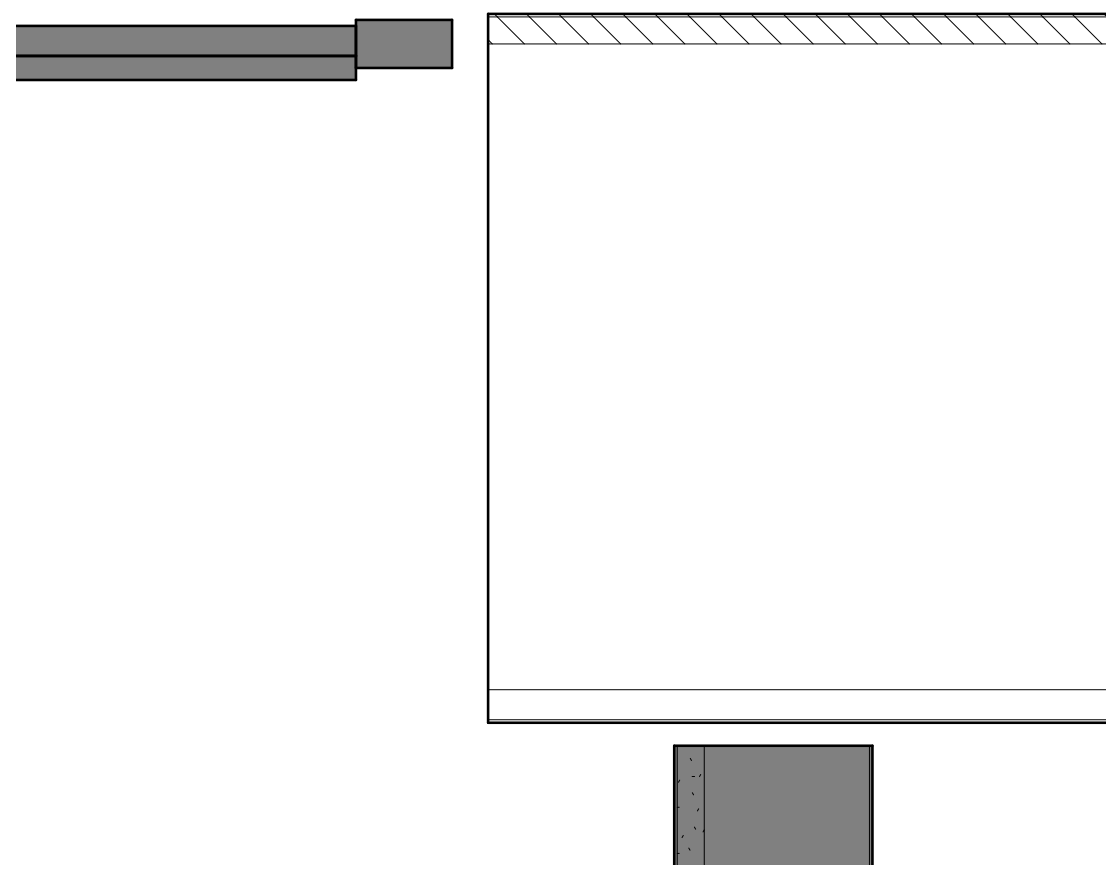
No	Date	Revisions

sheet title:
**EXTERIOR
DETAILS
ENLARGED
LOWER ROOF**

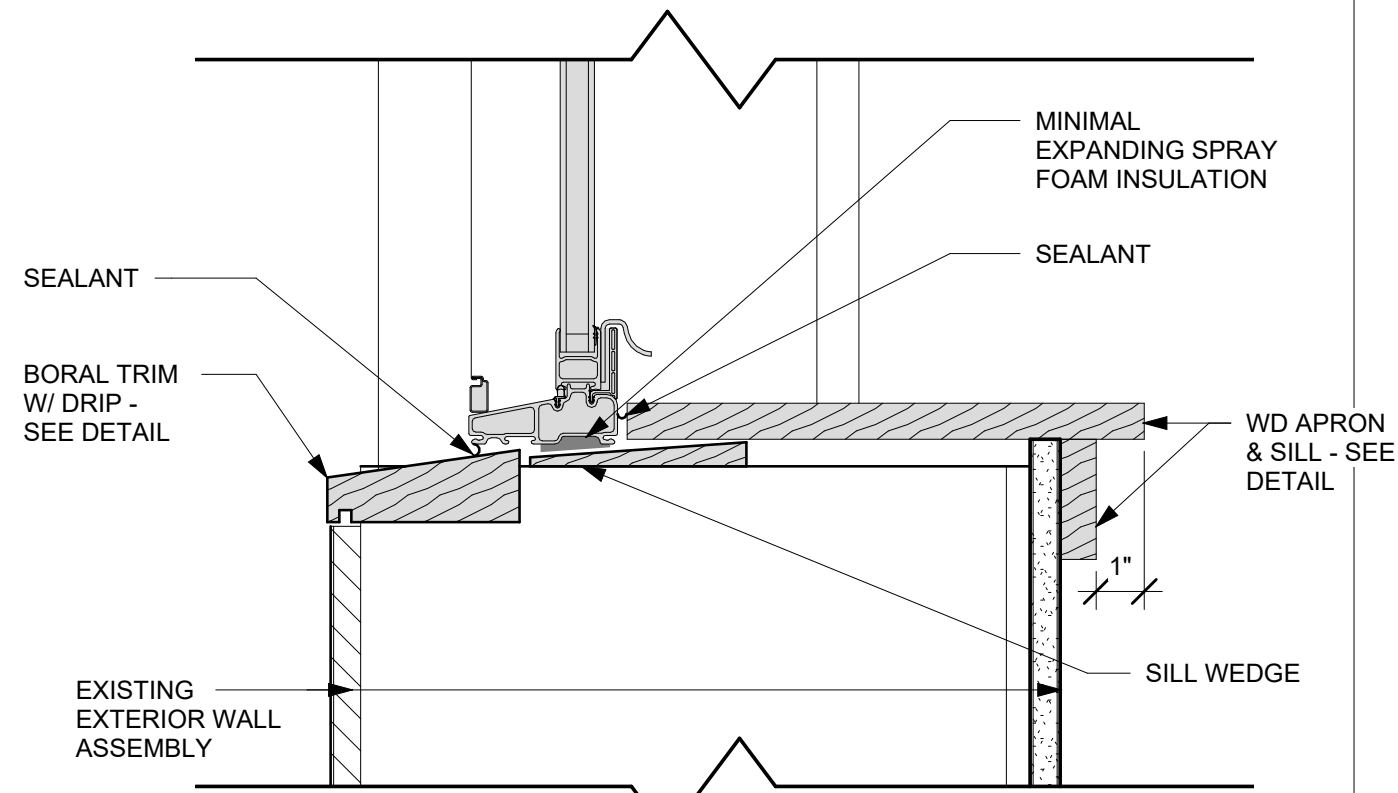
sheet no. PLAN

A9.3

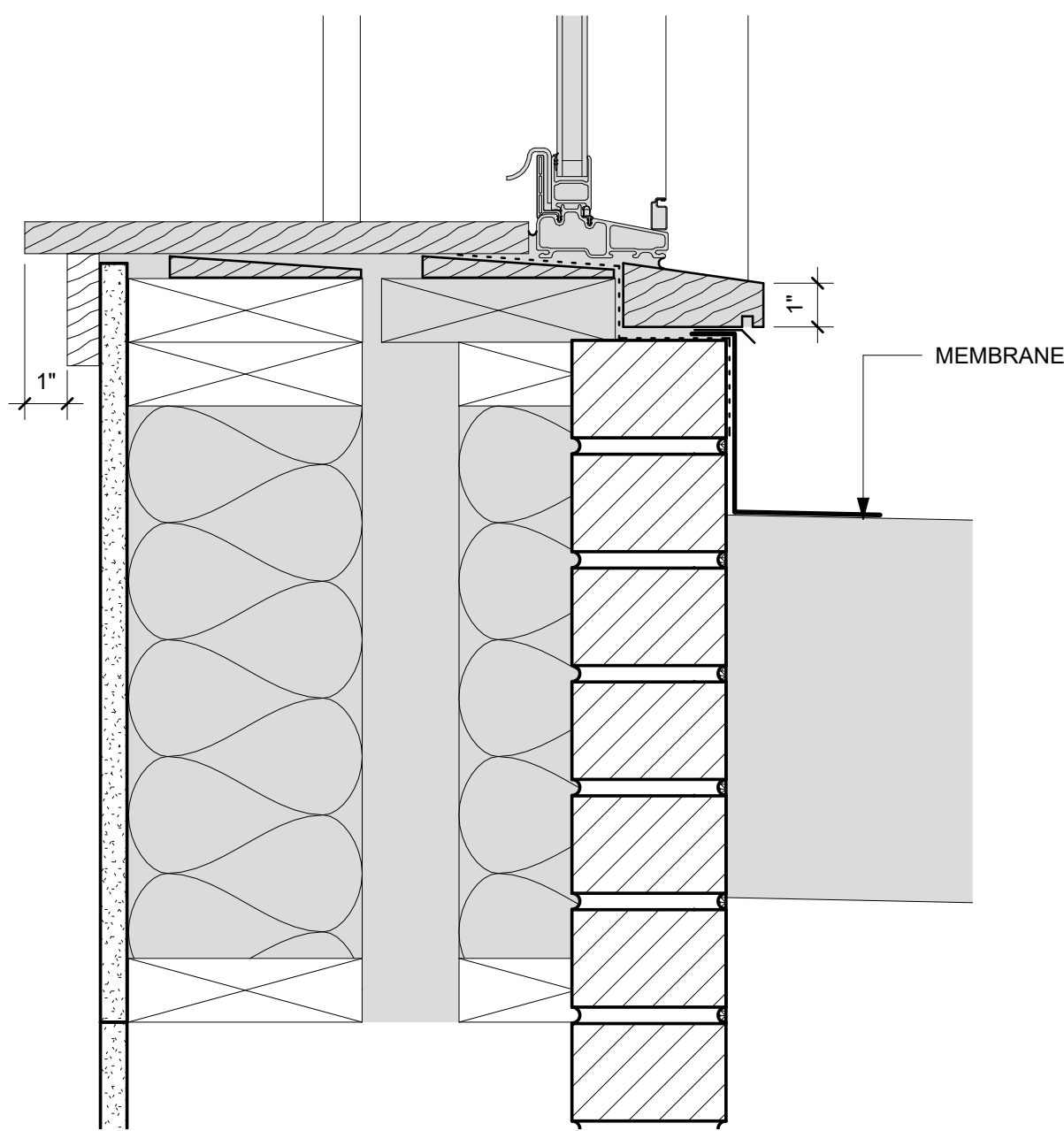
50% CD SET- NOT FOR
CONSTRUCTION



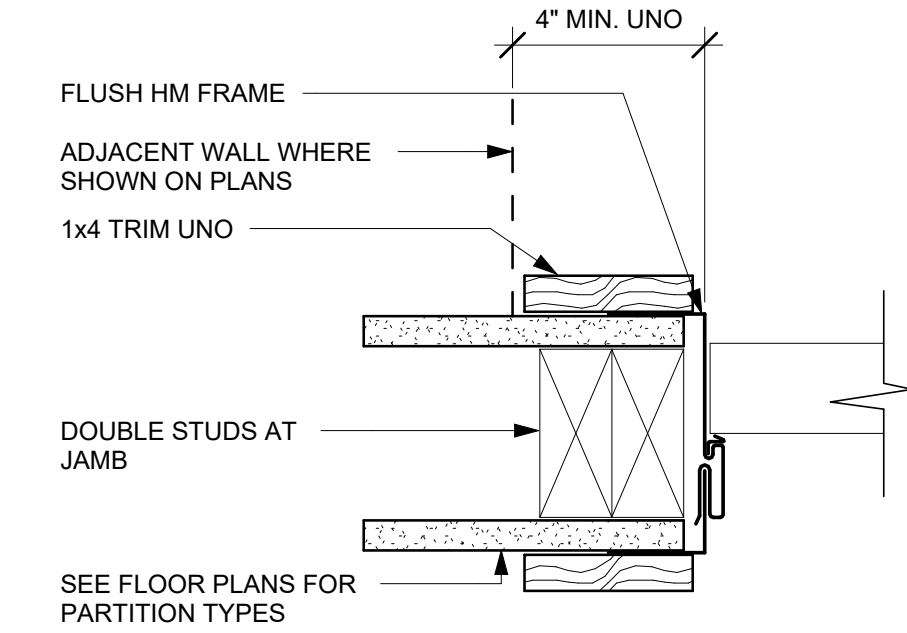
① HM HEAD DETAIL @ GWB WALL
3" = 1'-0"



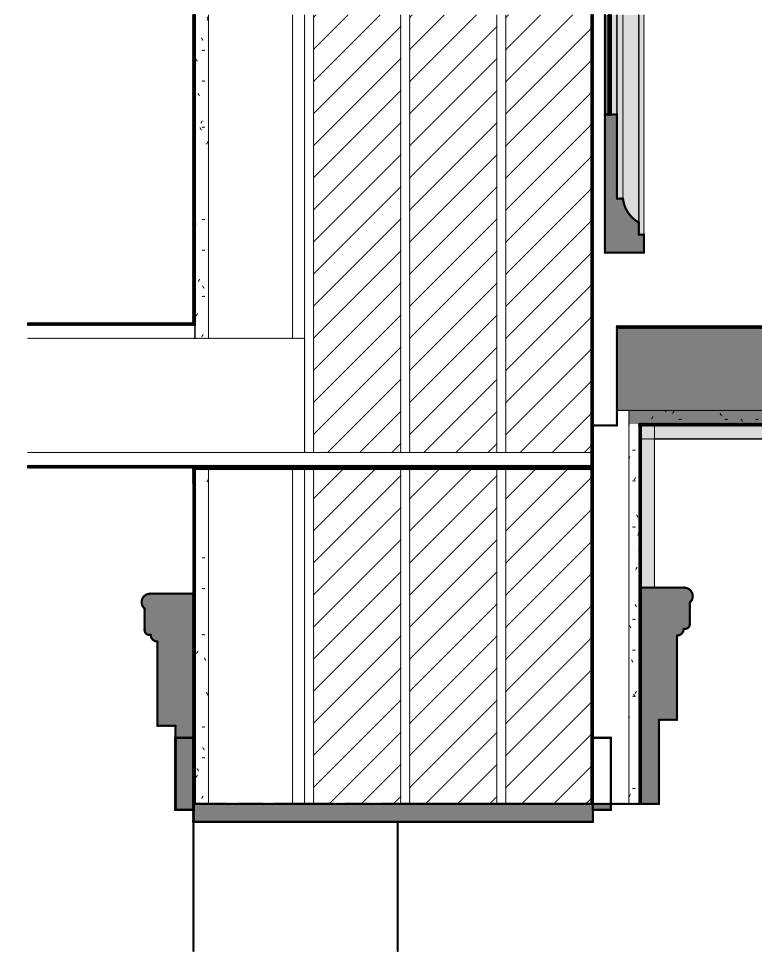
④ WINDOW SILL AT EXIST. WALL
3" = 1'-0"



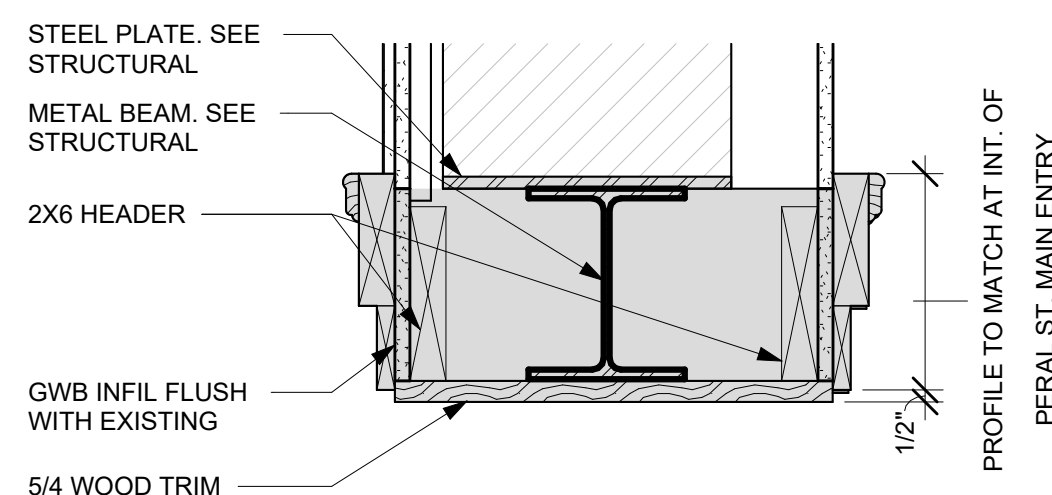
⑤ WINDOW @ DOOR INFILL DETAIL
3" = 1'-0"



② HM JAMB DETAIL @ GWB WALL
3" = 1'-0"



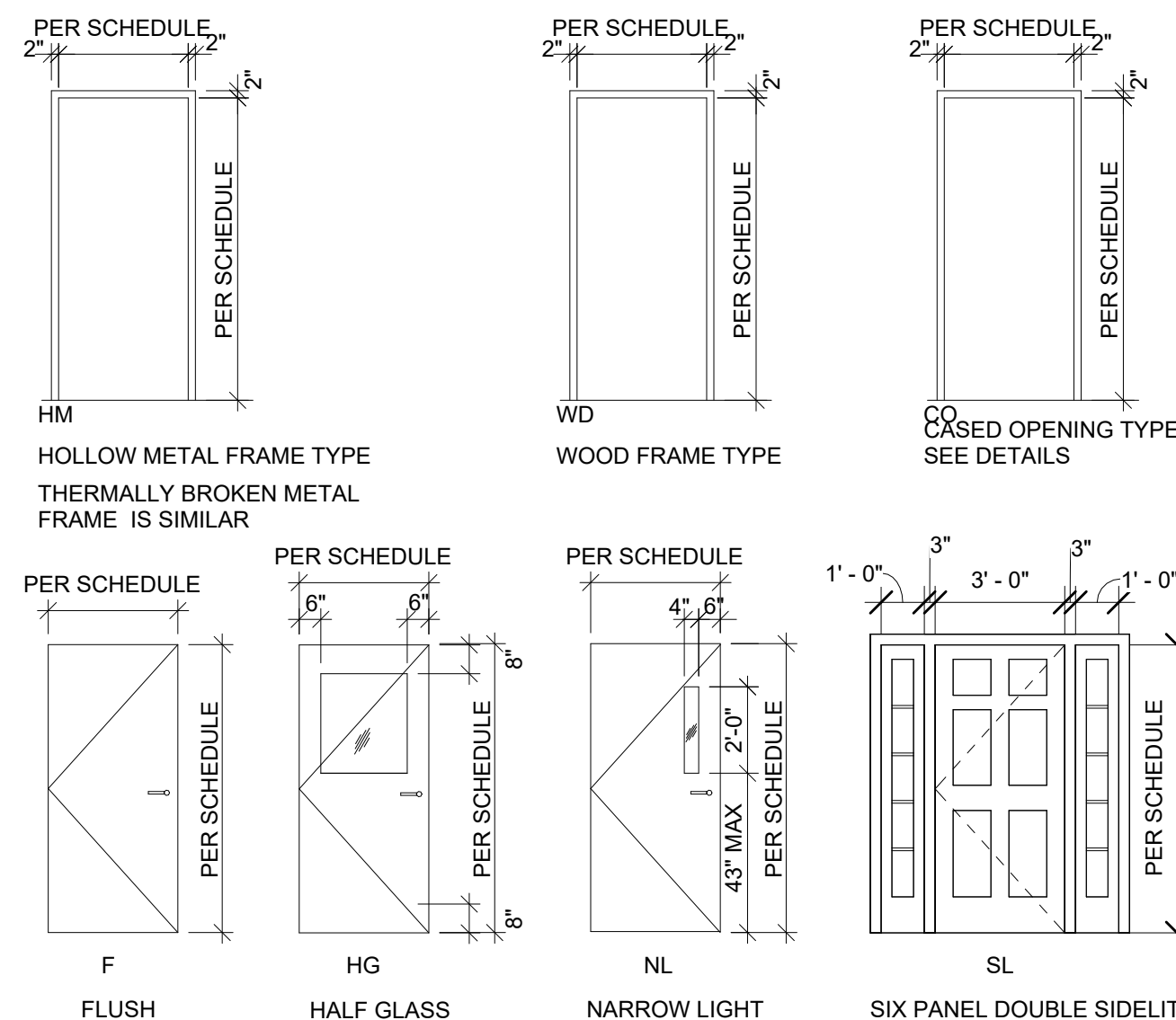
⑦ JAMB DETAIL @ MASONRY BUILDING B - BUILDING C
1 1/2" = 1'-0"



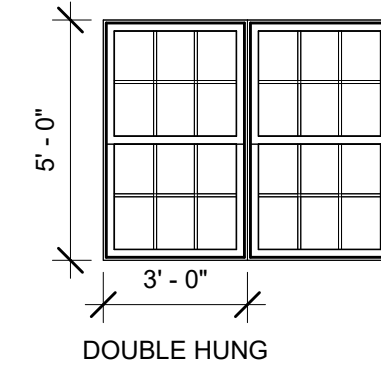
⑥ HEAD DETAIL @ MASONRY BUILDING B - BUILDING C
1 1/2" = 1'-0"

DOOR SCHEDULE														
DOOR No.	ROOM No.	LOCATION ROOM NAME	DOOR					FRAME			RATING	HDWR SET	REMARKS	
			TYP	MAT'L	WIDTH	HEIGHT	THK	Door Glazing	MAT'L	THRESHOLD				
003	003	UNFINISHED	F	MTL	3'-0"	7'-0"	1 3/4"	F						DOOR THROUGH EXISTING MASONRY WALL FLOOR ELEVATIONS APPROXIMATE
004	004	ELECTRICAL	F	MTL	3'-0"	7'-0"	2"							
008	008	JANITORS CLOSET	F	MTL	3'-0"	7'-0"	1 3/4"	F	HM		20			
010	010	EMR	F	MTL	3'-0"	7'-0"	1 3/4"	F	HM		20			
100	100	VESTIBULE	SL	WD	3'-0"	6'-8"	2"	SL	WD			ENTRY	ACCESS CONTROL	
101	101	LOBBY	SL	WD	3'-0"	6'-8"	2"	SL	WD					
102	101	LOBBY	HG	WD	3'-0"	6'-8"	1 3/4"	HG	WD					
103	103	ASSISTANT ZONING ADMINISTRATOR	CO	WD	3'-0"	6'-8"			WD					
104	104	CITY CLERK	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
105	105	SMALL CONFERENCE ROOM/ DELIBERATION ROOM	CO	N/A	3'-6"	6'-8"								
106	105	SMALL CONFERENCE ROOM/ DELIBERATION ROOM	F	WD	3'-0"	7'-0"	1 3/4"		HM		60			MAGNETIC HOLD OPEN
109	109	ADMIN ASSISTANT	F	WD	3'-0"	7'-0"	1 3/4"		HM		60			
110	110	ADA BATHROOM	F	WD	3'-0"	7'-0"	1 3/4"		HM		60			
111	111	CITY MANAGER	F	WD	3'-0"	7'-0"	1 3/4"		HM		60			
112	112	COMMUNITY DEVELOPMENT DIRECTOR	F	WD	3'-0"	7'-0"	1 3/4"		HM		60			
112A	112	COMMUNITY DEVELOPMENT DIRECTOR	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
113	113	CITY PLANNER	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
114	114	HALLWAY	CO	N/A	6'-0"	6'-8"								
116	114	HALLWAY	CO	N/A	5'-0"	6'-8"								
117	117	ADA BATHROOM	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
119	119	HALLWAY	CO	N/A	3'-4"	6'-8"								
120	120	ADA BATHROOM	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
121	121	EXISTING SENIOR CENTER	F	MTL	3'-0"	6'-8"	2"	NL	WD		60			
127	223	STORAGE	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
200A	200	CORRIDOR	NL	WD	3'-0"	7'-0"	1 3/4"	NL	HM		60			
200B	200	CORRIDOR	HG	WD	3'-0"	6'-8"	1 3/4"	HG	WD					
201	200	CORRIDOR	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
202	200	CORRIDOR	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
203	203	FINANCE DIRECTOR	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
204	204	ADA BATHROOM W/ SHOWER	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
207	207	STAFF BREAK ROOM	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
208	208	HUMAN RESOURCES DIRECTOR	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
210	210	COMMUNICATIONS + STRATEGIC DIRECTOR	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
211	211	TEEN CENTER OFFICE	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
212	212	TEEN CENTER OFFICE	F	WD	3'-0"	6'-8"	1 3/4"	HG	WD					
213	213	TEEN CENTER OFFICE	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
214	214	CORRIDOR	CO	N/A	3'-0"	6'-8"								
214B	ST2	ATTIC STAIR	F	WD	3'-0"	6'-8"	1 3/4"	F	WD		60			
215	215	TEEN CENTER OPEN OFFICE	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
216A	217	EXISTING TEEN CENTER ACTIVITY ROOM	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
216B	214	CORRIDOR	HG	WD	2'-6"	6'-8"	2"		WD					
217A	217	EXISTING TEEN CENTER ACTIVITY ROOM	CO	N/A	3'-0"	6'-8"	1 3/4"	HG						
217B	217	EXISTING TEEN CENTER ACTIVITY ROOM	CO	N/A	3'-0"	6'-8"								
219	219	TEEN CENTER KITCHENETTE	CO	N/A	3'-0"	6'-8"								
220	220	STORAGE	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
221	221	ADA BATHROOM	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
222	222	TEEN CENTER ROOM	NL	WD	3'-0"	7'-0"	1 3/4"	NL	HM		60			MAGNETIC HOLD OPEN
224	224	ADA BATHROOM	F	WD	3'-0"	6'-8"	1 3/4"	F	WD					
E 1	116	ELEVATOR LOBBY	F	MTL	3'-6"	7'-0"	1"	F	WD		60			KEYED OUT TO BASEMENT
ST1	ST1	STAIR	HG	MTL	3'-0"	7'-0"	1 3/4"		HM		60			
ST B	ST B	STAIR	NL	MTL	3'-0"	6'-8"	1 3/4"	NL	HM					
X 103														

NOTE: ALL DOOR GLAZING TO BE TEMPERED. WIRED GLASS WHERE REQUIRED BY RATING.



DOOR LEGEND
1/4" = 1'-0"



WINDOW SCHEDULE
1/4" = 1'-0"

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MECHANICAL LEGENDS & ABBREVIATIONS

NOTE: NOT ALL SYMBOLS/ABBREVIATIONS SHOWN IN THE LEGEND ARE USED IN THIS DRAWING SET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CONTENT SHOWN ON DRAWINGS.

DUCTWORK	PIPING SYSTEMS	CONTROLS & BALANCING	ABBREVIATIONS
			ø DIAMETER
			AMPS/AMPERAGE
			AA ALL AROUND
			AB AUTOMATIC BALANCE VALVE
			AD ACCESS DOOR
			AD ABOVE FINISH FLOOR
			AI ANALOG INPUT
			AO ANALOG OUTPUT
			APD AIR PRESSURE DROP
			ARCH ARCHITECTURAL
			ATC AUTOMATIC TEMPERATURE CONTROL
			AWT AVERAGE WATER TEMPERATURE
			BAS BUILDING AUTOMATION SYSTEM
			BF BOILER FEEDWATER
			BHP BRAKE HORSEPOWER
			BOD BOTTOM OF DUCTWORK (ELEVATION)
			BTU/H BRITISH THERMAL UNITS PER HOUR
			C COMMON
			CAP CAPACITY
			CFM CUBIC FEET PER MINUTE
			CKT CIRCUIT
			CM CONSTRUCTION MANAGER
			CONN. CONNECTION
			COP COEFFICIENT OF PERFORMANCE
			CP CONTROL PANEL
			db DRY BULB TEMPERATURE
			DCW DOMESTIC COLD WATER
			DDC DIRECT DIGITAL CONTROL
			DI DIGITAL INPUT
			DIA DIAMETER
			DN DOWN
			DO DIGITAL OUTPUT
			DR DRAIN
			DWG DRAWING
			DWV DRAIN, WASTE, VENT
			DX DIRECT EXPANSION
			EXISTING EXISTING
			E/A EXHAUST AIR
			EAT ENTERING AIR TEMPERATURE
			ECG ELECTRICAL CONTRACTOR
			ECON ECONOMIZER
			EDB ENTERING DRY BULB
			EER ENERGY EFFICIENCY RATIO
			EFF EFFICIENCY
			ESP EXTERNAL STATIC PRESSURE
			EWB ENTERING WET BULB
			EWT ENTERING WATER TEMPERATURE
			FA FREE AREA
			FLA FULL LOAD AMPS
			FOT FLAT ON TOP
			FPI FINS PER INCH
			FPM FEET PER MINUTE
			FT FEET
			FVNR FULL VOLTAGE ON-REVERSING
			GAL GALLONS
			GC GENERAL CONTRACTOR
			GPM GALLONS PER MINUTE
			HOA HAND-OFF-AUTOMATIC
			HP HORSEPOWER
			HZ HERTZ
			ID INSIDE DIAMETER
			IN INCHES
			kw KILOWATT(S)
			LAT LEAVING AIR TEMPERATURE
			LDB LEAVING DRY BULB
			LF LINEAR FEET
			LRA LOCKED ROTOR AMPS
			LWB LEAVING WATER TEMPERATURE
			LWT LEAVING WATER TEMPERATURE
			MAX MAXIMUM
			MBH 1,000 BRITISH THERMAL UNITS PER HOUR
			MC MECHANICAL CONTRACTOR
			MCA MINIMUM CIRCUIT AMPACITY
			MCC MOTOR CONTROL CENTER
			MEP MECHANICAL, ELECTRICAL, PLUMBING
			MIN MINIMUM
			MMBH MILLIONS OF BTU/H
			MOPC MAXIMUM OVERCURRENT PROTECTION
			MOD MOTOR OPERATED DAMPER
			MRE MECHANICAL ROOM EQUIPMENT
			MTD MOUNTED
			NC NORMALLY CLOSED
			NIC NOT IN CONTRACTOR
			NO NORMALLY OPEN
			NO. NUMBER
			NTS NOT TO SCALE
			O/A OUTDOOR AIR
			OAT OUTSIDE AIR TEMPERATURE
			OD OUTSIDE DIAMETER
			OED OPEN ENDED DUCT
			OIT OPERATOR INTERFACE TERMINAL
			P PUMP
			PC PLUMBING CONTRACTOR
			PD PRESSURE DROP
			PH ELECTRICAL PHASE
			PSI POUNDS PER SQUARE INCH
			R/A RETURN AIR
			RH RELATIVE HUMIDITY
			RLA RATED LOAD AMPS
			RPM REVOLUTIONS PER MINUTE
			S/A SUPPLY AIR
			SAT SUPPLY AIR TEMPERATURE
			SF SQUARE FEET
			SP STATIC PRESSURE
			SS STAINLESS STEEL
			TEMP DEGREES FAHRENHEIT (°F) UNLESS OTHERWISE NOTED
			TSP TOTAL STATIC PRESSURE
			TYP TYPICAL
			UD UNDERCUT DOOR
			VB VACUUM BREAKER
			VFD VARIABLE FREQUENCY DRIVE
			VIF VERIFY IN FIELD
			WB WET BULB TEMPERATURE
			WC WATER COLUMN
			WG WATER GAUGE
			WPD WATER PRESSURE DROP

MECHANICAL GENERAL NOTES

A. QUALITY OF WORK

1. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO OBTAIN A COMPLETE AND SATISFACTORY INSTALLATION. AN ATTEMPT HAS BEEN MADE TO SEPARATE AND DEFINE THE WORK OF THE CONTRACTOR. DRAWINGS ARE DIAGRAMMATIC, BUT MUST BE FOLLOWED AS CLOSELY AS ACTUAL CONSTRUCTION OF THE FACILITY AND WORK OF OTHER TRADES WILL PERMIT. THE DRAWINGS UTILIZE SYMBOLS AND SCHEMATIC DIAGRAMS TO INDICATE VARIOUS ITEMS OF WORK. THEREFORE, NO INTERPRETATION WILL BE MADE FROM THE LIMITATION OF SYMBOLS AND DIAGRAMS THAT ANY ELEMENTS NECESSARY FOR THE COMPLETE INSTALLATION ARE EXCLUDED. THE ENGINEER IS TO BE NOTIFIED OF ANY DISCREPANCIES, OMISSIONS, CONFLICTS, OR INTERFERENCE WHICH OCCUR BETWEEN VARIOUS DRAWINGS AND SPECIFICATIONS. IF SUCH NOTIFICATION IS NOT RECEIVED, THE INSTALLING CONTRACTOR(S) IS TO BE RESPONSIBLE FOR THEIR INTERPRETATIONS.

2. "PROVIDE" MEANS "FURNISH AND INSTALL" AND MUST INCLUDE ALL EQUIPMENT (THAT INCLUDE THE ACCESSORIES, SUPPORTS, FITTINGS AND OTHER INCIDENTAL MATERIAL NEEDED FOR THE EQUIPMENT), DEVICES, HARDWARE, MOUNTS, LABOR, RIGGING, SUBCONTRACTS, ETC., THAT RESULT IN A COMPLETE AND FUNCTIONAL PROJECT INDICATED ON THE DRAWINGS, AS SPECIFIED AND AS REQUIRED BY CODE. MINOR ITEMS TO FINISH THE WORK SUCH AS PATCHING, BLOCKING, TRIM, TOUCH-UP PAINT, ETC., SHALL BE PROVIDED WHETHER OR NOT INDICATED IN THE CONTRACT DOCUMENTS.

3. LOCATE ALL TEMPERATURE, PRESSURE, AND FLOW MEASURING DEVICES IN ACCESSIBLE LOCATIONS IN STRAIGHT SECTIONS OF PIPE OR DUCT AS RECOMMENDED BY THE MANUFACTURER. NOTIFY ENGINEER FOR FIELD REVIEW IF CONFIGURATION WILL NOT ALLOW.

4. WHERE TWO OR MORE ITEMS OF THE SAME TYPE OF EQUIPMENT ARE REQUIRED, THE PRODUCT OF ONE MANUFACTURER IS TO BE USED.

5. ALL WORKMANSHIP, MATERIALS, AND EQUIPMENT IS TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE OWNER.

6. PROVIDE IDENTIFICATION LABELS FOR NEW EQUIPMENT. AFFIX PERMANENT IDENTIFYING TAGS OR LABELS TO FANS, TERMINAL UNITS, AIR-HANDLERS ETC. IDENTIFY SYSTEM ON PIPING AND DUCTWORK MAINS AND INDICATE DIRECTION OF FLOW ON PIPING. INDICATE THE CONTROLLED EQUIPMENT ON WALL MOUNTED CONTROLS.

B. CODES/PERMITS

1. WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH STATE RECOGNIZED BUILDING CODES, NFPA, ASHRAE, UNDERWRITERS LABORATORIES AND ALL MUNICIPAL, STATE AND OTHER AUTHORITIES, PUBLIC AND PRIVATE, HAVING JURISDICTION. REPORT ALL DISCREPANCIES WITH SUCH REGULATIONS TO ENGINEER AND DO NOT PROCEED WITH ANY WORK UNTIL WRITTEN AUTHORIZATION IS RECEIVED FROM THE ENGINEER.

2. ALL NECESSARY FEES, PERMITS, AND APPROVALS AS REQUIRED BY THE WORK OF THESE DRAWINGS AND SPECIFICATIONS IS TO BE OBTAINED AND PAID FOR BY THIS CONTRACTOR.

3. NOTHING CONTAINED IN THE SPECIFICATIONS OR INDICATED ON THESE DRAWINGS IS TO BE CONSTRUED TO CONFLICT WITH APPLICABLE PORTIONS OF ANY LAWS, ORDINANCES, REGULATIONS, OR CODES.

C. COORDINATION OF WORK

1. COORDINATE CONSTRUCTION OF ALL MECHANICAL WORK WITH ARCHITECTURAL, STRUCTURAL, CIVIL, AND ELECTRICAL WORK - NEW OR EXISTING.

2. WHEN MECHANICAL WORK (HVAC, PLUMBING, FIRE PROTECTION, ETC.) IS SUBCONTRACTED, IT IS TO BE THE MECHANICAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE SUBCONTRACTORS AND THE ASSOCIATED CONTRACTS. WHEN DISCREPANCIES ARISE PERTAINING TO WHICH CONTRACTOR PROVIDES A PARTICULAR ITEM OF THE MECHANICAL CONTRACT OR WHICH CONTRACTOR PROVIDES FINAL CONNECTIONS FOR A PARTICULAR ITEM OF THE MECHANICAL CONTRACT, IT MUST BE BROUGHT TO THE ATTENTION OF THE MECHANICAL CONTRACTOR, WHOSE DECISION IS FINAL.

3. THE LOCATIONS OF ALL ITEMS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS ARE APPROXIMATE AND NOT DEFINITELY FIXED BY DIMENSIONS. THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS MUST BE DETERMINED BY THE PROJECT SITE CONDITIONS. CASES WHERE THERE ARE MAJOR CONFLICTS THE CONTRACTOR MUST NOTIFY THE ENGINEER FOR FIELD REVIEW. DO NOT SCALE THE DRAWINGS.

4. PROVIDE LOCATIONS OF REQUIRED ACCESS PANELS FOR INSTALLATION IN WALLS AND CEILINGS TO SERVICE VALVES, DAMPERS, AND OTHER CONCEALED MECHANICAL EQUIPMENT. GENERAL CONTRACTOR IS TO FURNISH & INSTALL ACCESS PANELS.

5. COORDINATE LOCATIONS AND SIZES OF ALL FLOOR, WALL, AND ROOF OPENINGS WITH ALL OTHER TRADES INVOLVED. ALL OPENINGS IN FIRE WALLS, FLOORS AND RATED PARTITIONS FOR PIPING, CONDUIT, ETC., ARE TO BE FIRE STOPPED WITH A UL APPROVED SYSTEM.

D. PIPING

1. TAKE ALL NECESSARY MEASUREMENTS AT THE BUILDING AND FABRICATE THE PIPING ON THE SITE, IF REQUIRED, TO ENSURE AN APPROVED INSTALLATION.

2. UNLESS OTHERWISE NOTED, ALL PIPING IS OVERHEAD, TIGHT TO UNDERSIDE OF STRUCTURE OR SLAB, WITH SPACE FOR INSULATION.

3. INSTALL ALL PIPING WITHOUT FORCING OR SPRINGING.

4. ALL PIPING IS TO CLEAR DOORS AND WINDOWS.

5. COORDINATE ALL PIPING WITH EXISTING CONDITIONS. OFFSETS IN PIPING AROUND OBSTRUCTIONS ARE TO BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.

6. PIPING PENETRATIONS OF ALL WALLS AND FLOORS ARE TO BE SEALED WITH FIRE CAULK.

7. INSTALL PIPING SO THAT ALL VALVES, STRAINERS, UNIONS, TRAPS, FLANGES, AND OTHER APPURTENANCES REQUIRING ACCESS ARE ACCESSIBLE. ALL VALVES ARE TO BE ADJUSTED FOR SMOOTH AND EASY OPERATION. ALL VALVES ARE TO BE MARKED WITH A PERMANENT TAG INDICATING THE EQUIPMENT SERVED. PROVIDE A TYPED VALVE SCHEDULE TO BE KEPT IN OWNER IDENTIFIED AREA.

8. ALL VALVES (EXCEPT CONTROL VALVES) AND STRAINERS ARE TO BE FULL SIZE OF PIPE. INSTALL VALVES AT ALL TAKEOFFS FROM THE MAIN AND PROVIDE EXTENDED STEMS TO CLEAR INSULATION.

9. UNIONS AND/OR FLANGES ARE TO BE INSTALLED AT EACH PIECE OF EQUIPMENT, IN BYPASSES, AND IN LONG PIPING RUNS (100 FEET OR MORE) TO PERMIT DISASSEMBLY FOR ALTERNATION AND REPAIRS.

10. PROVIDE FLEXIBLE CONNECTION IN ALL PIPING SYSTEMS CONNECTED TO PUMPS, CHILLERS, AND OTHER EQUIPMENT WHICH REQUIRE VIBRATION ISOLATION EXCEPT WATER COILS. FLEXIBLE CONNECTIONS ARE TO BE PROVIDED AS CLOSE TO THE EQUIPMENT AS POSSIBLE OR AS INDICATED ON DRAWINGS.

E. DUCTWORK

1. FABRICATE DUCTWORK FROM FIELD VERIFIED DIMENSIONS. FABRICATE DUCTWORK IN ACCORDANCE WITH SMACNA GUIDELINES (LATEST EDITION). PRIOR TO FABRICATING DUCTWORK VERIFY CEILING CLEARANCES WITH STRUCTURE, PIPES, ETC. COORDINATE THE INSTALLATION OF DUCTWORK WITH SPRINKLER PIPING. INSTALL DUCTWORK PRIOR TO INSTALLING ANY PIPING AND ELECTRICAL WORK TO REDUCE CONFLICTS.

2. ALL DUCTWORK IS TO BE FABRICATED FROM G-90 GALVANIZED SHEET METAL IN LOCK-FORMING QUALITY, UNLESS SPECIFIED OTHERWISE.

3. ALL DUCTWORK DIMENSIONS SHOWN ON PLANS ARE CLEAR INTERNAL SIZES.

4. ALL SUPPLY, RETURN, EXHAUST, AND OUTSIDE AIR DUCTWORK SHALL BE FABRICATED AT A MINIMUM CLASS OF 2 INCH WATER GAGE SEAL CLASS 'A'.

5. ALL DUCT SEALANT TO BE WATER BASED LOW VOC.

6. ALL SUPPLY AND O/A DUCT WORK TO BE INSULATED TO MEET THE ENERGY CONSERVATION CODE ADOPTED BY THE STATE. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

7. COORDINATE THE LOCATION OF CEILING AIR INLETS AND OUTLETS WITH LIGHTS, SPRINKLER HEADS, AND LIFE SAFETY DEVICES.

8. PROVIDE ADJUSTABLE VOLUME DAMPERS AT ALL BRANCH DUCT TAKE OFFS. "RAP-IT" STYLE VOLUME DAMPERS AND HARDWARE IS NOT PERMITTED. FOR LOW FLOW BRANCHES, PROVIDE EDGE SEALED DAMPERS TO OBTAIN PROPER FLOW BALANCING.

F. TESTING, ADJUSTING, AND BALANCING

1. WORK IS TO BE PERFORMED BY AN INDEPENDENT TESTING AND BALANCING AGENCY SPECIALIZING IN TESTING, ADJUSTING, AND BALANCING OF HEATING, VENTILATION, AND COOLING SYSTEMS. TESTING AND BALANCING CONTRACTOR MUST BE AABC OR NEBB CERTIFIED.

2. TOLERANCE OF HYDRONIC SYSTEMS: ADJUST FLUID FLOW RATES AT BALANCE VALVES AND ALL EQUIPMENT TO PLUS/MINUS 10% OF DESIGN FLOW RATES.

3. TOLERANCE OF AIR SYSTEMS: ADJUST AIR FLOW RATES AT AIR HANDLING UNITS TO PLUS/MINUS 5% OF DESIGN FOR SUPPLY SYSTEMS AND PLUS/MINUS 10% OF DESIGN FOR RETURN AND EXHAUST SYSTEMS. ADJUST AIR FLOW RATES AT AIR INLETS AND OUTLETS TO PLUS/MINUS 10% OF DESIGN TO THE SPACE. IN ALL CASES MAINTAIN REQUIRED FLOW OR SPACE PRESSURIZATION CRITERIA.

4. SCHEDULED EQUIPMENT IS TO BE BALANCED AND A PRELIMINARY REPORT SUBMITTED TO THE ENGINEER FOR REVIEW. PROVIDE ALLOWANCE FOR (2) RETURN TRIPS FOR ADDITIONAL REBALANCE WORK AFTER ENGINEER REVIEW OF INITIAL REPORTS. PROVIDE THE FINAL REPORT TO ENGINEER.

G. WARRANTY

1. GUARANTEE ALL WORK PERFORMED AND MATERIALS AND EQUIPMENT INSTALLED TO THE FULL EXTENT REQUIRED BY THE DRAWINGS AND SPECIFICATIONS TO BE FREE FROM INHERENT DEFECTS OF MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE.

2. REPLACE ANY MATERIAL AND EQUIPMENT PRIOR TO THE FINAL ACCEPTANCE WHICH IS CORRODED OR OTHERWISE DAMAGED THROUGH THE MECHANICAL CONTRACTOR'S FAILURE TO PROPERLY OPERATE AND MAINTAIN THE INSTALLATION DURING CONSTRUCTION OR RETESTING.

3. KEEP THE WORK IN REPAIR AND REPLACE ANY DEFECTIVE MATERIALS, EQUIPMENT, OR WORKMANSHIP UPON NOTICE FROM THE ENGINEER OR OWNER'S REPRESENTATIVE FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.

H. INSURANCE

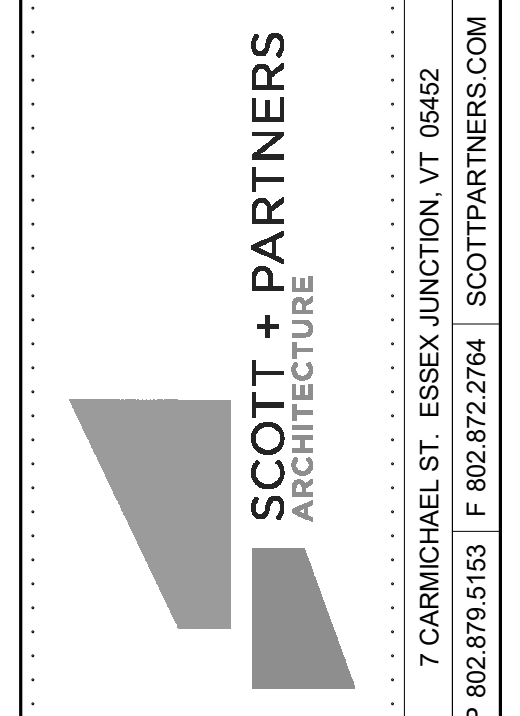
1. THE CONTRACTOR MUST, DURING THE LIFE OF THE CONTRACT, MAINTAIN IN FORCE, SUCH INSURANCE AS IS REQUIRED OF THE PRIME CONTRACTOR IN THE GENERAL CONDITIONS OF THE CONTRACT; AND IS TO FURNISH THE PRIME CONTRACTOR AND THE OWNER WITH CERTIFICATION OF SUCH INSURANCE BEFORE BEGINNING WORK ON THIS SECTION OF CONTRACT.

I. DOCUMENTATION

1. PROVIDE AN ENTIRE SET OF PROJECT CLOSE-OUT DOCUMENTS TO OWNER PER CONTRACT DOCUMENTS. PACKAGE MUST CONTAIN ENTIRE O&M MANUALS WITH PROJECT SUBMITTALS AND SUBMITTAL COMMENTS, TAB REPORTS, TEST REPORTS, AND RECORD DRAWINGS, PLUS ADMINISTRATIVE DOCUMENTS.



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project name:
LINCOLN HALL
project address:
2 LINCOLN STREET
ESSEX JUNCTION, VT 05452

scale: 1/2" = 1'-0"
project no. 528987
checked by: MJH
drawn by: PSB
proj. date: 02/15/24
sheet date: 02/15/24

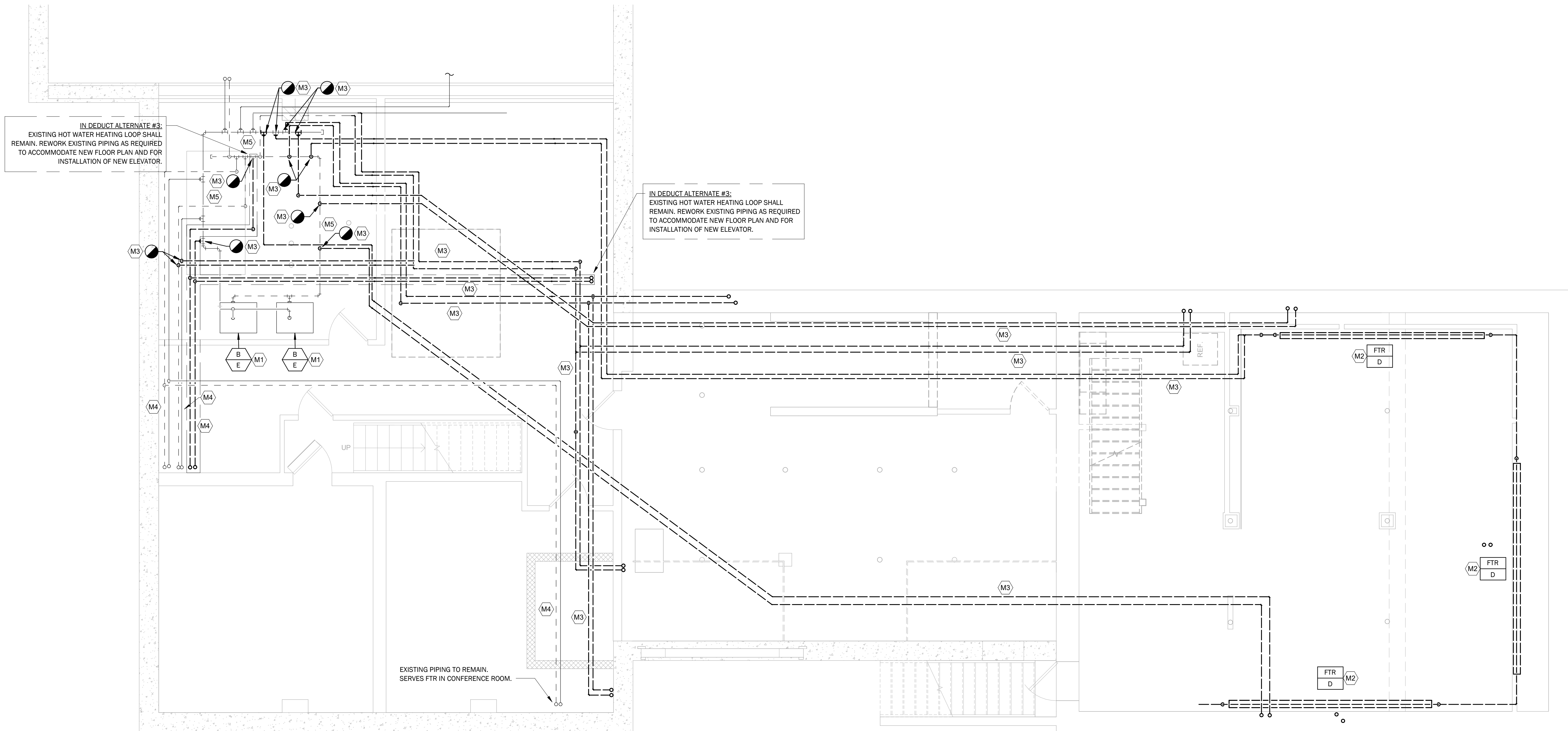
No	Date	Revisions

sheet title:
MECHANICAL LEGEND AND GENERAL NOTES

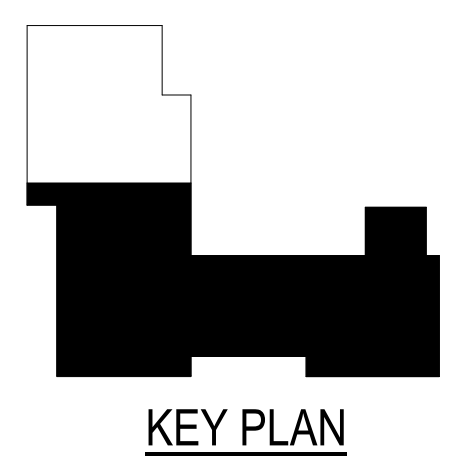
sheet no.
M1.0

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KEYED NOTES	
M1	EXISTING BOILER SHALL REMAIN.
M2	COMPLETELY REMOVE EXISTING FIN TUBE RADIATION INCLUDING ALL ASSOCIATED MECHANICAL AND CONTROLS CONNECTIONS. COMPLETELY REMOVE ALL ASSOCIATED PIPING, INSULATION, FITTINGS, AND SUPPORTS.
M3	COMPLETELY REMOVE EXISTING HOT WATER HEATING LOOP INCLUDING ALL ASSOCIATED PUMPS, VALVES, INSULATION, FITTINGS, AND HANGERS BACK TO MAINS AND CAP.
M4	EXISTING HOT WATER HEAT LOOP SHALL REMAIN.
M5	EXISTING HOT WATER HEATING MAINS SHALL REMAIN.



① BASEMENT MECHANICAL PLAN - DEMOLITION
1/4" = 1'-0"



50% CD'S - NOT FOR CONSTRUCTION

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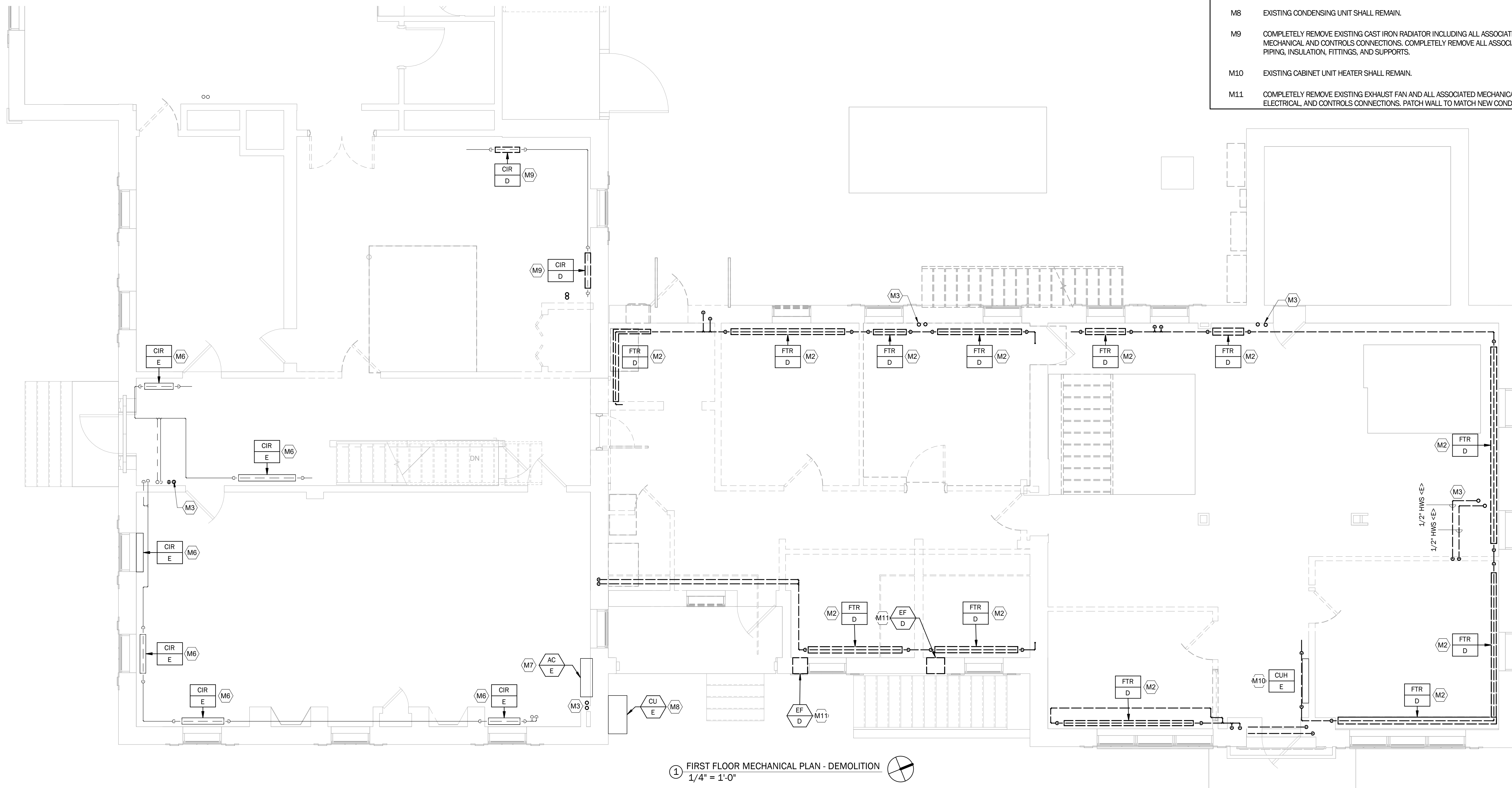
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LINCOLN HALL
project address:
2 LINCOLN STREET
ESSEX JUNCTION, VT 05452

scale:	As indicated
project no.	528987
checked by:	MJH
drawn by:	PSB
proj. date:	02/15/24
sheet date:	02/15/24

No	Date	Revisions

sheet title:
**BASEMENT
MECHANICAL
PLAN -
DEMOLITION**

sheet no.
M2.0



① FIRST FLOOR MECHANICAL PLAN - DEMOLITION
1/4" = 1'-0"

KEYED NOTES

- M2 COMPLETELY REMOVE EXISTING FIN TUBE RADIATION INCLUDING ALL ASSOCIATED MECHANICAL AND CONTROLS CONNECTIONS. COMPLETELY REMOVE ALL ASSOCIATED PIPING, INSULATION, FITTINGS, AND SUPPORTS.
- M3 COMPLETELY REMOVE EXISTING HOT WATER HEATING LOOP INCLUDING ALL ASSOCIATED PUMPS, VALVES, INSULATION, FITTINGS, AND HANGERS BACK TO MAINS AND CAP.
- M6 EXISTING CAST IRON RADIATOR SHALL REMAIN.
- M7 EXISTING WALL-MOUNTED A/C UNIT SHALL REMAIN.
- M8 EXISTING CONDENSING UNIT SHALL REMAIN.
- M9 COMPLETELY REMOVE EXISTING CAST IRON RADIATOR INCLUDING ALL ASSOCIATED MECHANICAL AND CONTROLS CONNECTIONS. COMPLETELY REMOVE ALL ASSOCIATED PIPING, INSULATION, FITTINGS, AND SUPPORTS.
- M10 EXISTING CABINET UNIT HEATER SHALL REMAIN.
- M11 COMPLETELY REMOVE EXISTING EXHAUST FAN AND ALL ASSOCIATED MECHANICAL, ELECTRICAL, AND CONTROLS CONNECTIONS. PATCH WALL TO MATCH NEW CONDITIONS.



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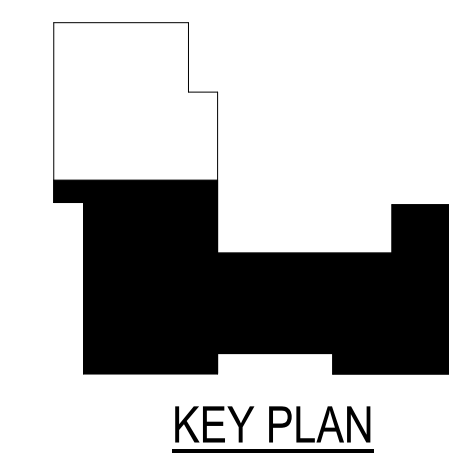
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drawn by: PSB
proj. date: 02/15/24
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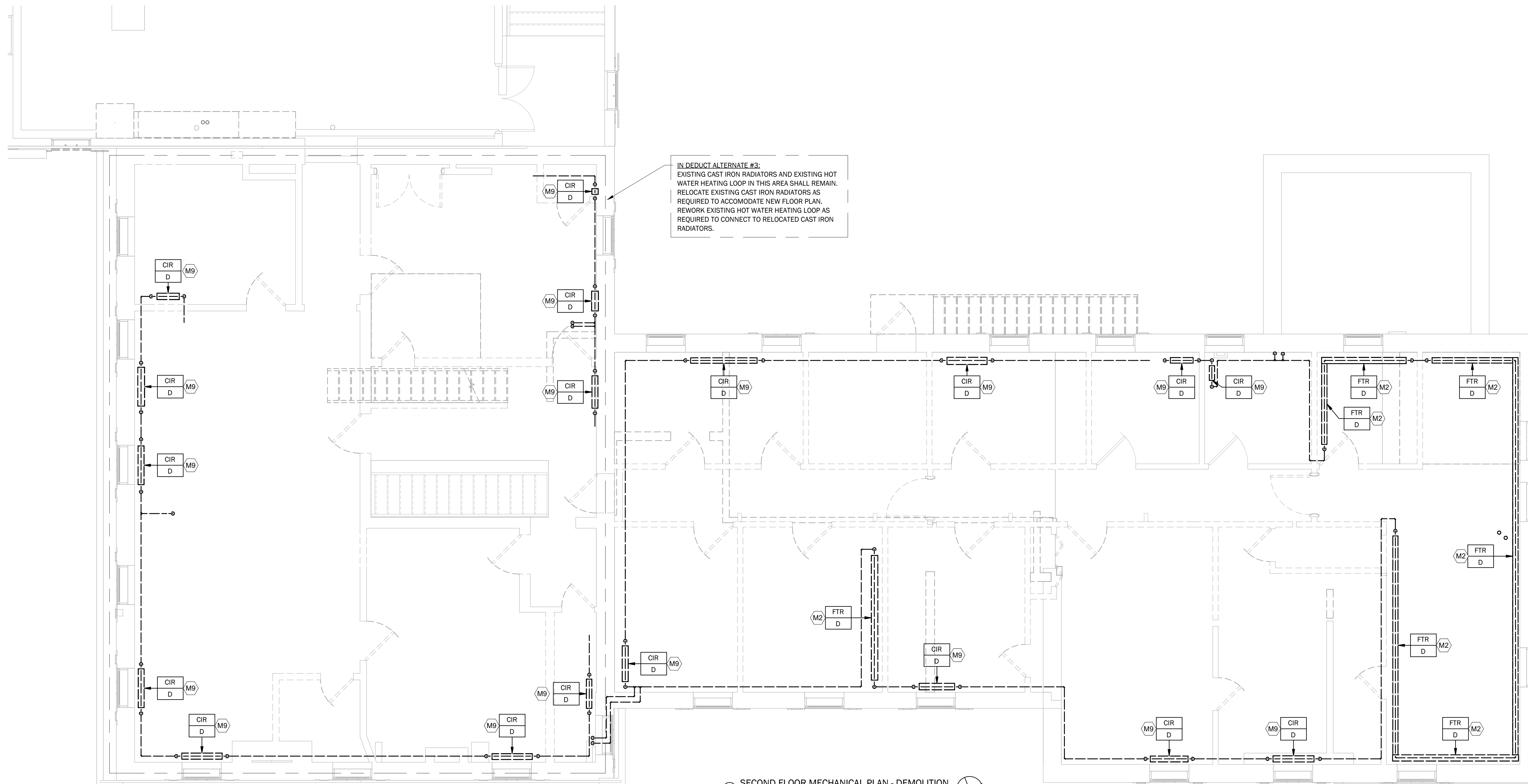
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**FIRST FLOOR
MECHANICAL
PLAN -
DEMOLITION**

sheet no.
M2.1

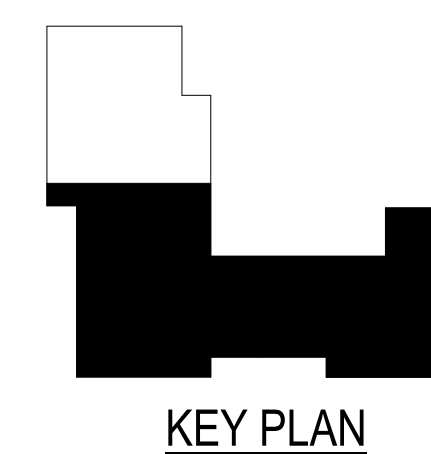


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KEYED NOTES	
M2	COMPLETELY REMOVE EXISTING FIN TUBE RADIATION INCLUDING ALL ASSOCIATED MECHANICAL AND CONTROLS CONNECTIONS. COMPLETELY REMOVE ALL ASSOCIATED PIPING, INSULATION, FITTINGS, AND SUPPORTS.
M9	COMPLETELY REMOVE EXISTING CAST IRON RADIATOR INCLUDING ALL ASSOCIATED MECHANICAL AND CONTROLS CONNECTIONS. COMPLETELY REMOVE ALL ASSOCIATED PIPING, INSULATION, FITTINGS, AND SUPPORTS.



1 SECOND FLOOR MECHANICAL PLAN - DEMOLITION
1/4" = 1'-0"



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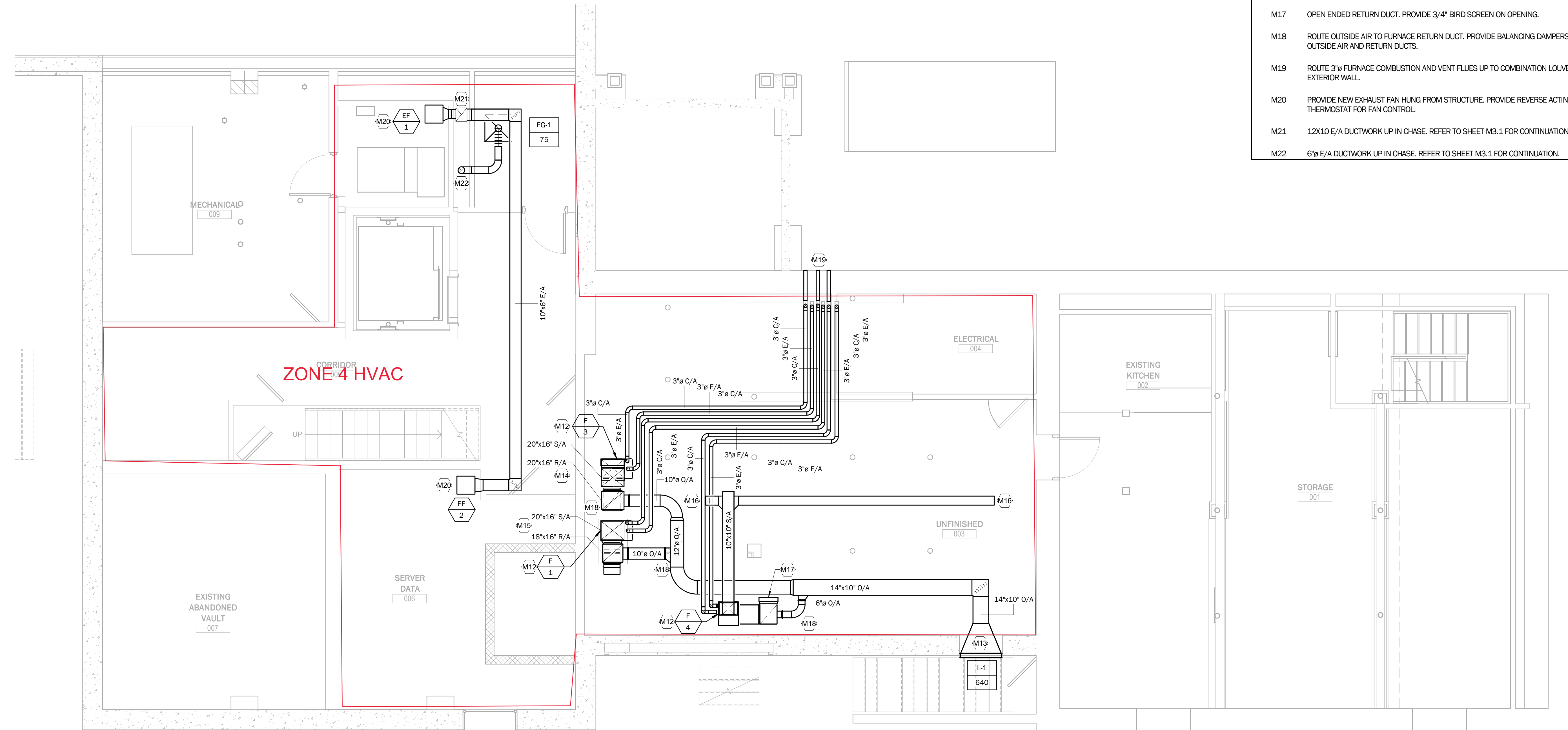
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No	Date	Revisions

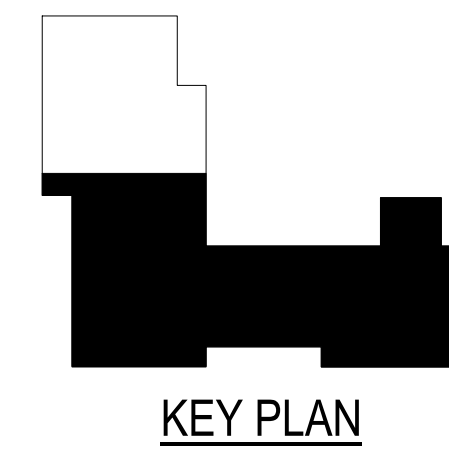
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SECOND FLOOR MECHANICAL PLAN - DEMOLITION

sheet no.
M2.2



- KEYED NOTES**
- M12 PROVIDE NEW FURNACE MOUNTED ON 4" CONCRETE PAD.
 - M13 PROVIDE NEW LOUVER IN EXISTING WINDOW OPENING. ENLARGE OPENING AS REQUIRED FOR INSTALLATION OF NEW LOUVER.
 - M14 ROUTE 20X16 S/A AND R/A DUCTWORK UP TO FIRST FLOOR. REFER TO SHEET M3.1 FOR CONTINUATION.
 - M15 ROUTE 20X16 S/A AND 18X16 R/A DUCTWORK UP TO FIRST FLOOR. REFER TO SHEET M3.1 FOR CONTINUATION.
 - M16 OPEN ENDED SUPPLY DUCT. PROVIDE 3/4" BIRD SCREEN ON OPENING.
 - M17 OPEN ENDED RETURN DUCT. PROVIDE 3/4" BIRD SCREEN ON OPENING.
 - M18 ROUTE OUTSIDE AIR TO FURNACE RETURN DUCT. PROVIDE BALANCING DAMPERS IN OUTSIDE AIR AND RETURN DUCTS.
 - M19 ROUTE 3" FURNACE COMBUSTION AND VENT FLUES UP TO COMBINATION LOUVER IN EXTERIOR WALL.
 - M20 PROVIDE NEW EXHAUST FAN HUNG FROM STRUCTURE. PROVIDE REVERSE ACTING THERMOSTAT FOR FAN CONTROL.
 - M21 12X10 E/A DUCTWORK UP IN CHASE. REFER TO SHEET M3.1 FOR CONTINUATION.
 - M22 6" E/A DUCTWORK UP IN CHASE. REFER TO SHEET M3.1 FOR CONTINUATION.

1 BASEMENT AIR DISTRIBUTION PLAN
1/4" = 1'-0"



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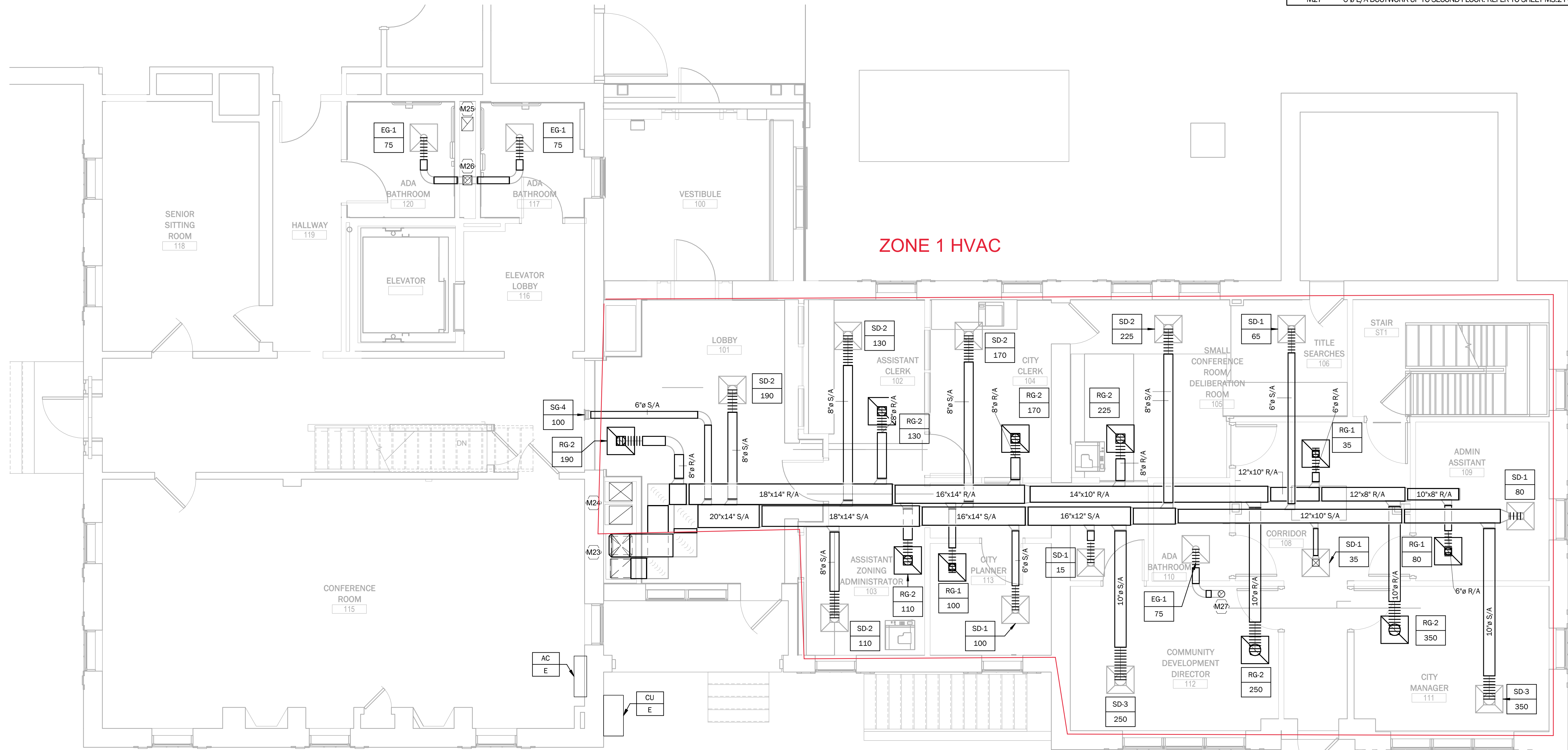
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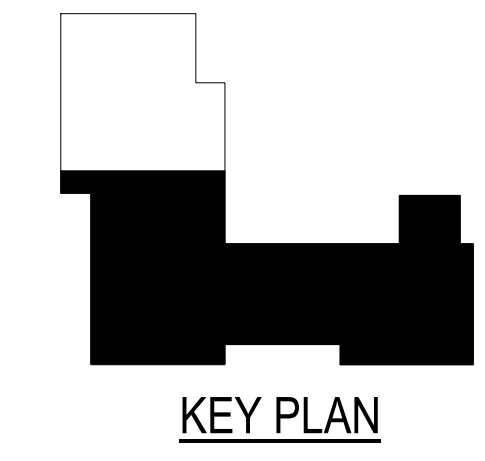
sheet no.
M3.0

GRD RUNOUT SCHEDULE		
TAG	RUNOUT SIZE (IN)	MAX CFM
EG-1	6	100
RG-1	6	100
RG-2	8	225
SD-1	6	100
SD-2	8	225
SD-3	10	350
SG-4	10x6	100

KEYED NOTES	
M23	ROUTE 20X16 S/A AND 18X16 R/A DUCTWORK DOWN IN CHASE TO BASEMENT. REFER TO SHEET M3.0 FOR CONTINUATION.
M24	20X16 S/A AND R/A DUCTS UP AND DOWN IN CHASE. REFER TO SHEETS M3.0 AND M3.2 FOR CONTINUATION.
M25	12X10 E/A DUCTWORK UP AND DOWN IN CHASE. REFER TO SHEETS M3.0 AND M3.2 FOR CONTINUATION.
M26	8X8 E/A DUCT UP AND 6" E/A DUCT DOWN IN CHASE. REFER TO SHEETS M3.0 AND M3.2 FOR CONTINUATION.
M27	6" E/A DUCTWORK UP TO SECOND FLOOR. REFER TO SHEET M3.2 FOR CONTINUATION.



① FIRST FLOOR AIR DISTRIBUTION PLAN
1/4" = 1'-0"



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sheet date: 02/15/24

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sheet title:
FIRST FLOOR AIR DISTRIBUTION PLAN

sheet no.
M3.1

GRD RUNOUT SCHEDULE

TAG	RUNOUT SIZE (IN)	MAX CFM
EG-1	6	100
RG-1	6	100
RG-2	8	225
SD-1	6	100
SD-2	8	225
SD-3	10	350
SG-4	10x6	100

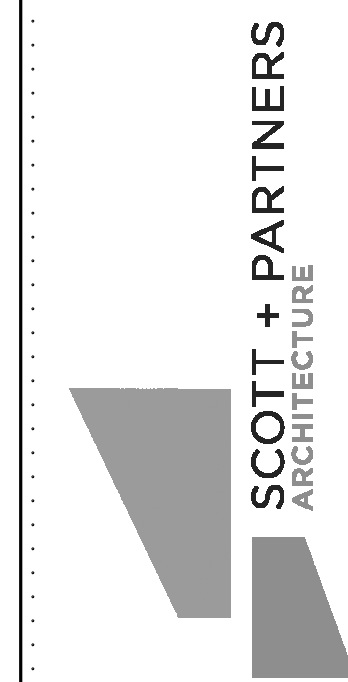
KEYED NOTES

- M28 8x8 E/A DUCT WORK DOWN IN CHASE. REFER TO SHEET M3.1 FOR CONTINUATION.
- M30 PROVIDE NEW INLINE EXHAUST FAN ABOVE CEILING. HANG FAN FROM STRUCTURE ABOVE.
- M32 ROUTE 6"Ø E/A DUCTWORK DOWN IN CHASE. REFER TO SHEET M3.1 FOR CONTINUATION.
- M33 16x12 S/A AND R/A DUCTWORK UP TO ATTIC. REFER TO SHEET M3.3 FOR CONTINUATION.



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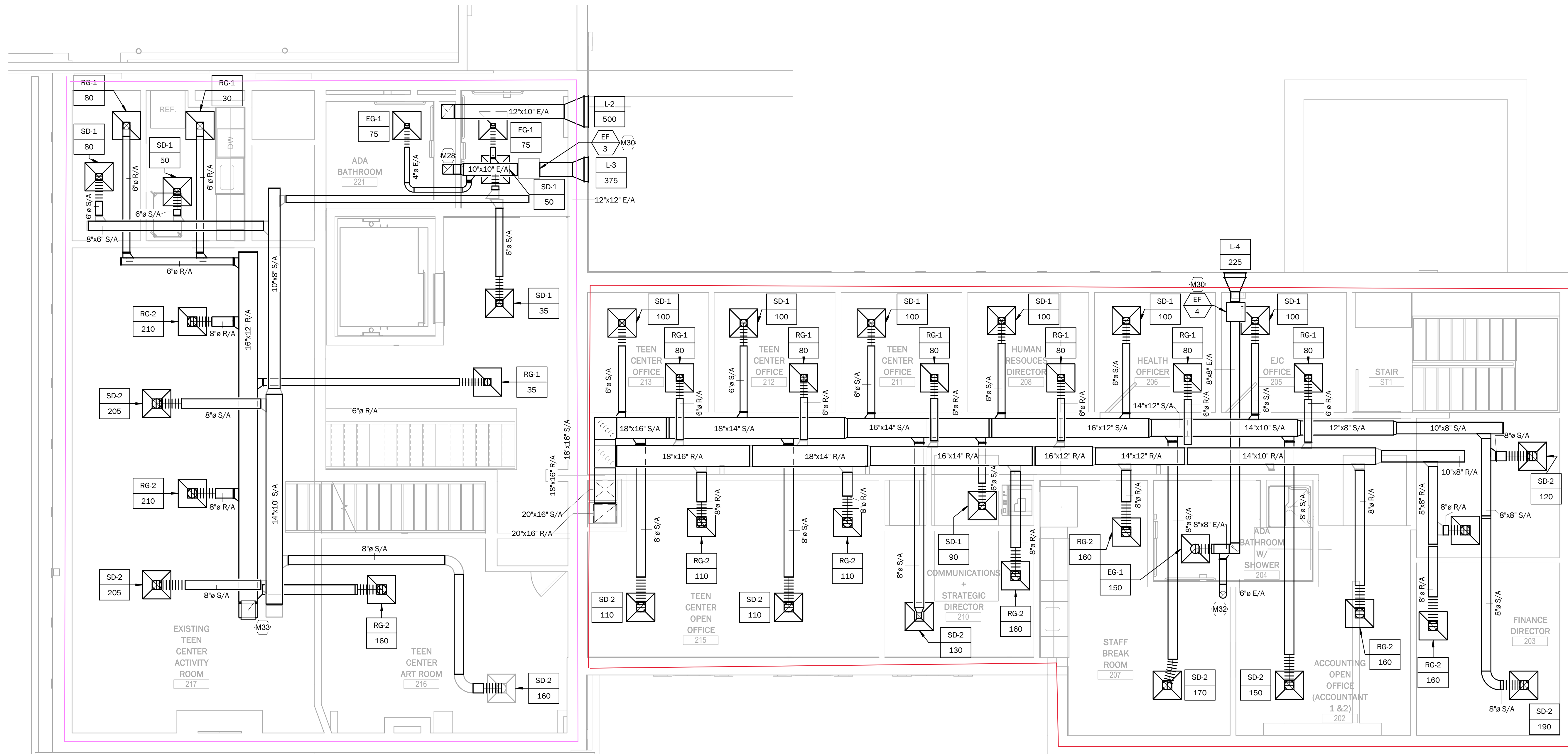
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project no. 528987
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drawn by: PSB
proj. date: 02/15/24
sheet date: 02/15/24

No	Date	Revisions

sheet title:
**SECOND FLOOR
AIR
DISTRIBUTION
PLAN**

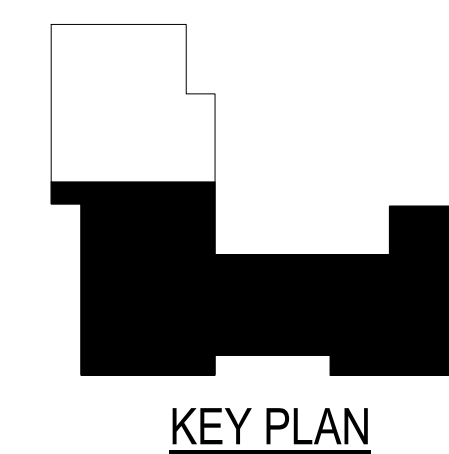
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M3.2



ZONE 3 HVAC

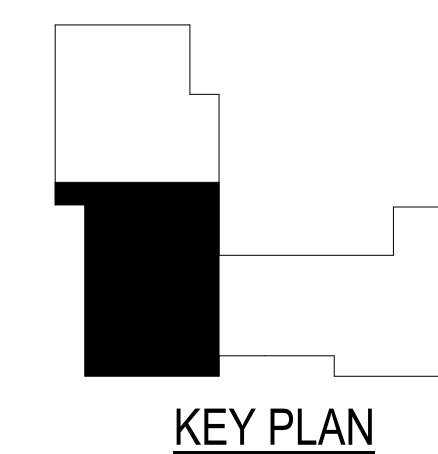
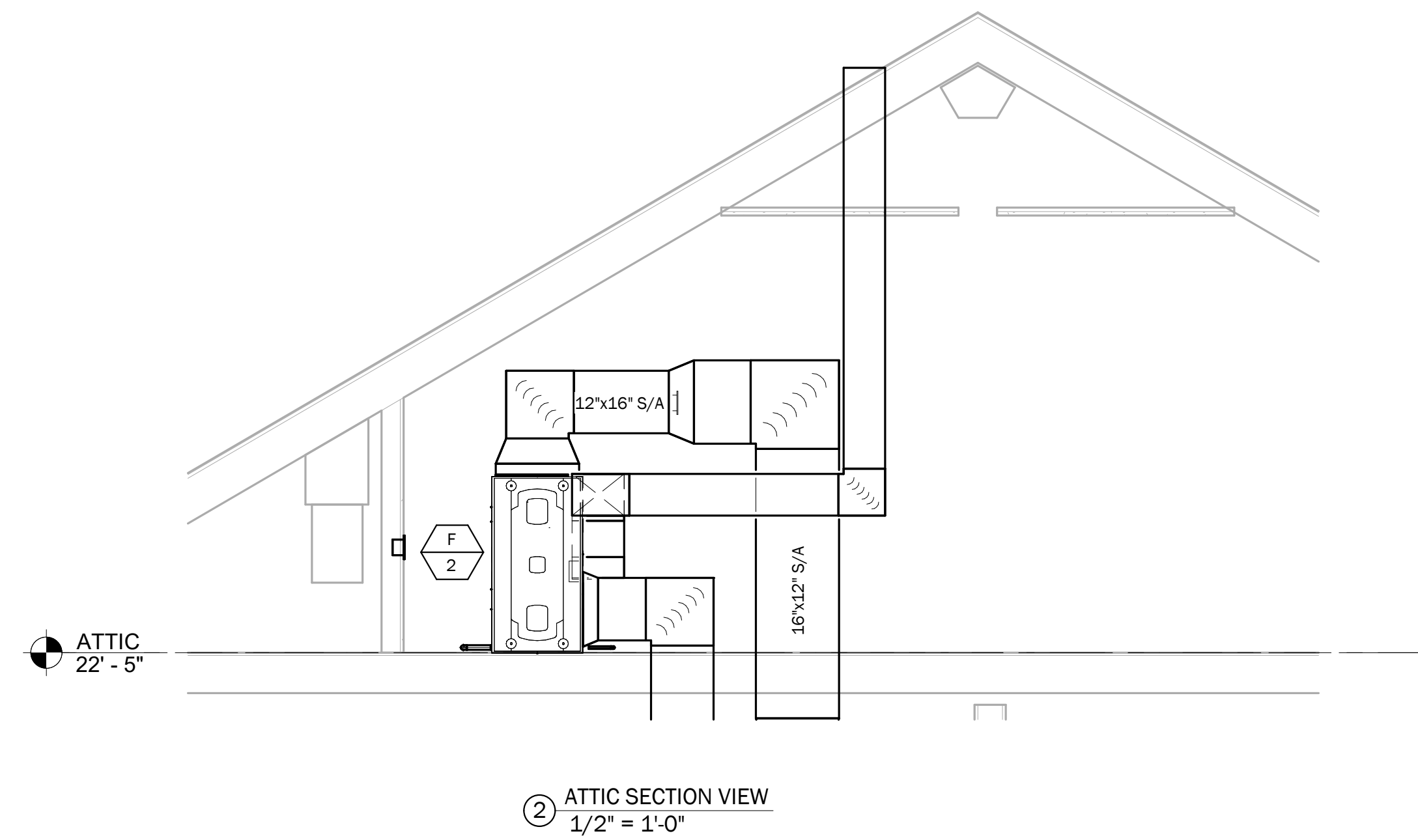
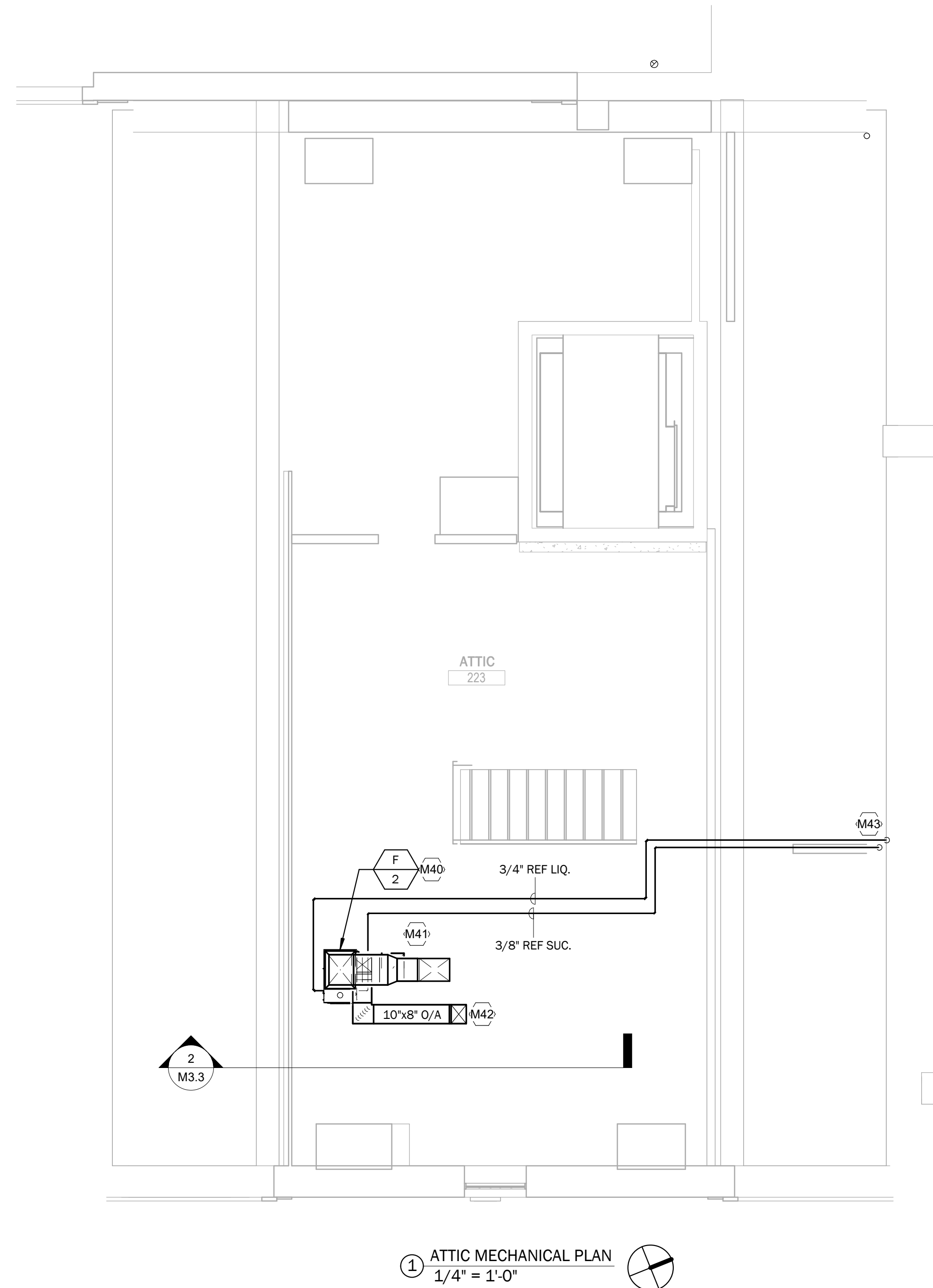
ZONE 2 HVAC

1 SECOND FLOOR AIR DISTRIBUTION PLAN
1/4" = 1'-0"



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KEYED NOTES	
M40	PROVIDE NEW FURNACE MOUNTED ON STRUCTURAL PLATFORM. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
M41	16x12 S/A AND R/A DUCTS DOWN TO SECOND FLOOR. REFER TO SHEET M3.2 FOR CONTINUATION.
M42	ROUTE OA DUCTWORK UP THROUGH EXISTING ROOF HATCH OPENING AND TERMINATE WITH GOOSENECK.
M43	ROUTE REFRIGERANT PIPING DOWN TO SECOND FLOOR, REFER TO SHEET M4.2 FOR CONTINUATION.



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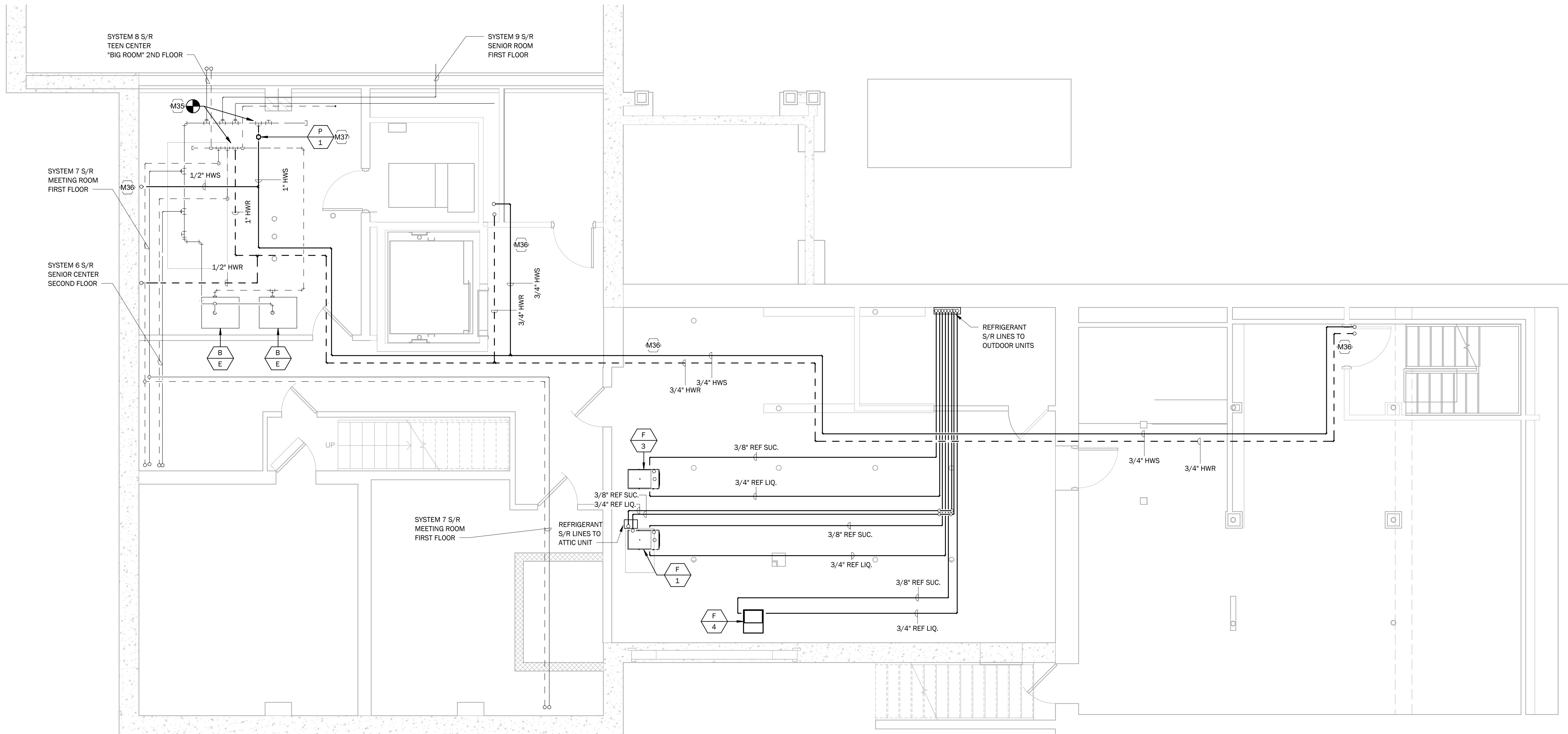
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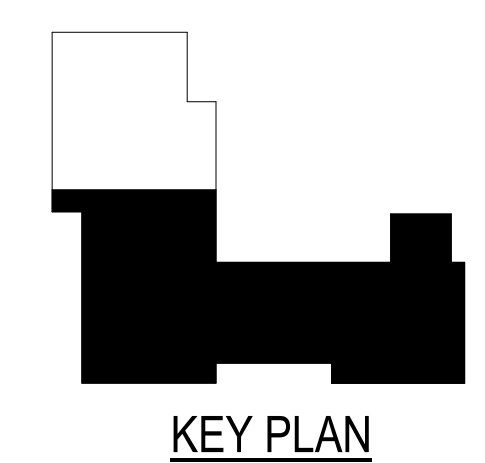
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ATTIC MECHANICAL PLAN

sheet no.
M3.3

KEYED NOTES	
M35	CONNECT NEW HWS/R PIPING TO EXISTING MAINS.
M36	ROUTE NEW HWS/R PIPING TO NEW CABINET UNIT HEATERS AND FIN/TUBE RADIATION ON FIRST FLOOR. REFER TO SHEET M4.1 FOR HEATING ELEMENT LOCATIONS.
M37	PROVIDE NEW CIRCULATOR PUMP FOR NEW HOT WATER HEATING LOOP.



① BASEMENT HYDRONICS PLAN
1/4" = 1'-0"



KEY PLAN

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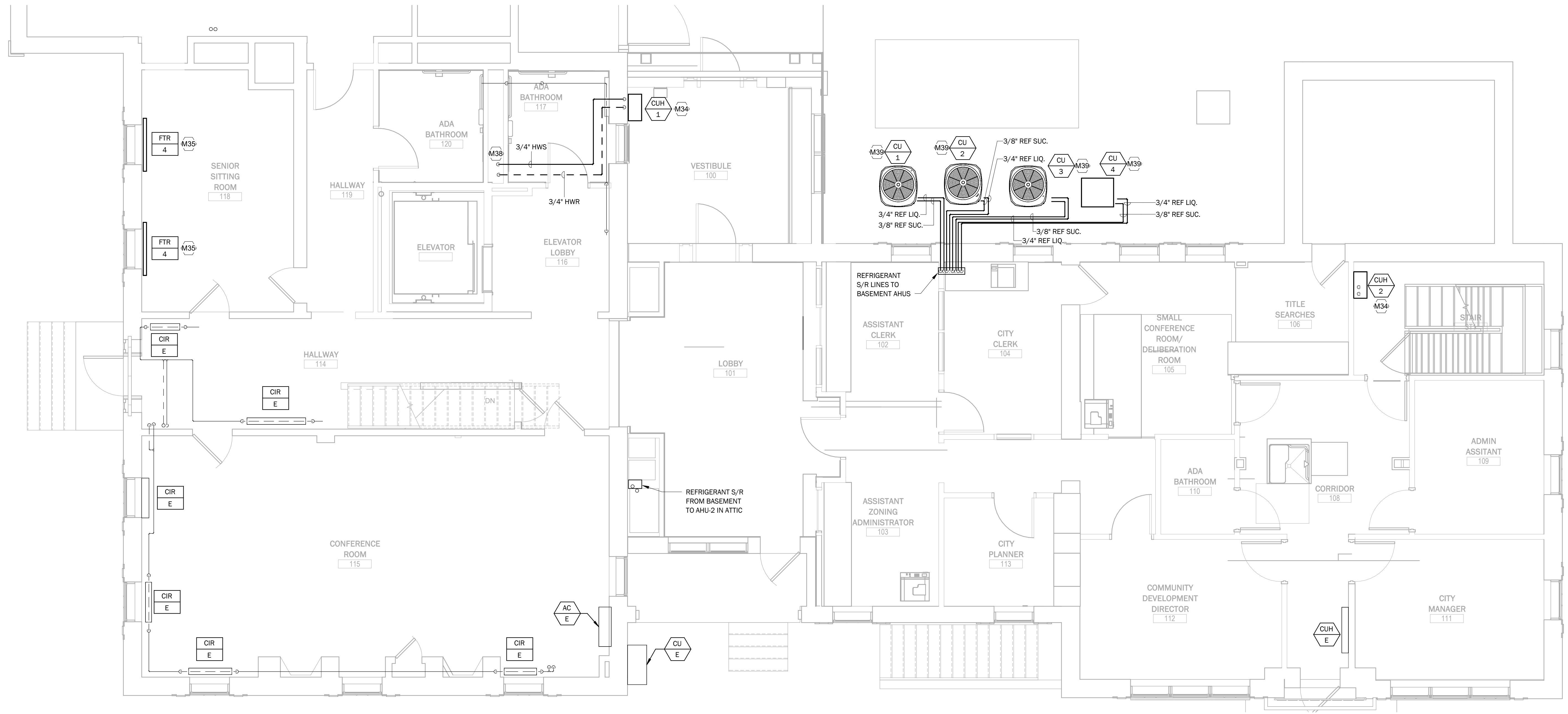
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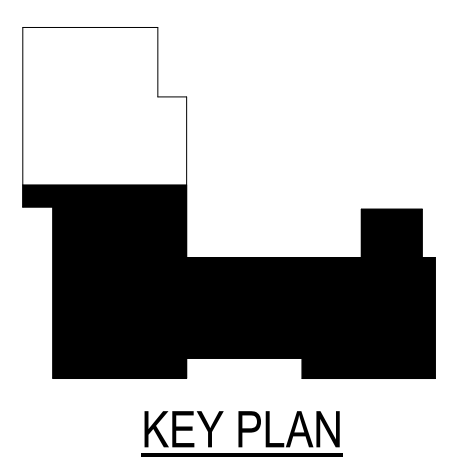
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**BASEMENT
HYDRONICS PLAN**

sheet no.
M4.0

KEYED NOTES	
M34	PROVIDE FLOOR MOUNTED HYDRONIC CABINET UNIT HEATER.
M35	CONNECT NEW HWS/R PIPING TO EXISTING MAINS.
M38	ROUTE HWS/R PIPING DOWN IN CHASE TO NEW HWS/R LOOP IN BASEMENT. REFER TO SHEET M4.0 FOR CONTINUATION.
M39	PROVIDE NEW HEAT PUMP CONDENSING UNIT MOUNTED ON CONCRETE EQUIPMENT PAD. REFER TO STRUCTURAL PLANS FOR PAD DETAIL.



① FIRST FLOOR HYDRONICS PLAN
1/4" = 1'-0"



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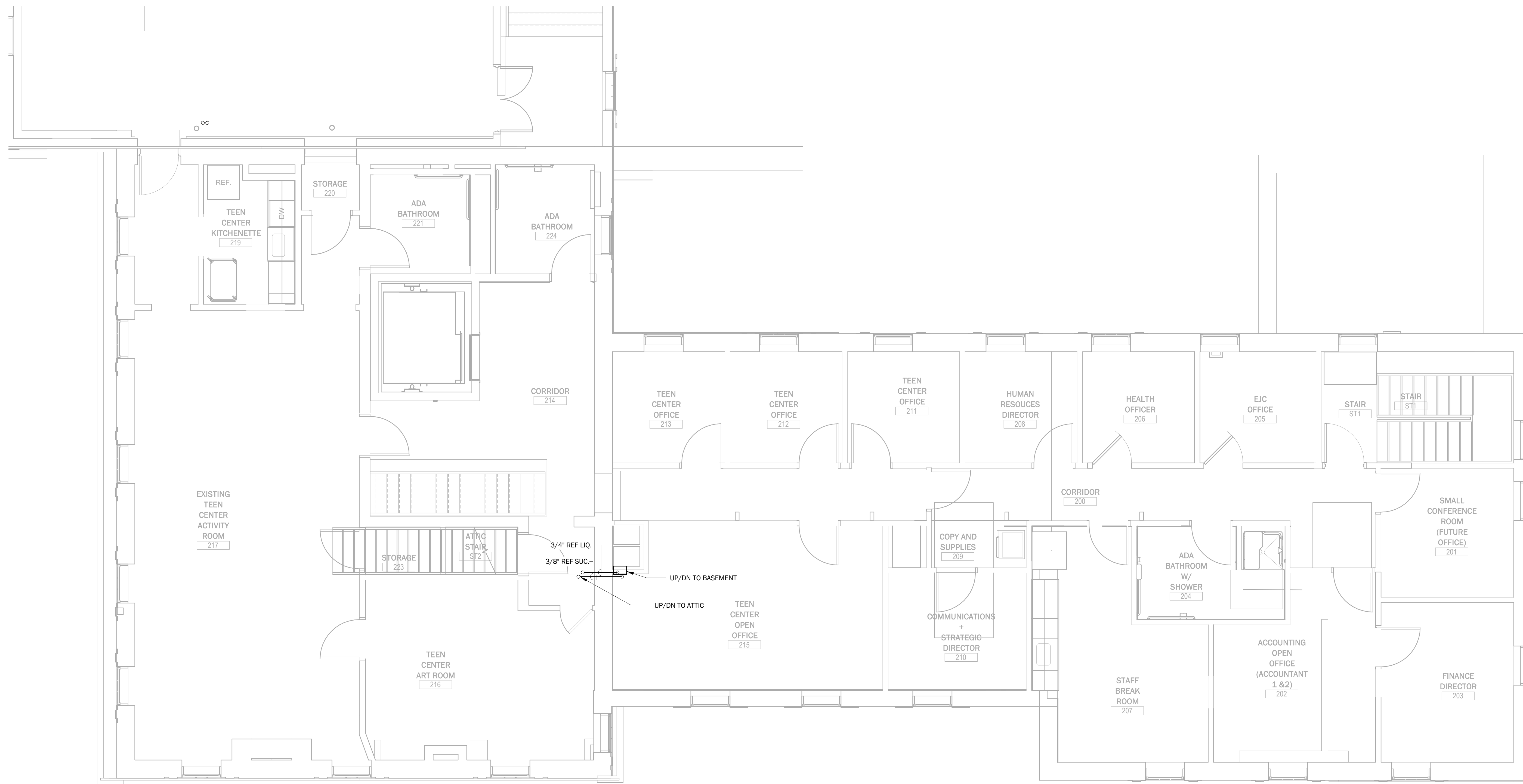
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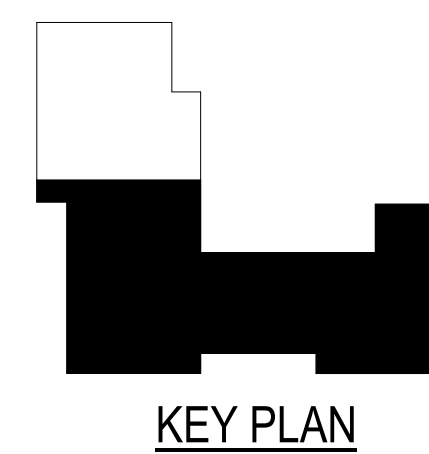
No	Date	Revisions

sheet title:
**FIRST FLOOR
HYDRONICS PLAN**

sheet no.
M4.1



① SECOND FLOOR HYDRONICS PLAN
1/4" = 1'-0"



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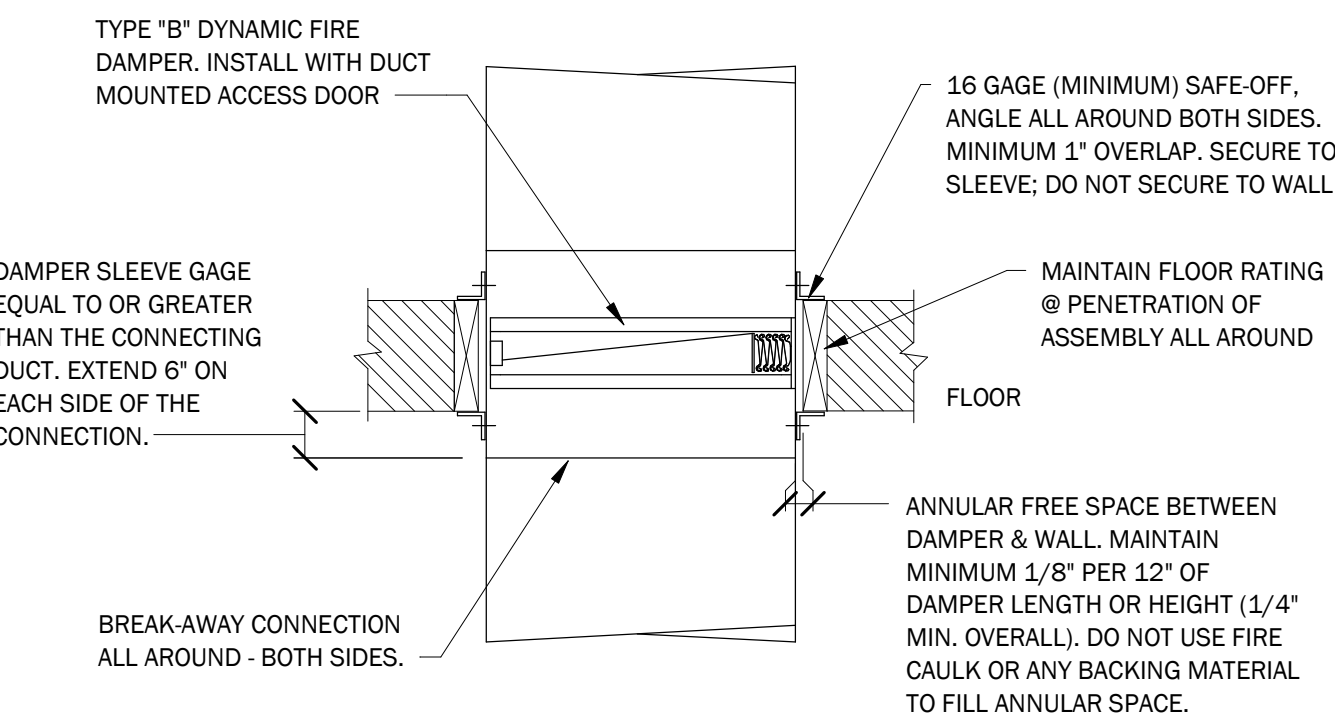
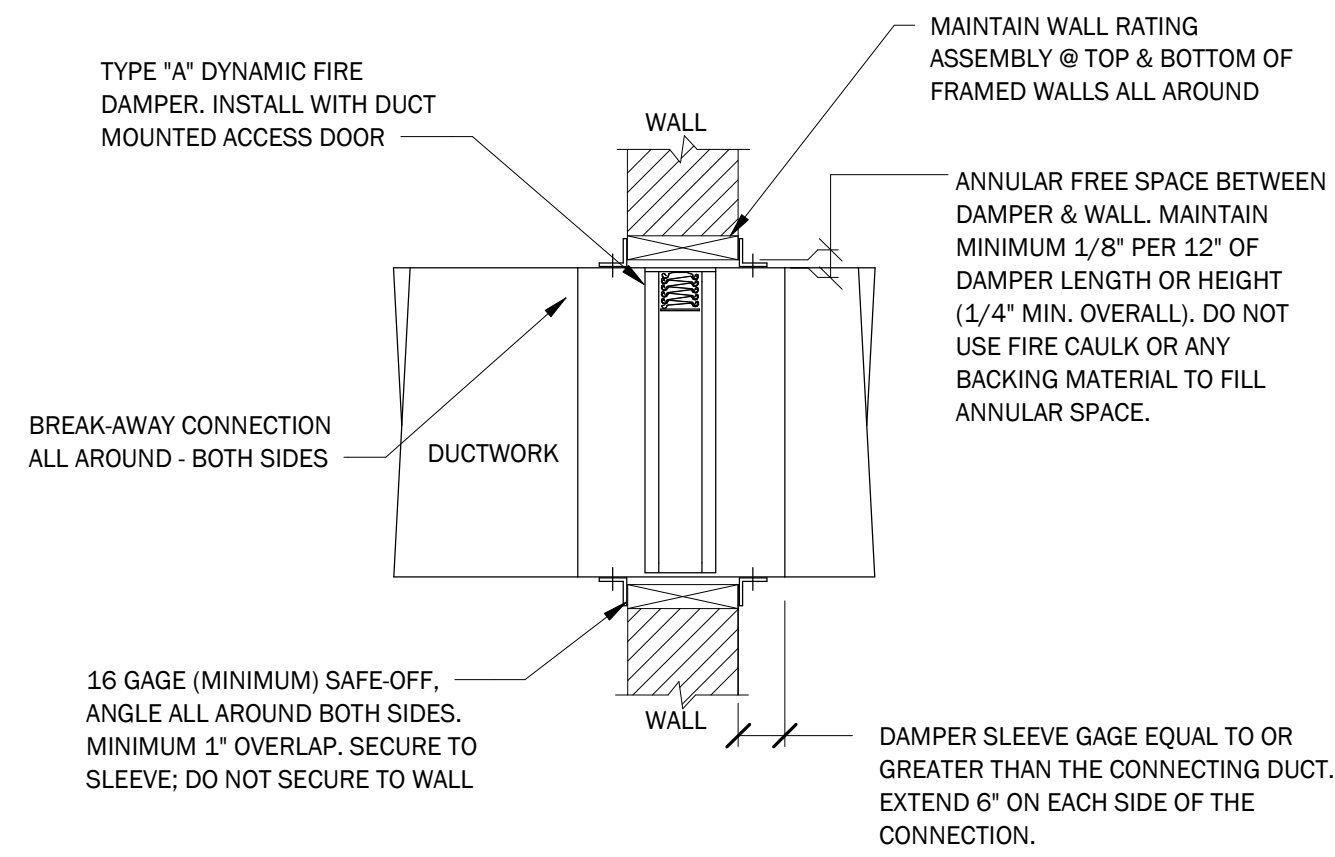
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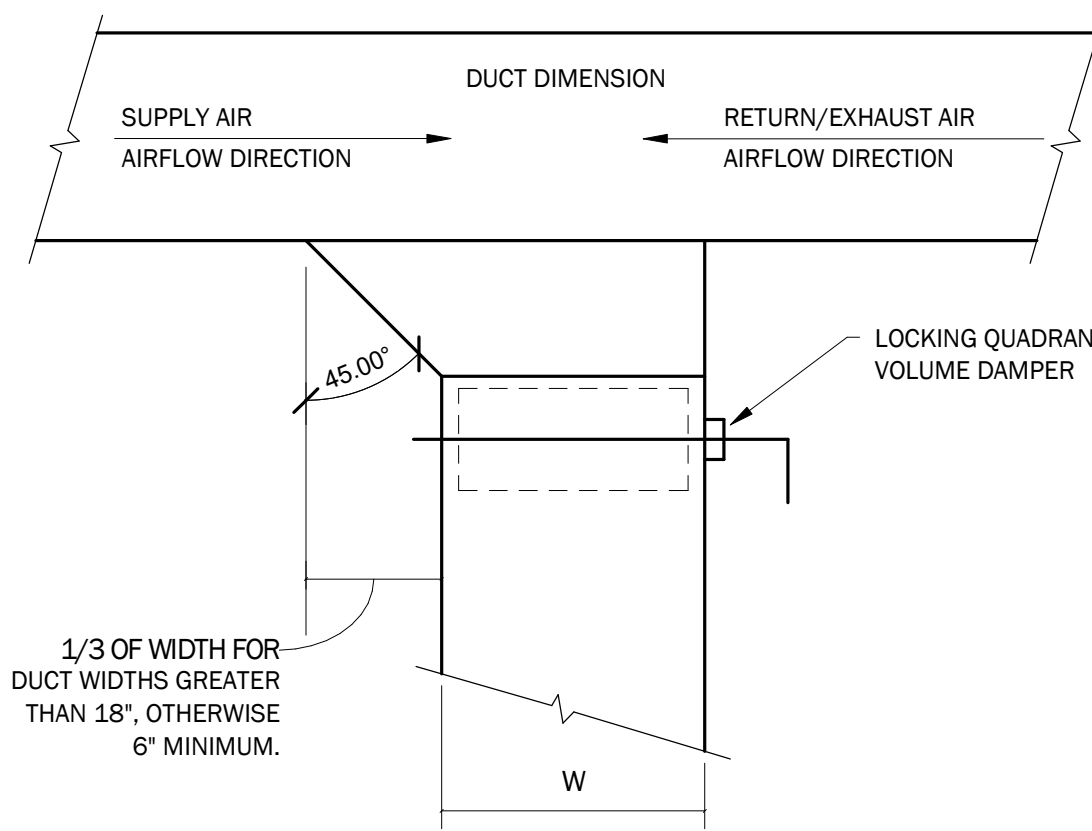
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HYDRONICS PLAN**

sheet no.
M4.2

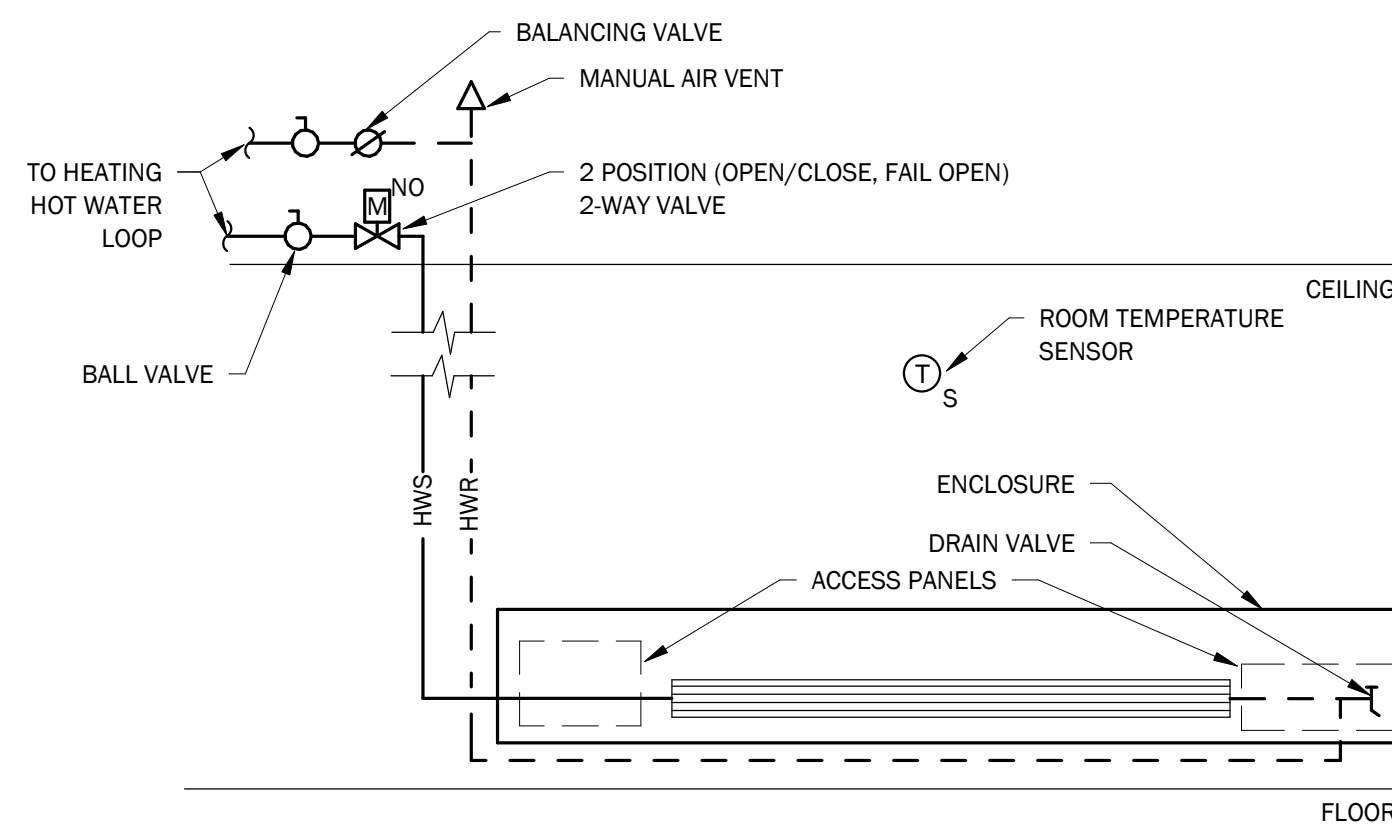


- NOTES:
1. PROVIDE ACCESS DOOR w/ LABEL AT EVERY DAMPER INSTALLATION.
 2. SMOKE DAMPER & COMBINATION FIRE/SMOKE DAMPER INSTALLATION SIMILAR. PROVIDE ADEQUATE SLEEVE LENGTHS (EACH SIDE) TO ACCOMMODATE DAMPER OPERATOR, SAFING, & ACCESSORIES. INSTALL PER NFPA & MFG. REQUIREMENTS WITHIN OR ADJACENT TO SMOKE OR FIRE/SMOKE BARRIERS.

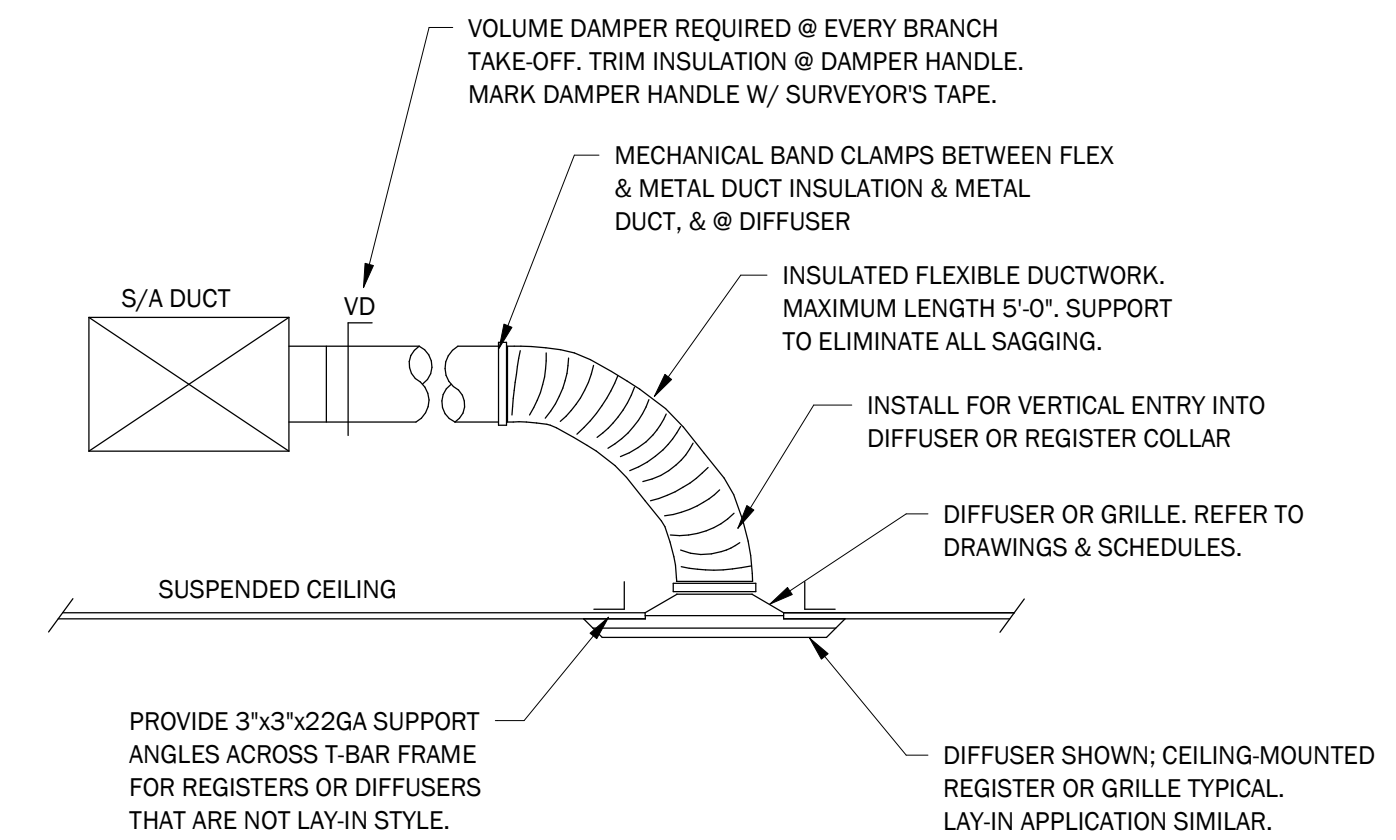
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NOT TO SCALE



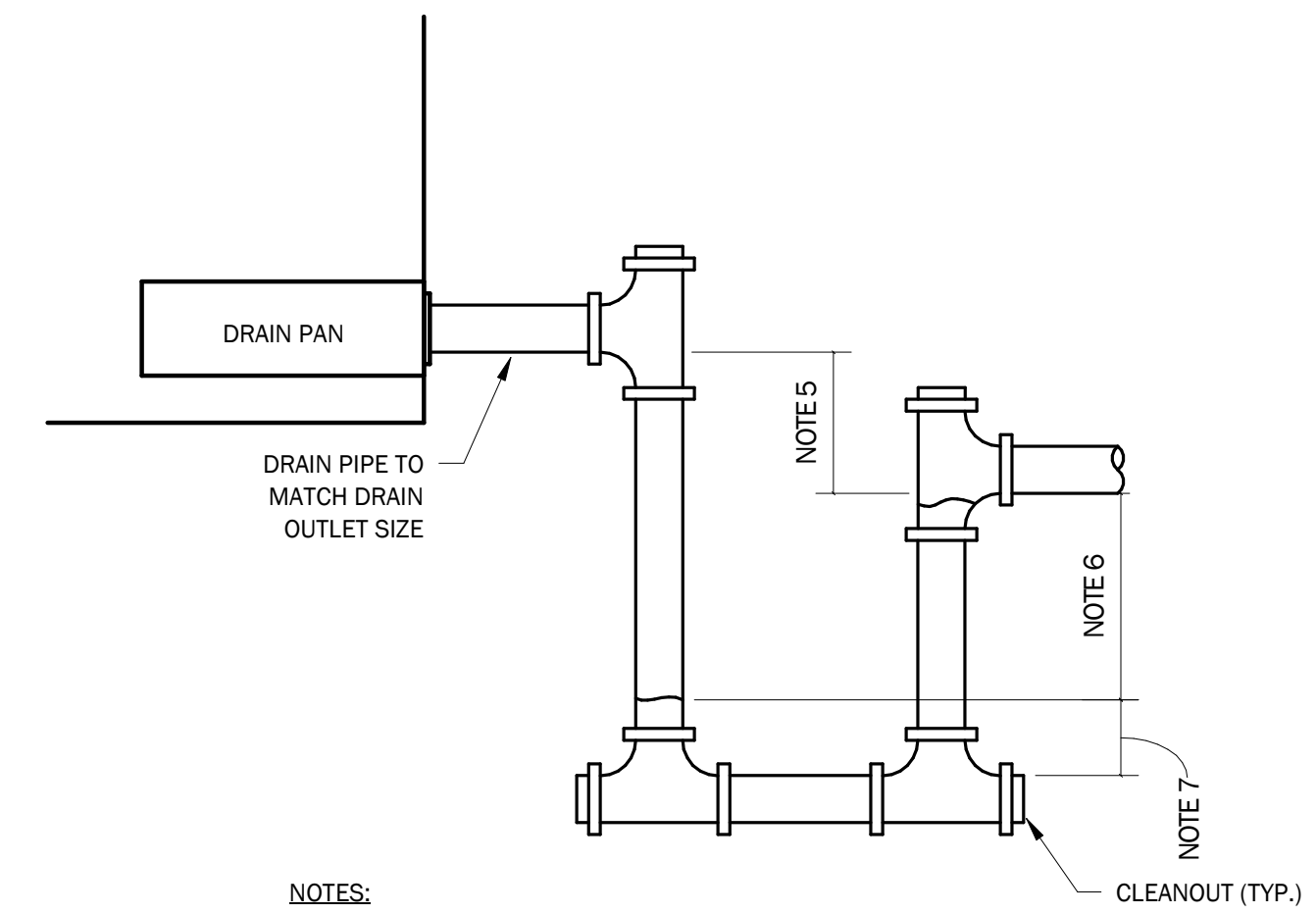
③ DUCT BRANCH CONNECTION DETAIL
NOT TO SCALE



④ BASEBOARD & FIN TUBE RADIATION DETAIL
NOT TO SCALE



① CEILING DIFFUSER INSTALLATION DETAILS
NOT TO SCALE



- NOTES:
1. ALLOW SUFFICIENT SPACE BELOW DRAIN PAN FOR TRAP.
 2. PITCH DRAIN FOR PROPER RUNOFF.
 3. MANUALLY PRIME FILL TRAP BEFORE START-UP TO FORM INITIAL DRAIN SEAL.
 4. SUPPORT LENGTHY DRAIN LINES TO PREVENT SAG AND CONDENSATE OVERFLOW.
 5. DRAIN MUST BE LOWER THAN PAN OUTLET.
 6. THIS DIMENSION IN INCHES MUST BE GREATER THAN THE MAXIMUM FAN DISCHARGE STAT PRESSURE IN INCHES WC (WITH DIRTY FILTERS, COILS, AND MAXIMUM AIR FLOW).
 7. PROVIDE A 1\"/>

② CONDENSATE DRAIN DETAIL
NOT TO SCALE

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project no. 528987
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drawn by: PSB
proj. date: 02/15/24
sheet date: 02/15/24

No	Date	Revisions

sheet title:
**MECHANICAL
DETAILS**

sheet no.
M5.0

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HEAT PUMP CONDENSING UNIT SCHEDULE																						
TAG	MATCHED UNIT TAG	LOCATION	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN MODEL	COOLING					HEATING					VOLTS	PHASE	HZ	MCA	MOCP	SOUND (DBA)	WEIGHT (LB)	REMARKS
					CAPACITY (TONS)	OA DB	EFFICIENCY		STAGE S	CAPACITY (MBH)	OAT	COP @17°F										
							EER	SEER														
CJ-1	F-1	OUTSIDE	TRANE	4TTA4	5.0	95	11.7	14.3	2	37.5	17	2.5	208	1	60	32.0	50.0	0	211			
CJ-2	F-2	OUTSIDE	TRANE	4TTA4	3.5	95	11.7	14.3	2	25.7	17	2.5	208	1	60	24.0	40.0	0	184			
CJ-3	F-3	OUTSIDE	TRANE	4TTA4	5.0	95	11.7	14.3	2	37.5	17	2.5	208	1	60	32.0	50.0	0	211			
CJ-4	F-4	OUTSIDE	TRANE	4TTR4	1.5	95	11.7	14.3	2	14.8	17	2.5	208	1	60	15.0	25.0	0	133			

NOTES:
1. PROVIDE WITH EVAPORATOR DEFROST CONTROL.

FURNACE SCHEDULE																						
TAG	LOCATION	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN MODEL	FUEL	HEATING CAPACITY					EFFICIENCY (%)	AIRFLOW (CFM)	ELECTRICAL			DX COOLING COIL					REMARKS		
					HIGH INPUT (MBH)	HIGH OUTPUT (MBH)	LOW INPUT (MBH)	LOW OUTPUT (MBH)	TOTAL COOLING CAPACITY (MBH)			HP	VOLTS	PHASE	HZ	SENSIBLE CAPACITY (MBH)			WEIGHT			
																ENTERING	LEAVING	DB			WB	DB
F-1	BASEMENT	TRANE	39V2C	NATURAL GAS	80	77.6	52	50.4	96	1,975	1.00	120	1	60	57.9	45.3	80	67	58.7	57.5	139	
F-2	ATTIC	TRANE	S9V2B	NATURAL GAS	80	77.6	52	50.4	96	1,400	0.75	120	1	60	39.5	29.2	80	67	58.9	57.0	127	
F-3	BASEMENT	TRANE	39V2C	NATURAL GAS	800	77.6	52	50.4	96	1,975	1.00	120	1	60	57.9	45.3	80	67	58.7	57.5	139	
F-4	BASEMENT	TRANE	39X1B	NATURAL GAS	40	38.8	0	0	92.1	800	0.50	120	1	60	23.8	18.1	80	67	58.7	57.3	144	

NOTES:
1. PROVIDE WITH UPFLOW COIL FOR COOLING AND HEATING APPLICATIONS.

CIRCULATOR PUMP SCHEDULE										
TAG	LOCATION	SERVES	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN MODEL	GPM	WPD (FT)	VOLTS	PH	HZ	REMARKS
P-1	MECHANICAL ROOM	HOT WATER HEATING	Grundfos	ALPHA3 15-40 130	5 GPM	25.0 ftH2O	120 V	1	60 Hz	

NOTES:
1. PROVIDE PUMP WITH INTEGRAL VFD AND DP SENSOR.

EXHAUST FAN SCHEDULE														
TAG	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN MODEL	TYPE	FLOW (CFM)	S.P. (IN)	RPM	BHP	MAX (DBA)	MOTOR				WEIGHT (LB)	REMARKS
									HP	VOLTS	PHASE	AMPS		
EF-1	GREENHECK	SQ-80-VG	DIRECT DRIVE IN-LINE FAN	250	0.52	1650	0.07	56	0.17	115	1	2.8	49	
EF-2	GREENHECK	SQ-80-VG	DIRECT DRIVE IN-LINE FAN	250	0.52	1650	0.07	56	0.17	115	1	2.8	49	
EF-3	GREENHECK	SQ-90-VG	DIRECT DRIVE IN-LINE FAN	375	0.54	1935	0.08	56	0.17	115	1	2.8	49	
EF-4	GREENHECK	SQ-80-VG	DIRECT DRIVE IN-LINE FAN	225	0.51	1604	0.06	56	0.17	115	1	2.8	49	

NOTES:
1. PROVIDE BACKDRAFT DAMPER.
2. PROVIDE WITH REVERSE ACTING THERMOSTAT.

CABINET UNIT HEATER SCHEDULE													
TAG	LOCATION	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN MODEL	AIRFLOW	TYPE	HEATING CAPACITY	GPM	WPD (FT)	MOTOR				REMARKS
									HP	VOLTS	PHASE	AMPS	
CUH-1	VESTIBULE	STERLING	R02	230 CFM	FLOOR MOUNTED	16,400.0 Btu/h	1.6	0.17 ftH2O	0.07	120 V	1	0.8 A	
CUH-2	STAIR	STERLING	R02	230 CFM	FLOOR MOUNTED	16,400.0 Btu/h	1.6	0.17 ftH2O	0.07	120 V	1	0.8 A	

NOTES:
1. HEATING CAPACITY IS BASED ON 180°F EWT, 160°F LWT, 65°F EAT.

GRILLES, REGISTERS & DIFFUSERS SCHEDULE							
TAG	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN MODEL	TYPE	FACE SIZE (IN)	INLET SIZE (IN)	MAX CFM	REMARKS
EG-1	PRICE	80	EXTRUDED ALUMINUM EGG CRATE GRILLE - 1/2" CORE	24"x24"	6	100	1, 2, 4
RG-1	PRICE	80	EXTRUDED ALUMINUM EGG CRATE GRILLE - 1/2" CORE	24"x24"	6	100	1, 2, 4
RG-2	PRICE	80	EXTRUDED ALUMINUM EGG CRATE GRILLE - 1/2" CORE	24"x24"	8	225	1, 2, 4
SD-1	PRICE	ASCD	ALUMINUM SQUARE CONE DIFFUSER	24"x24"	6	100	1, 3, 4
SD-2	PRICE	ASCD	ALUMINUM SQUARE CONE DIFFUSER	24"x24"	8	225	1, 3, 4
SD-3	PRICE	ASCD	ALUMINUM SQUARE CONE DIFFUSER	24"x24"	10	350	1, 3, 4
SG-4	PRICE	620	EXTRUDED ALUMINUM LOUVERED GRILLE, DOUBLE DEFLECTION, 3/4" BLADE SPACING	24"x24"	10x6	100	1, 5

NOTES:
1. PROVIDE WHITE IN COLOR.
2. PROVIDE WITH ROUND TO RECTANGULAR TRANSITION BOX.
3. PROVIDE WITH MOLDED INSULATION BLANKET.
4. T-BAR MOUNTED.
5. SIDEWALL MOUNTED.

FINNED TUBE RADIATION SCHEDULE												
TAG	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN MODEL	ENCLOSURE		TUBE DIAMETER	CAPACITY BTU PER FOOT	WATER PRESSURE DROP (PER 100')	EWT	LWT	EAT	GPM	REMARKS
			HEIGHT	DEPTH								
FTR-4	STERLING	SENIOR KOMPAK	0' - 8 1/2"	0' - 3"	1/2"	450.0 Btu/h	2.2 RH20	180 °F	160 °F	65 °F	1.0	

NOTES:
1. LENGTH LISTED IN SYMBOL IS THE ACTIVE LENGTH OF FIN TUBE ELEMENT.

LOUVER SCHEDULE										
TAG	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN MODEL	TYPE	APPLICATION	W X H (IN)	MAX CFM	FREE AREA (SQ. FT)	VELOCITY	PRESSURE DROP (IN WG)	REMARKS
L-1	GREENHECK	ESD-635	EXTRUDED ALUMINUM DRAINABLE LOUVER	INTAKE	36 X 20	640	2.1	299	0.01	ALL
L-2	GREENHECK	ESD-635	EXTRUDED ALUMINUM DRAINABLE LOUVER	EXHAUST	26 X 16	500	1.0	499	0.03	ALL
L-3	GREENHECK	ESD-635	EXTRUDED ALUMINUM DRAINABLE LOUVER	EXHAUST	20 X 16	350	0.7	471	0.03	ALL
L-4	GREENHECK	ESD-635	EXTRUDED ALUMINUM DRAINABLE LOUVER	EXHAUST	18 X 14	225	0.5	474	0.03	ALL

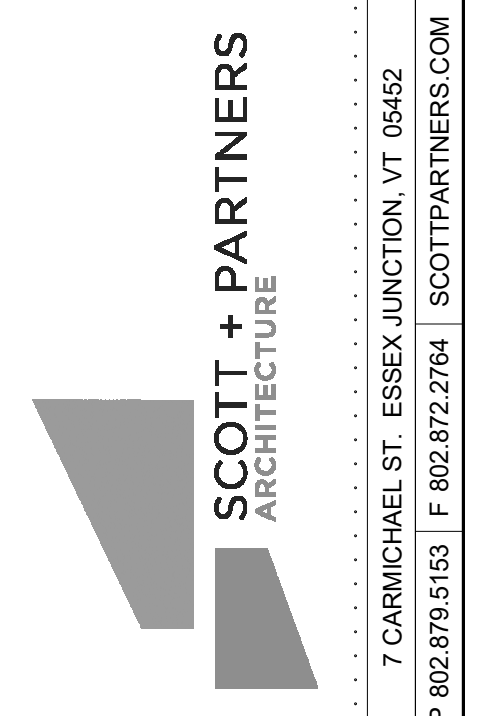
NOTES:
1. PROVIDE WITH 1/2" INSECT SCREEN.

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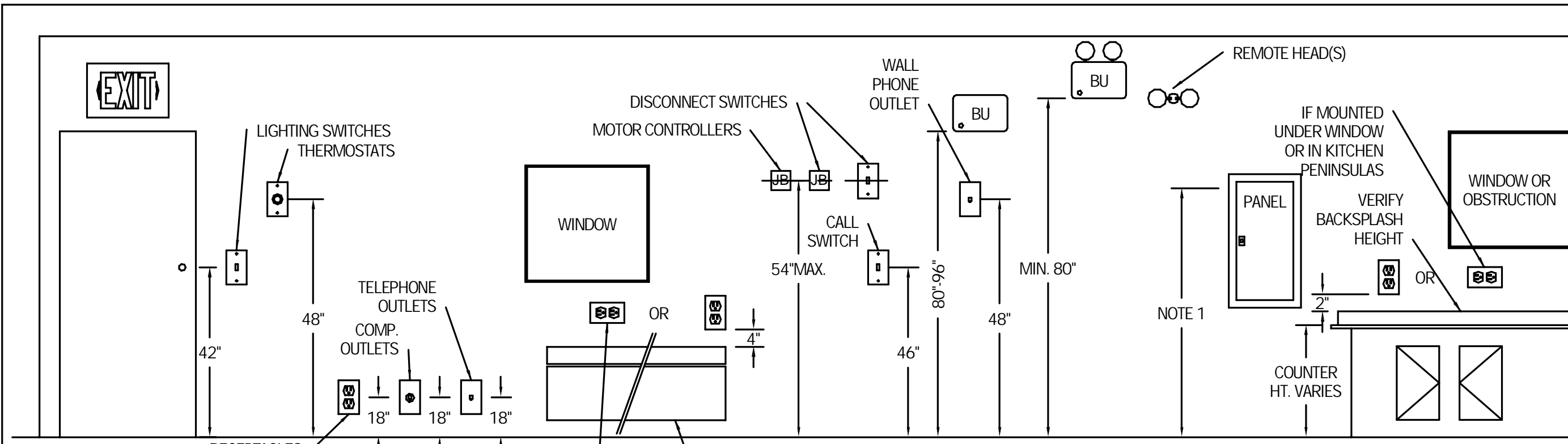
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LINCOLN HALL
project address:
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ESSEX JUNCTION, VT 05452

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checked by: MJH
drawn by: PSB
proj. date: 02/15/24
sheet date: 02/15/24

No	Date	Revisions

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MECHANICAL SCHEDULES

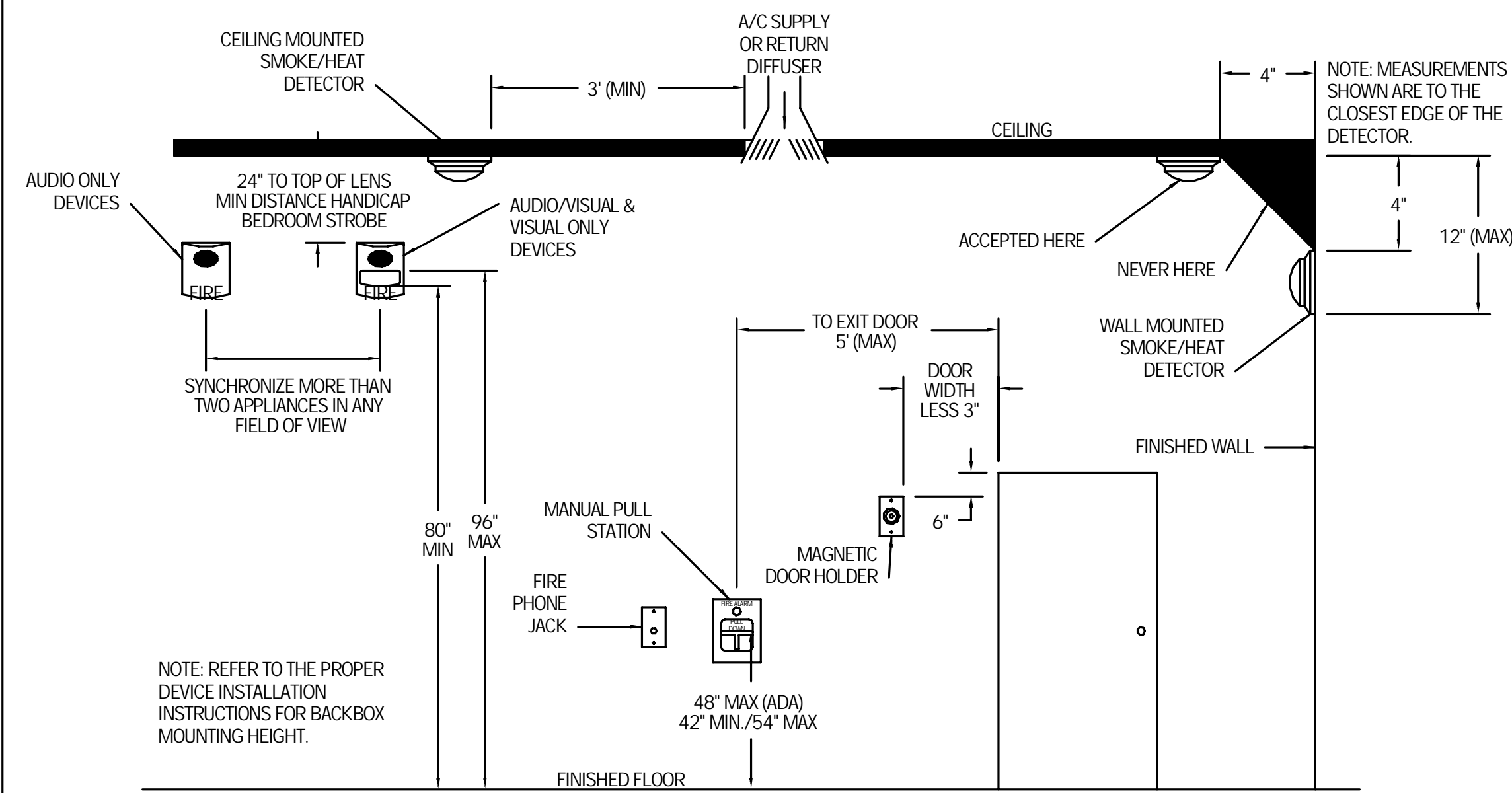
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M6.0



ELECTRICAL DEVICE DETAIL

NOT TO SCALE

- NOTES:
- PANELBOARDS TO BE MOUNTED NOT HIGHER THAN 6' TO HIGHEST CIRCUIT BREAKER. IN UNITS DESIGNATED AS HANDICAPPED ACCESSIBLE, MOUNT SO THAT HIGHEST CIRCUIT BREAKER IS NOT HIGHER THAN 4' AFF. COORDINATE WITH ARCHITECT.
 - THE ABOVE MOUNTING HEIGHTS SHALL APPLY TO ALL DEVICES UNLESS NOTED OTHERWISE ON PLANS. ALL NOTED DIMENSIONS ARE TO THE CENTERLINE OF THE DEVICE FROM THE FINISHED FLOOR.
 - WHERE EXISTING OR SPECIAL CONDITIONS PREVENT THE INSTALLATION OF DEVICES AT THE ABOVE HEIGHTS, THE E.C. SHALL VERIFY HEIGHTS ON SITE WITH ARCHITECT.
 - ALL DEVICES IN FINISHED AREAS SHALL BE INSTALLED IN FLUSH DEVICE BOXES. NO SURFACE BOXES SHALL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE ARCHITECT.
 - EC SHALL VERIFY FINAL WORKBENCH, COUNTER, CABINET, OR VANITY HEIGHTS INCLUDING BACKSPLASH, ON SITE WITH GC PRIOR TO INSTALLATION OF BOXES.



FIRE ALARM DEVICE MOUNTING DETAIL

NOT TO SCALE

LIGHTING FIXTURE SCHEDULE							
TYPE	MANUFACTURER & MODEL NO.	DESCRIPTION	LAMPS	WATTS	LUMENS	VOLTS	REMARKS
FA	JUNO JSF 7IN 10LM 30K 90CRI MVOLT ZT WH	7" SURFACE ROUND	LED	13	1000	120/277	0-10V DIMMING
FB	LITHONIA LIGHTING 2BLT2 33LHE ADP GZ10 LPB35	2'X2' TROFFER	LED	26.5	3254	120/277	0-10V DIMMING
FC	LITHONIA LIGHTING CPX 2X4 3000LM 90CRI 35K SWL MIN10 ZT MVOLT	2'X4' FLAT PANEL	LED	24.6	3287	120/277	0-10V DIMMING
FF	LITHONIA LIGHTING CLX L48 4000LM HEF SBLW FDL MVOLT GZ10 LUGR 35K 90CRI WH	4' LINEAR	LED	22.9	3267	120/277	0-10V DIMMING
FG	LITHONIA LIGHTING CLX L96 6000LM SBWL FDL MVOLT GZ10 LUGR 35K 90CRI WH	8' LINEAR	LED	36.4	4774	120/277	0-10V DIMMING
P	LITHONIA LIGHTING CSVT L48 5000LM MVOLT 40K 80CRI	4' VAPOR TIGHT LED STRIP	LED	42	4946	120/277	ELEVATOR PIT LIGHTING
S	LITHONIA LIGHTING WLF 30L GZ10 LPB35 DIM50	4' SURFACE STAIR LIGHT	LED	28.2	3095	120	0-10V DIMMING, DIMS TO 50% WHEN UNOCCUPIED
V	LITHONIA LIGHTING FMVCSL 24IN MVOLT 30K 90CRI BN M6	2' VANITY LIGHT	LED	18	1300	120/277	
RH	LITHONIA LIGHTING ERE GY T SQ WP	SURFACE	LED	2	-	120/277	REMOTE HEAD - TWIN
	LITHONIA LIGHTING ECBR LED M6	SURFACE	LED	3	-	120/277	COMBINATION EXIT/EMERGENCY, REMOTE HEAD CABALITY
	LITHONIA LIGHTING ELM4L	SURFACE	LED	6.6	-	120/277	
	LITHONIA LIGHTING EXR LED ELM6	SURFACE	LED	0.8	-	120/277	BATTERY BACKUP

BRANCH CIRCUIT WIRING GENERAL NOTE :

FOR ALL BRANCH CIRCUITS EXCEEDING 75 FT IN LENGTH FROM THE PANEL BOARD FEEDING THEM, THE EC MUST CALCULATE THE VOLTAGE DROP AND PROVIDE PROPERLY SIZED BRANCH CIRCUIT WIRING PER ALL NEC REQUIREMENTS.

VERTICAL CONDUIT NOTE:

EC SHALL PROVIDE ALL NECESSARY MEASURES TO ACCOUNT FOR A BUILDING SHRINKAGE OF 2" VERTICALLY. THIS REQUIREMENT SHALL BE APPLIED TO ALL VERTICAL AND HORIZONTAL CONDUIT RUNS. VERTICAL CONDUIT RUNS OF MORE THAN 30' SHALL BE INSTALLED TO ALLOW FOR UP TO 2" OF SHRINKAGE. ACCESSIBLE EXPANSION JOINTS SHALL BE INSTALLED ON ALL VERTICAL CONDUIT RUNS OF 30' OR MORE.

LISTED EQUIPMENT NOTICE

ALL EQUIPMENT NEEDING ELECTRICAL POWER IS INTENDED AND SPECIFIED TO BE "UL" OR "CSA" LISTED AND LABELED. ELECTRICAL CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER OF ANY EQUIPMENT NOT SO LISTED AND LABELED AND SHALL NOT PROCEED WITH ANY WIRING OF SUCH EQUIPMENT UNLESS DIRECTED IN WRITING BY ENGINEER. TYPICAL OF ALL DEVICES AND EQUIPMENT ON THIS PROJECT.

GENERAL NOTES :

- THE ELECTRICAL CONTRACTOR SHALL REFER TO ARCHITECTURAL INTERIOR ELEVATIONS, SECTIONS, CABINERY DETAILS, ETC. FOR EXACT DEVICE LOCATIONS PRIOR TO ROUGH-IN OF ANY ELECTRICAL COMPONENTS.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND MOUNTING HEIGHTS FOR ALL WALL-MOUNTED LIGHTING FIXTURES (INCLUDING FIXTURES IN STAIRWELLS) WITH ARCHITECTURAL INTERIOR ELEVATIONS, SECTIONS, AND DETAILS PRIOR TO ROUGH-IN.
- ALL EXIT SIGNS, STAIRWELL LIGHTING FIXTURES, AND EMERGENCY EGRESS LIGHTS SHALL BE NON-SWITCHED, ALWAYS ON, UNLESS OTHERWISE NOTED.
- COORDINATE EXACT LOCATIONS OF ALL MECHANICAL AND PLUMBING EQUIPMENT WITH MECHANICAL AND PLUMBING CONSTRUCTION DOCUMENTS.
- ALL MOTOR STARTERS AND VFD'S SHALL BE PROVIDED BY MC, INSTALLED & WIRED BY EC. ALL DISCONNECT AND SAFETY SWITCHES SHALL BE PROVIDED, INSTALLED, AND WIRED BY EC. EC SHALL PROVIDE ALL FUSING, COORDINATE FUSING WITH MC.
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL RELEVANT CODES, STANDARDS, AND REGULATIONS. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL REQUIRED LOCAL STANDARDS AND CODES. ALL MATERIAL USED SHALL MATCH THE QUALITY OF EXISTING INSTALLATIONS.
- FOR ALL INSTANCES WHERE TWO OR MORE LIGHT SWITCHES ARE GROUPED TOGETHER, SWITCHES SHALL BE INSTALLED SUCH THAT THEY SHARE A SINGLE COVER PLATE, UNLESS OTHERWISE NOTED.

ELECTRICAL DEMOLITION LEGEND

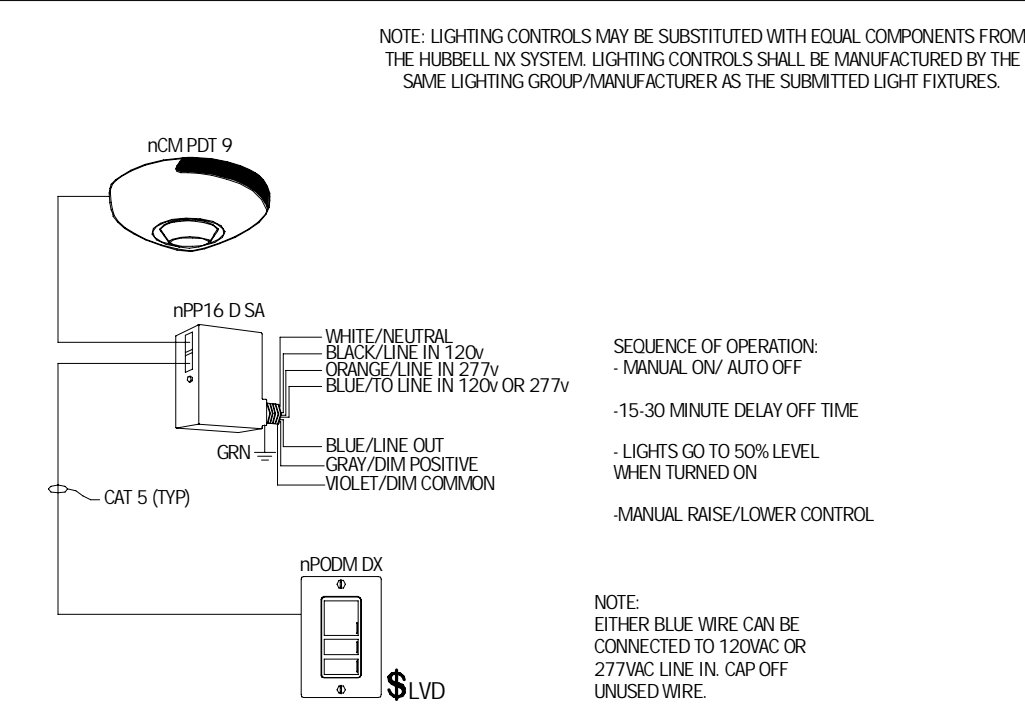
- E-> EXISTING TO REMAIN
- R-> EXISTING TO BE REMOVED AND RELOCATED
- D-> EXISTING TO BE DEMOLISHED
- ELECTRICAL DEVICES, WIRES, CONDUITS TO BE REMOVED
- EXISTING ELECTRICAL DEVICES, WIRES, CONDUITS TO REMAIN
- EXISTING LIGHT FIXTURE TO BE REMOVED AND GIVEN TO OWNER. REMOVE THE LAMPS AND BALLAST.
- FR EXISTING LIGHT FIXTURE AND WIRING TO BE RELOCATED.

ELECTRICAL LEGEND

- LED LIGHT FIXTURE
- EXIT LIGHT
- EMERGENCY LIGHT
- SWITCH - SINGLE POLE, SERVICE SWITCH FOR MOTORS
- SWITCH - LOW VOLTAGE DIMMER
- SWITCH - OCCUPANCY SENSOR
- SWITCH - OCCUPANCY DIMMER
- MOTION SENSOR - CEILING OR WALL MOUNTED
- ELECTRICAL DISTRIBUTION PANEL
- DOOR ACCESS CONTROL PANEL
- NOTIFICATION APPLIANCE CIRCUIT PANEL
- FIRE ALARM CONTROL PANEL
- BRANCH CIRCUIT
- JUNCTION BOX
- FLOOR BOX
- MOTOR STARTER PROVIDED BY MC, INSTALLED BY EC
- SAFETY DISCONNECT PROVIDED AND INSTALLED BY EC
- RELAY SWITCH
- ELECTRONIC DOOR STRIKE
- KEYPAD
- CARD READER
- ADA DOOR OPENER
- DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE - REFRIGERATOR RECEPTACLE
- DUPLEX RECEPTACLE - WASHER RECEPTACLE
- DUPLEX RECEPTACLE - GFCI PROTECTED
- DUPLEX RECEPTACLE - COUNTER HEIGHT
- DUPLEX RECEPTACLE - WATERPROOF
- QUAD RECEPTACLE
- SPECIAL PURPOSE OUTLET. REFER TO SCHEDULE - X DENOTES NUMBER
- PHONE/DATA LOCATION WITH 2-PORT CAT 6, RJ-45 FLUSH MOUNTED WALL JACK WITH (2)CAT 6 HOMERUNS
- WIFI LOCATION WITH 1-PORT CAT 6, RJ-45 FLUSH MOUNTED WALL JACK WITH (1) CAT 6 HOMERUN
- MOTOR
- LINE VOLTAGE THERMOSTAT
- FIRE ALARM HORN/STROBE (NUMBER DENOTES CANDELA)
- FIRE ALARM STROBE
- FIRE ALARM HORN/STROBE, LOW FREQUENCY (520 HZ)
- FIRE ALARM HORN
- FIRE ALARM HORN/STROBE, WATERPROOF
- FIRE ALARM MANUAL PULL STATION - 48" AFF
- FIRE ALARM SPRINKLER TAMPER SWITCH
- FIRE ALARM SPRINKLER FLOW SWITCH
- FIRE ALARM REMOTE ANNUNCIATOR PANEL
- SYSTEM HEAT DETECTOR
- SYSTEM SMOKE DETECTOR
- SYSTEM CARBON MONOXIDE DETECTOR
- 120V SMOKE DETECTOR
- 120V COMBINATION SMOKE/CARBON MONOXIDE DETECTOR
- AFF ABOVE FINISH FLOOR
- EC ELECTRICAL CONTRACTOR (DIVISION 16)
- MC MECHANICAL CONTRACTOR (DIVISION 15)
- GC GENERAL CONTRACTOR
- ES EQUIPMENT SUPPLIER
- TYP. TYPICAL OF ALL

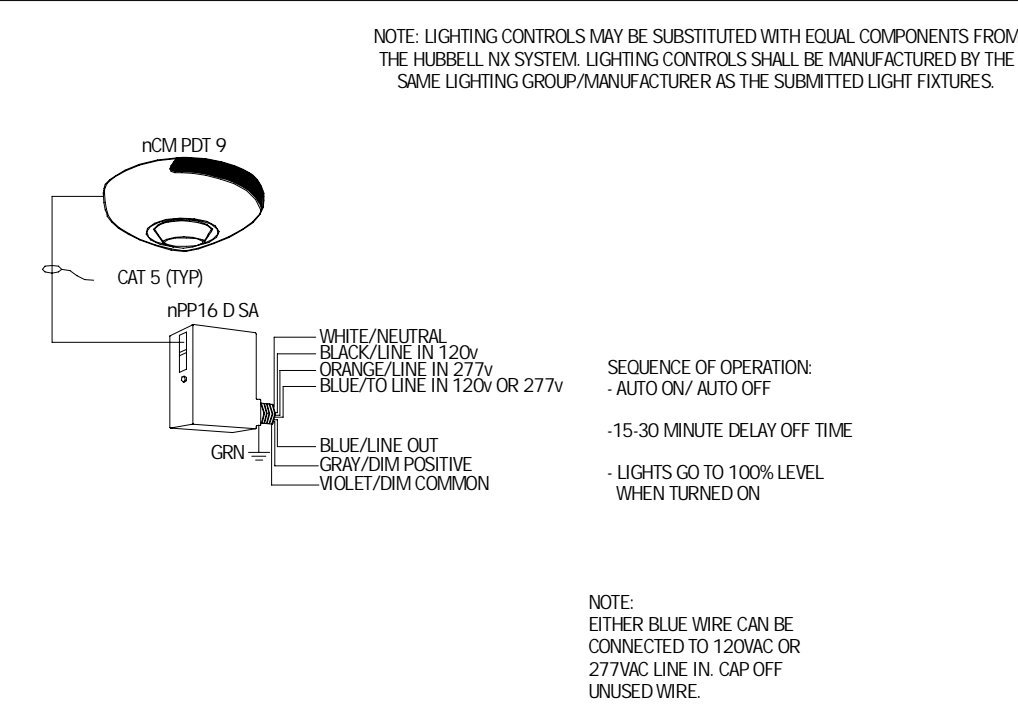
SWITCH & SENSOR SCHEDULE

TYPE	MANUFACTURER & MODEL NO.
\$OC	ACUITY CONTROLS SENSOR SWITCH WSX PDT SA
\$OCD	ACUITY CONTROLS SENSOR SWITCH WSX PDT D SA
\$LVD	ACUITY CONTROLS nLIGHT nPDM DX
<MS>	ACUITY CONTROLS nLIGHT nCM PDT 9 RJB
R	ACUITY CONTROLS nLIGHT nPP16D EFP SA



MANUAL ON/AUTO OFF & CEILING OCCUPANCY (0-10V) DIMMING

NOT TO SCALE



AUTO ON/AUTO OFF & CEILING OCCUPANCY (FIXED OUTPUT)

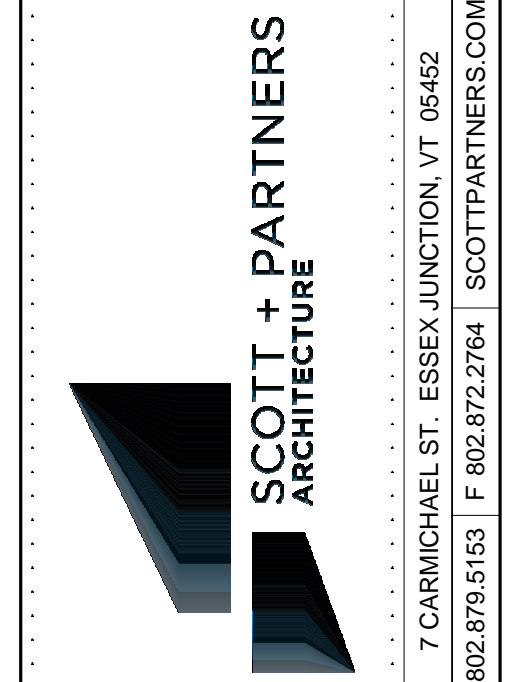
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project name:
LINCOLN HALL

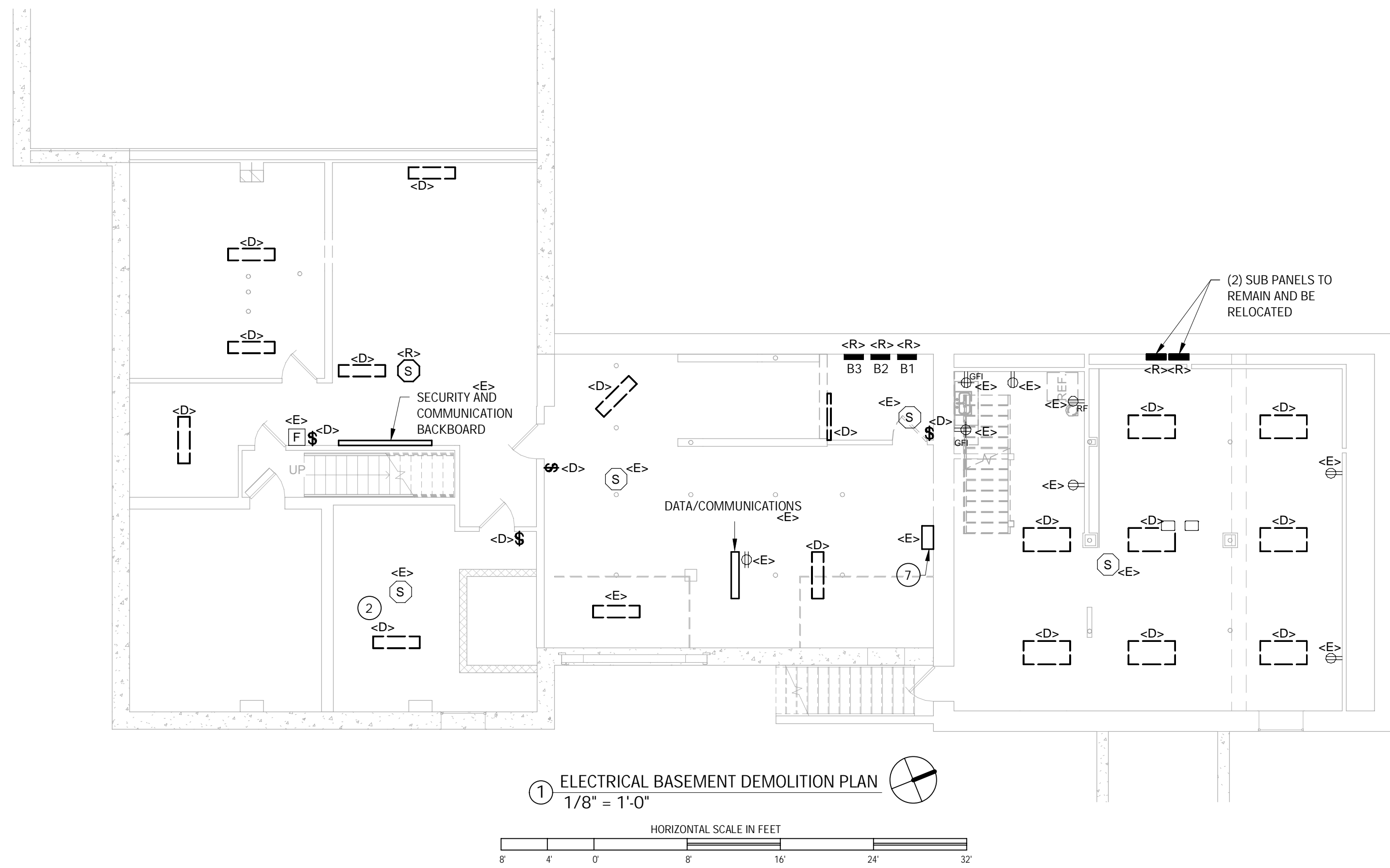
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proj. date: 02/15/24
sheet date: 02/15/24

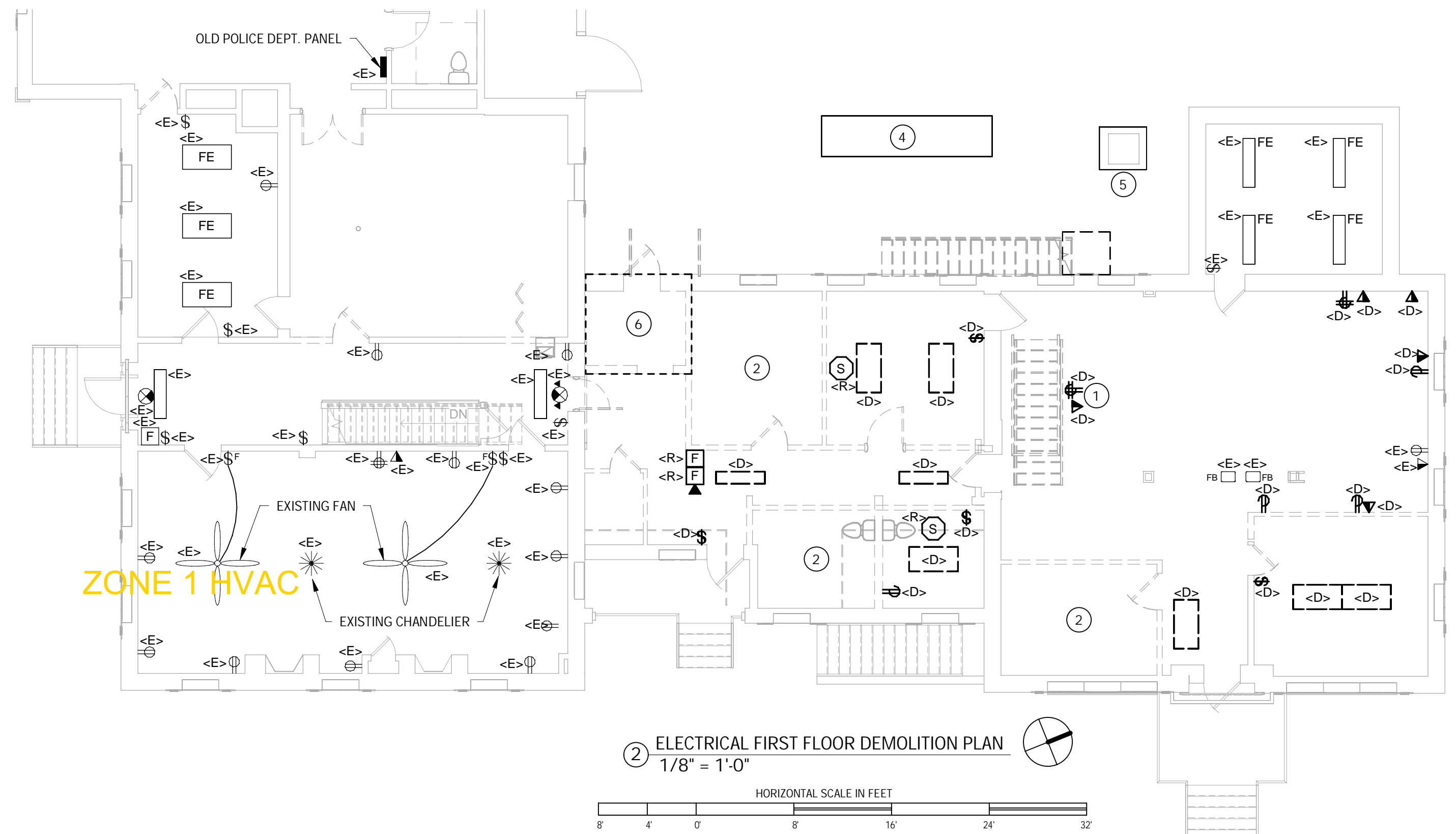
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ELECTRICAL LEGEND, SCHEDULES, & DETAILS

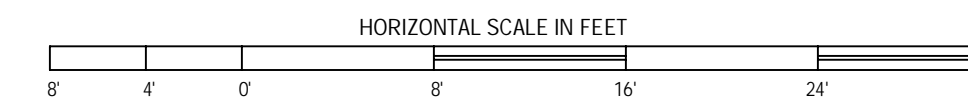
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1 ELECTRICAL BASEMENT DEMOLITION PLAN
1/8" = 1'-0"

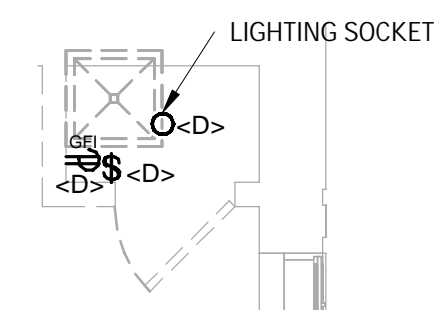


2 ELECTRICAL FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"

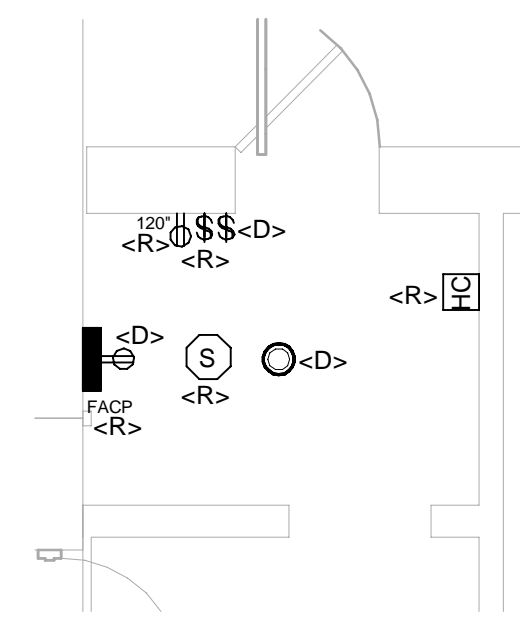
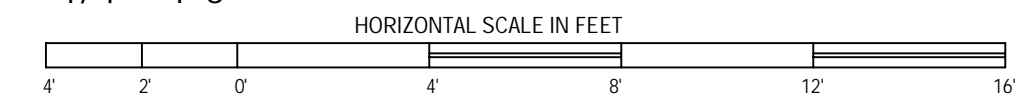


KEYED NOTES:

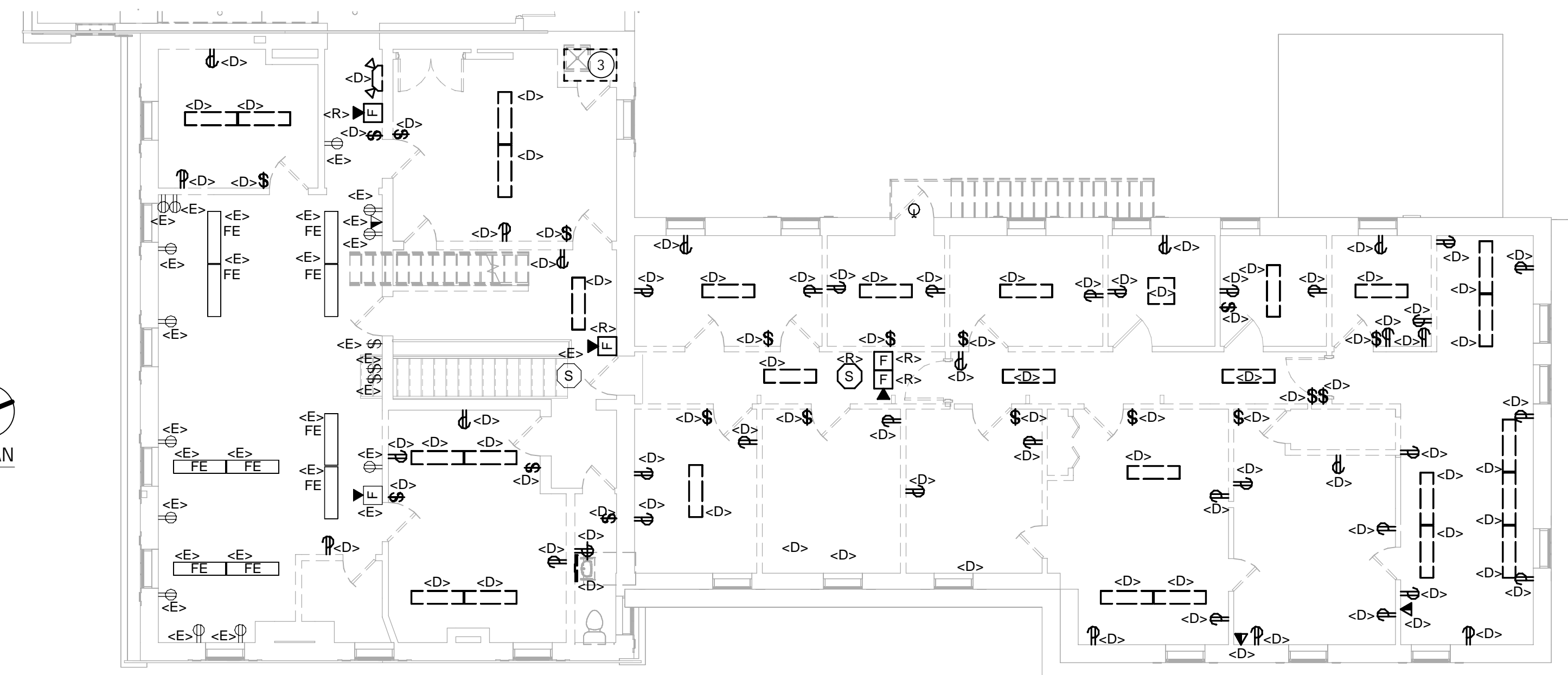
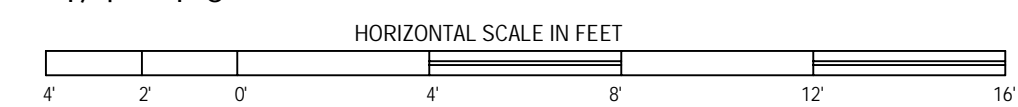
- 1 EXISTING QUAD RECEPTACLE AND DATA JACK MOUNTED ON STAIRWAY WALL TO BE DEMOLISHED
- 2 DEMOLISH ALL EXISTING ELECTRICAL POWER AND LIGHTING FIXTURES AND LIGHTING CONTROL DEVICES IN THIS LOCATION. FIRE ALARM DEVICES IN THIS LOCATION TO BE SALVAGED AND REUSED.
- 3 REFER TO ELECTRICAL SECOND FLOOR ENLARGED CLOSET DEMOLITION PLAN ON THIS SHEET.
- 4 EXISTING 200A, 120/240V, 1-PHASE GENERATOR TO REMAIN.
- 5 EXISTING 167 KVA 120/240 SINGLE PHASE TRANSFORMER TO REMAIN.
- 6 REFER TO ELECTRICAL FIRST FLOOR ENLARGED VESTIBULE DEMOLITION PLAN.
- 7 EXISTING COMMUNICATION BACKBOARD TO REMAIN.



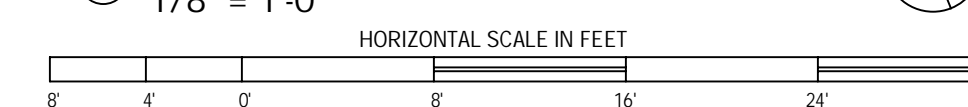
4 ELECTRICAL SECOND FLOOR ENLARGED CLOSET DEMOLITION PLAN
1/4" = 1'-0"



5 ELECTRICAL FIRST FLOOR ENLARGED VESTIBULE DEMOLITION PLAN
1/4" = 1'-0"



3 ELECTRICAL SECOND FLOOR DEMOLITION PLAN
1/8" = 1'-0"



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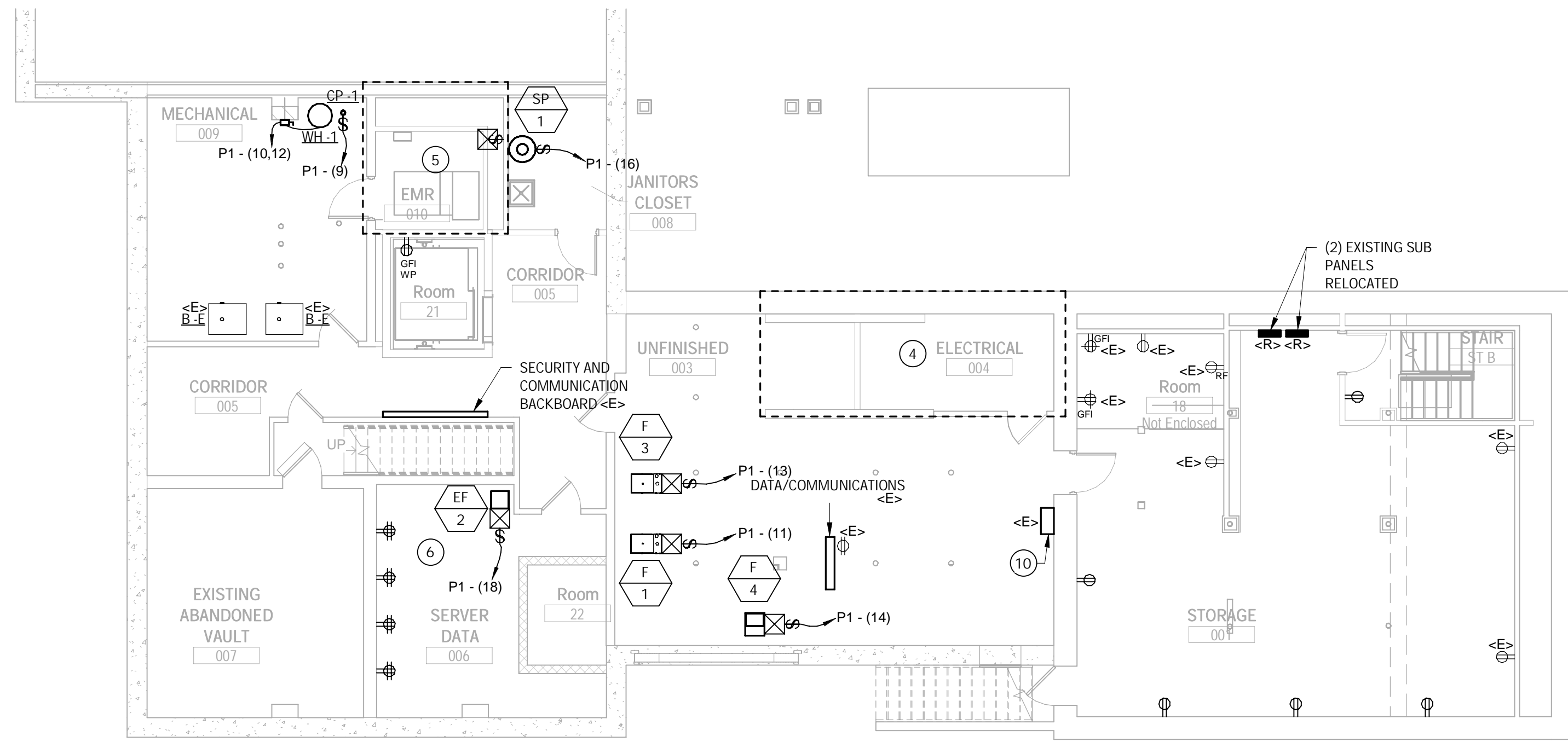
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proj. date:	02/15/24
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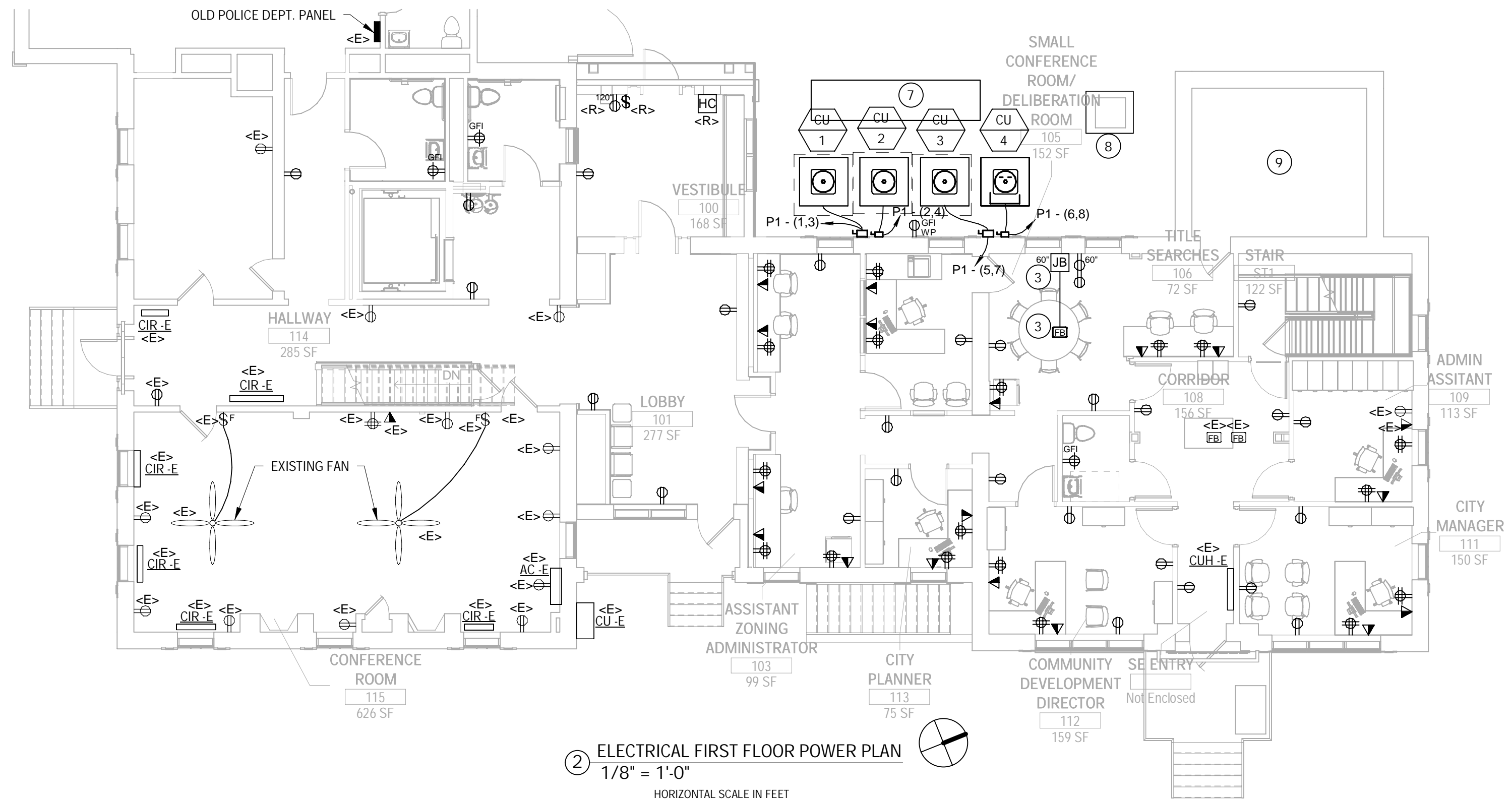
No	Date	Revisions

sheet title:
ELECTRICAL DEMOLITION PLANS

sheet no.
E2.0



1 ELECTRICAL BASEMENT POWER PLAN
1/8" = 1'-0"

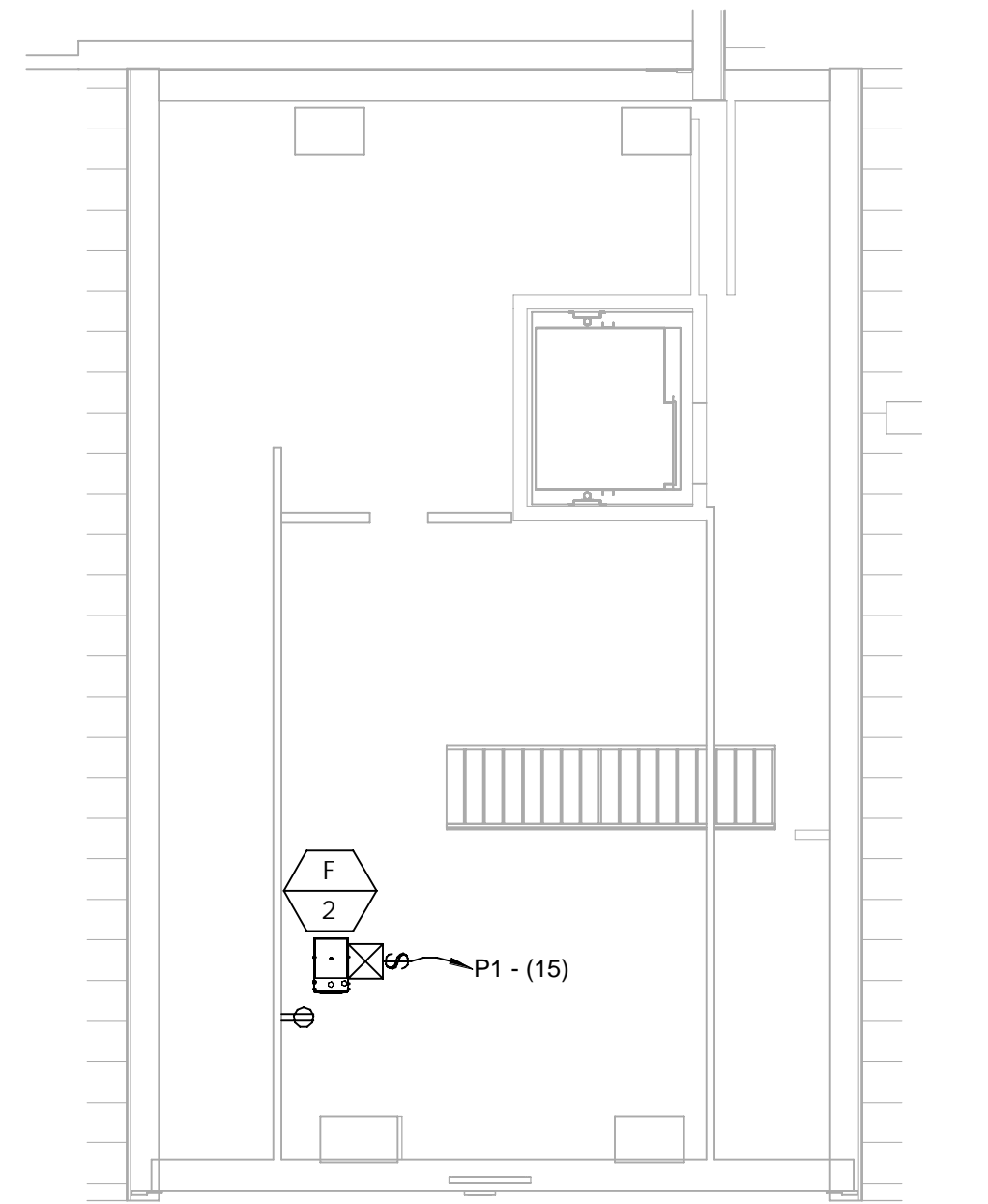


2 ELECTRICAL FIRST FLOOR POWER PLAN
1/8" = 1'-0"

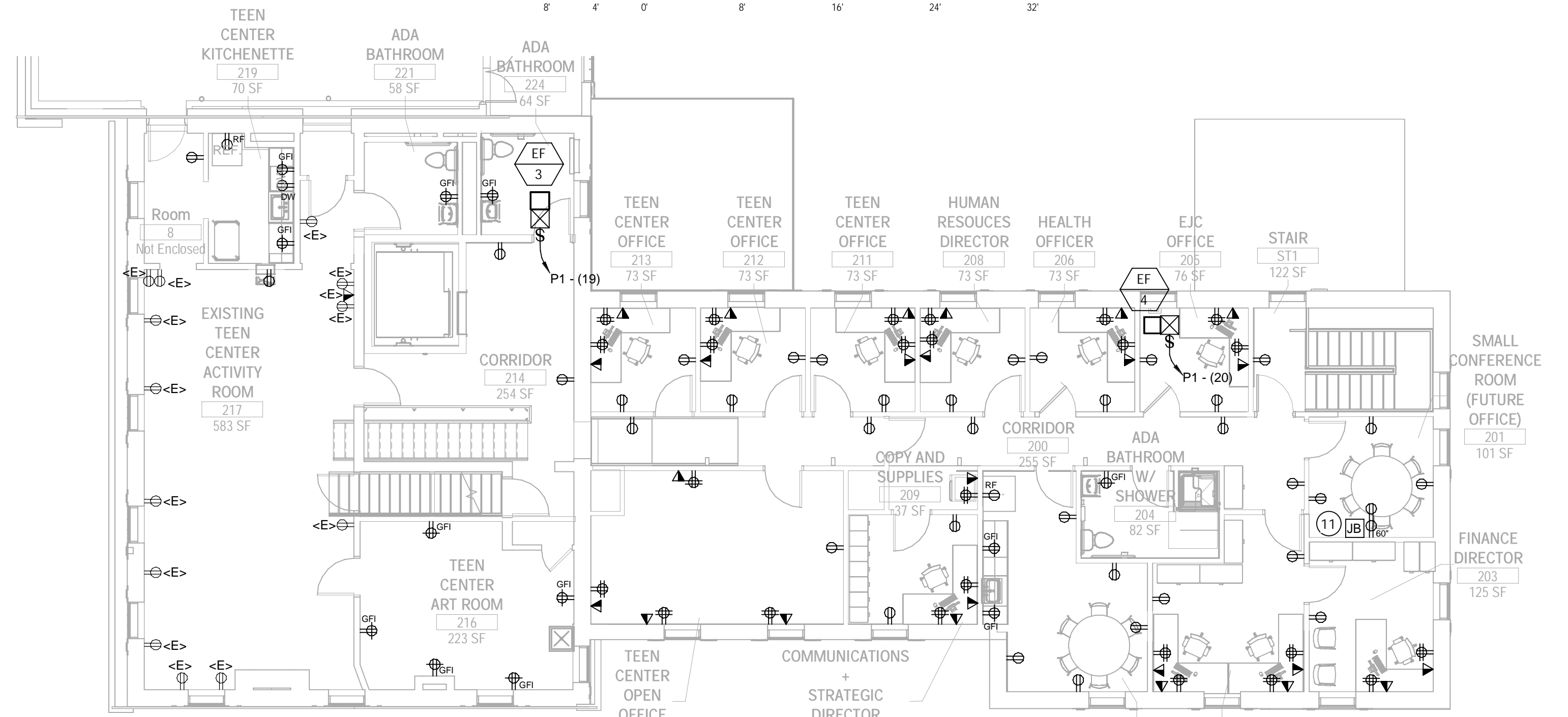


KEYED NOTES:

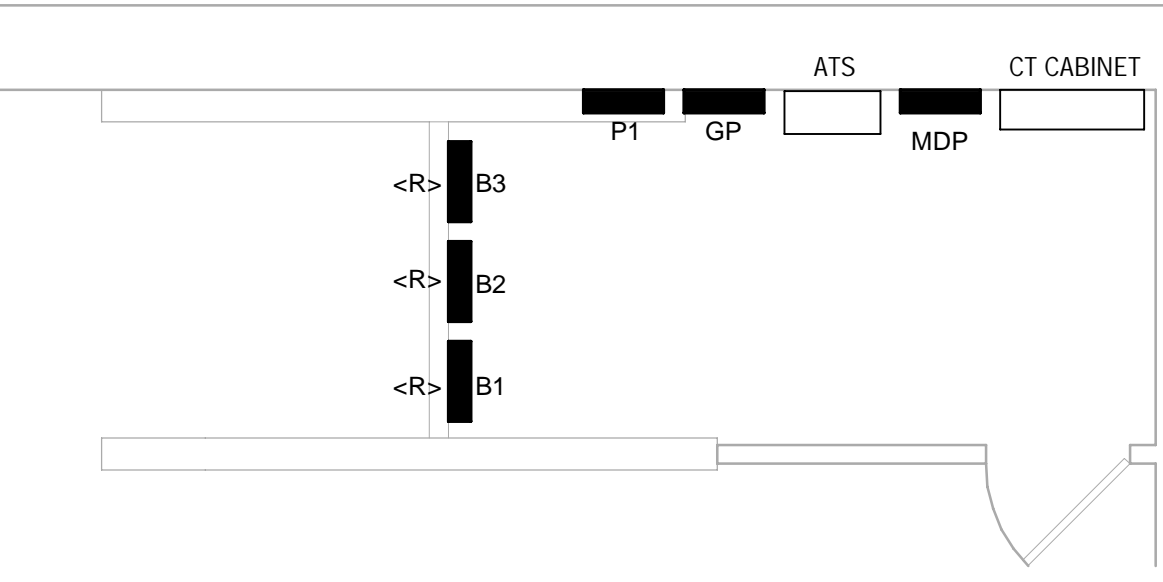
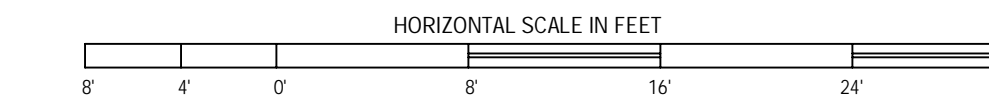
- 1 TO ELEVATOR CAB LIGHTS.
- 2 PROVIDE THE FOLLOWING ITEMS FOR THE ELVATOR MACHINE ROOM.
 - A) ONE (1) DEDICATED 240V, 1-PHASE, 250A CIRCUIT AND HEAVY DUTY FUSED LOCKABLE DISCONNECT FOR ELEVATOR MACHINE. PROVIDE FUSED DISCONNECT WITH AUXILIARY CONTACTS (SQUARE D #EK-330-Z OR APPROVED EQUAL).
 - B) ONE (1) DEDICATED 120V, 1-PHASE, 15A CIRCUIT AND FUSED LOCKABLE DISCONNECT FOR ELEVATOR CAB LIGHTS. PROVIDE FUSED DISCONNECT WITH AUXILIARY CONTACTS (SQUARE D #EK-330-Z OR APPROVED EQUAL).
 - C.) TELEPHONE CONNECTION TO THE ELEVATOR CONTROLLER AND CAB BACK TO DEMARK LOCATION.
 - D.) ALL REQUIRED FIRE ALARM RECALL MODULES, RELAYS, AND WIRING.
- 3 EC TO PROVIDE A LEGRAND #EFB455-0G 4-GANG FLOOR BOX WITH A QUAD RECEPTACLE. (1) STANDARD TEL/DATA PORT AND A 2" CONDUIT FROM THE FLOOR BOX TO THE WALL BOX BEHIND THE MONITOR FOR A/V CONNECTIONS. PROVIDE A LEGRAND SERIES #EFSB4 WALL BOX WITH A DUPLEX RECEPTACLE AND A STANDARD TEL/DATA PORT COORDINATE EXACT MOUNTING LOCATION OF WALL AND FLOOR BOX WITH ARCHITECT PRIOR TO ROUGH-IN WIRING.
- 4 REFER TO ELECTRICAL BASEMENT ENLARGED ELECTRICAL ROOM POWER PLAN ON THIS SHEET.
- 5 REFER TO ELECTRICAL BASEMENT ENLARGED ELEVATOR ROOM POWER PLAN ON THIS SHEET.
- 6 ALL EXISTING IT INFRASTRUCTURE INCLUDING THE TEL/DATA DEMARC, EXISTING SERVER RACKS, EXISTING CABLING, ALL EXISTING PATCH PANELS AND TELEPHONE TERMINATIONS ARE TO BE RELOCATED TO A CENTRAL SERVER ROOM IN THIS LOCATION. RE-ROUTE EXISTING WIRING TO THE NEW LOCATION AS PERMISSIBLE. PROVIDE NEW CABLING WHERE EXISTING TEL/DATA CABLE LENGTHS DO NOT ALLOW FOR RE-ROUTING. EXISTING DATA CABLING IS NOT TO BE SPLICED. RE-FEED THE EXISTING FIRE DEPARTMENT AND LIBRARY BUILDING INTERNET SERVICE AS REQUIRED. EC TO COORDINATE ALL WORK INCLUDING TELEPHONE AND INTERNET DOWNTIME WITH THE OWNER PRIOR TO ROUGH-IN WIRING.
- 7 EXISTING GENERATOR TO REMAIN.
- 8 EXISTING 107 KVA SINGLE PHASE TRANSFORMER TO REMAIN.
- 9 NO NEW WORK IN VAULT.
- 10 EXISTING COMMUNICATION BACKBOARD.
- 11 EC TO PROVIDE A LEGRAND SERIES #EFSB4 WALL BOX WITH A DUPLEX RECEPTACLE AND A STANDARD TEL/DATA PORT COORDINATE EXACT MOUNTING LOCATION OF WALL AND FLOOR BOX WITH ARCHITECT PRIOR TO ROUGH-IN WIRING.



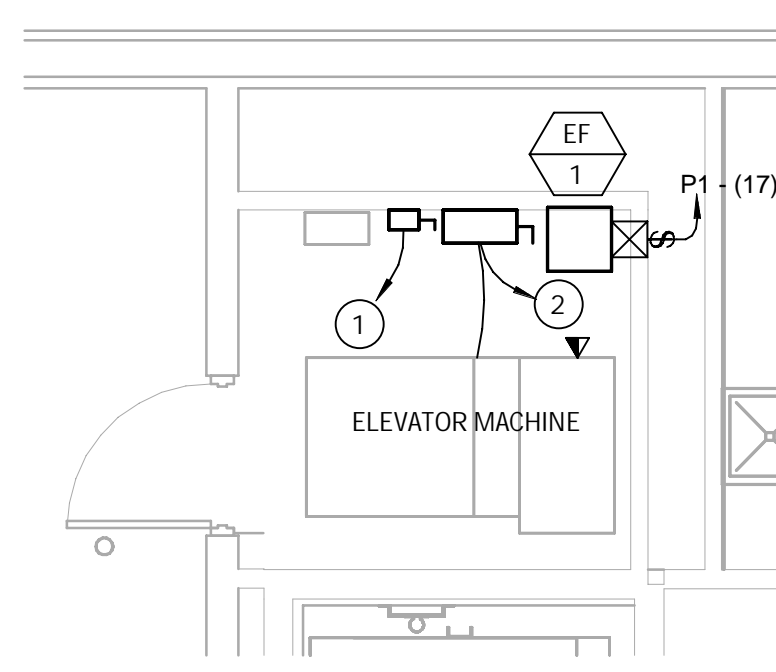
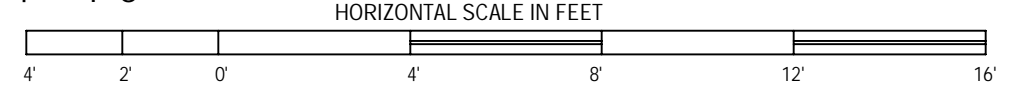
6 ELECTRICAL ATTIC POWER PLAN
1/8" = 1'-0"



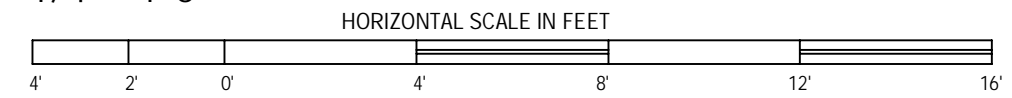
3 ELECTRICAL SECOND FLOOR POWER PLAN
1/8" = 1'-0"



4 ELECTRICAL BASEMENT ENLARGED ELECTRICAL ROOM POWER PLAN
1/4" = 1'-0"



5 ELECTRICAL BASEMENT ENLARGED ELEVATOR ROOM POWER PLAN
1/4" = 1'-0"

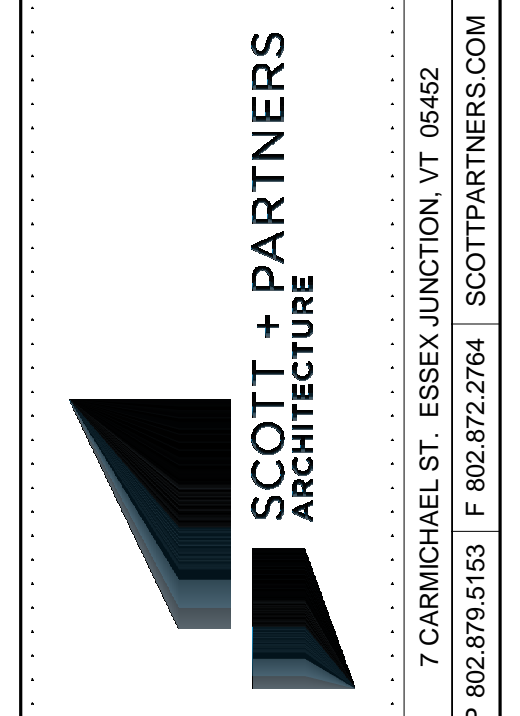


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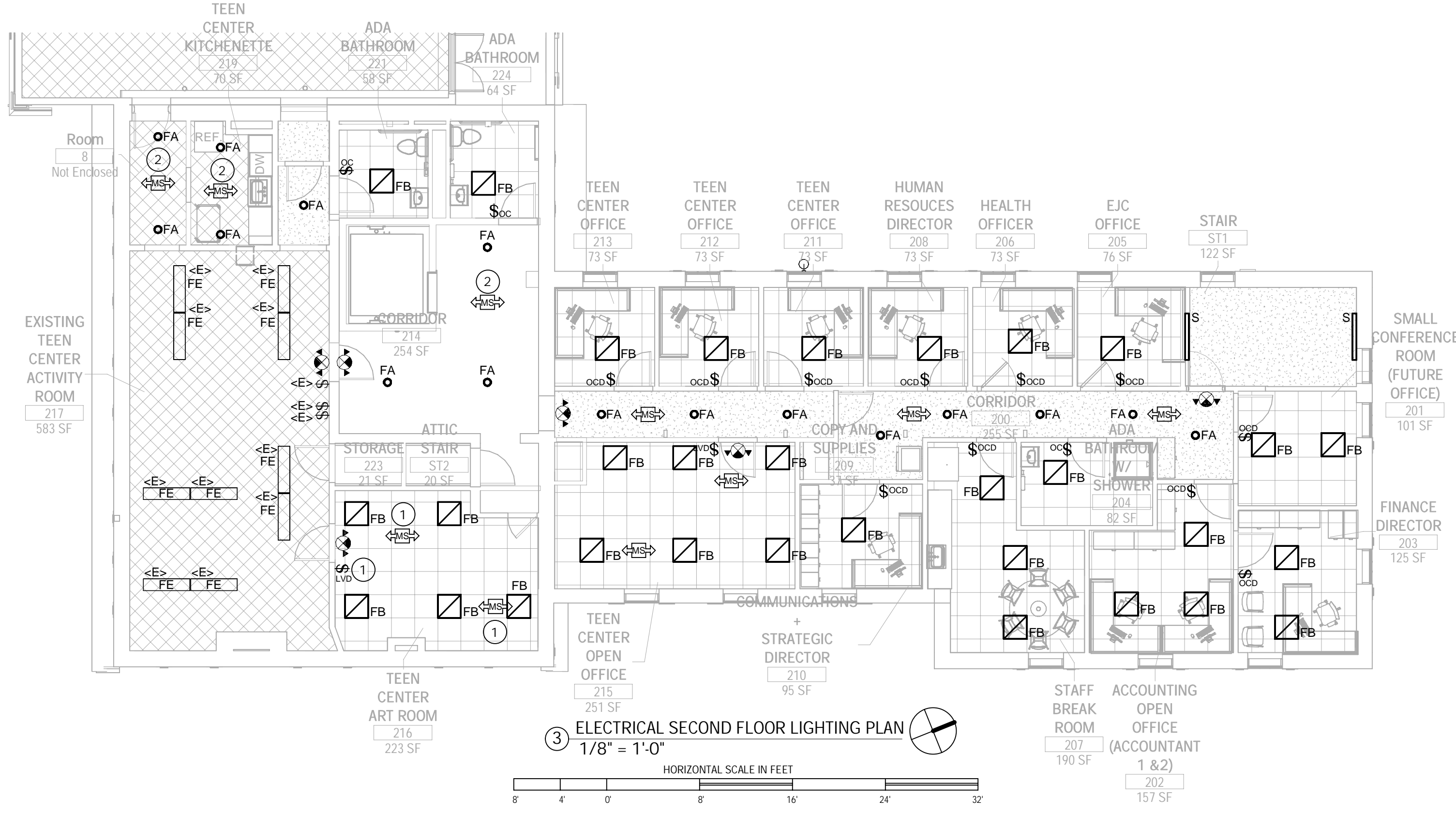
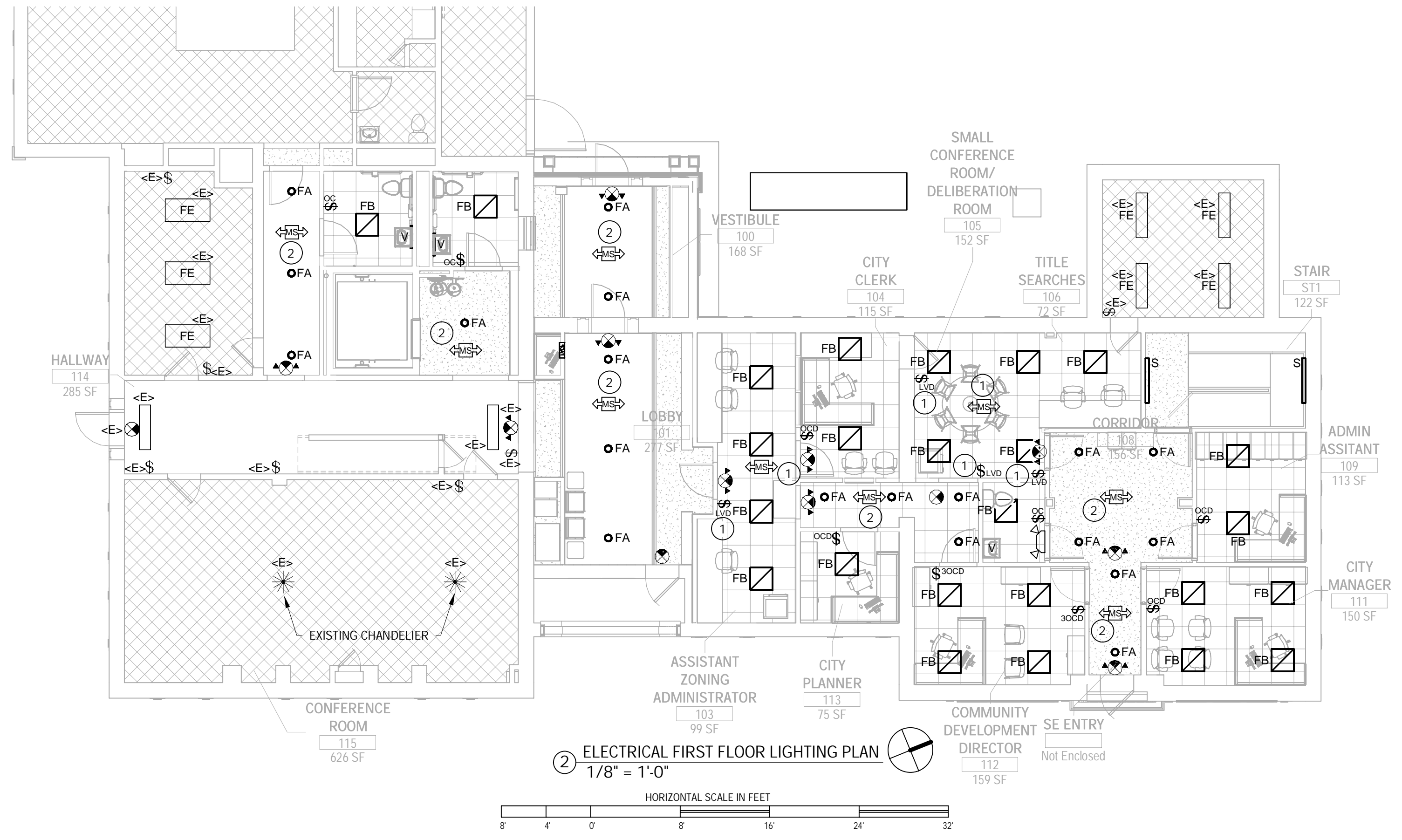
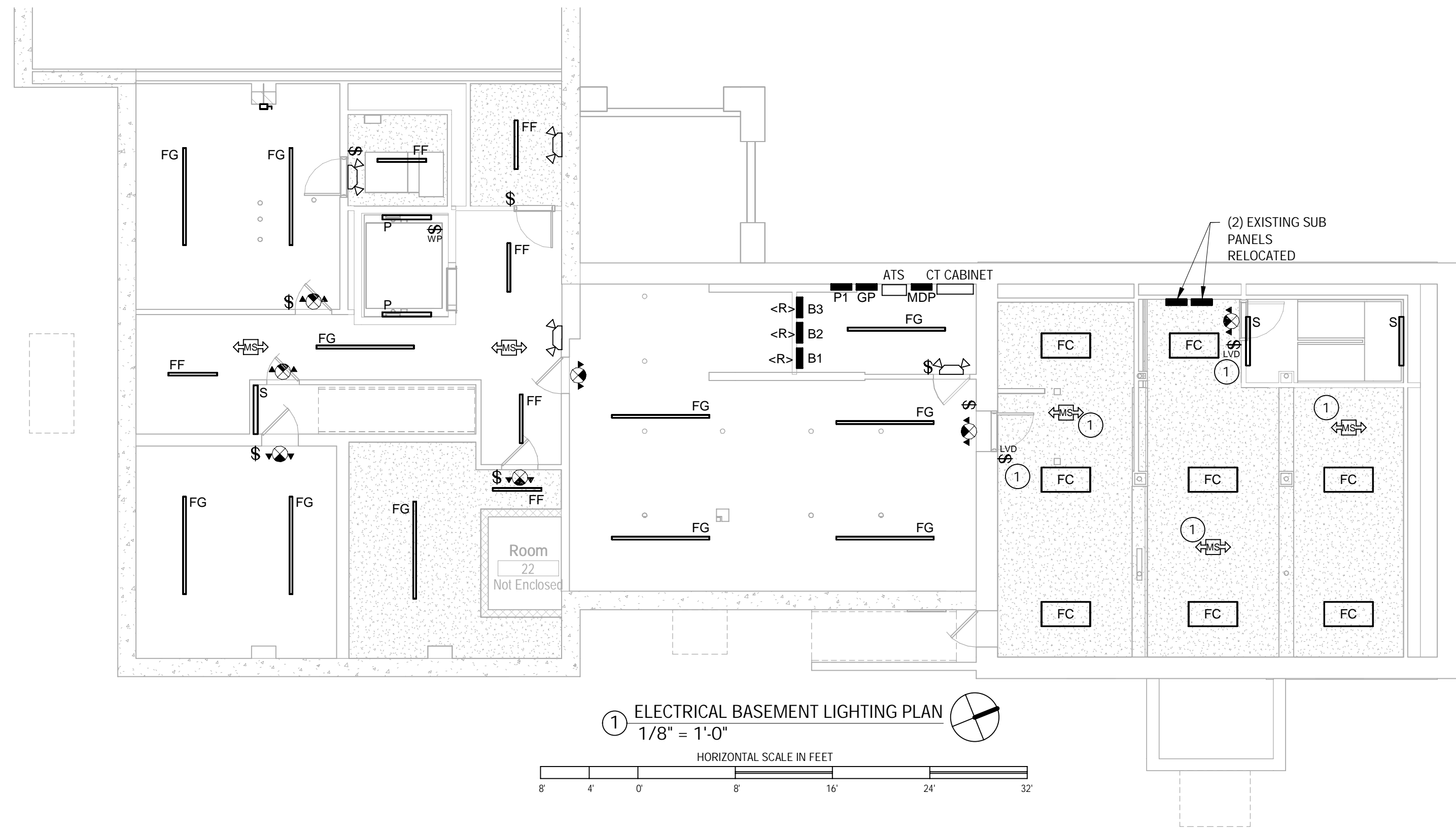
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project no. 528987
checked by: RMR
drawn by: JAFS
proj. date: 02/15/24
sheet date: 02/15/24

No	Date	Revisions

sheet title:
ELECTRICAL POWER PLANS

sheet no.
E3.0



KEYED NOTES:

- 1 REFER TO SHEET E1.0 FOR MANUAL ON/AUTO OFF & CEILING OCCUPANCY (0-10V DIMMING) DETAIL.
- 2 REFER TO SHEET E1.0 FOR AUTO ON/AUTO OFF & CEILING OCCUPANCY (FIXED OUTPUT) DETAIL.



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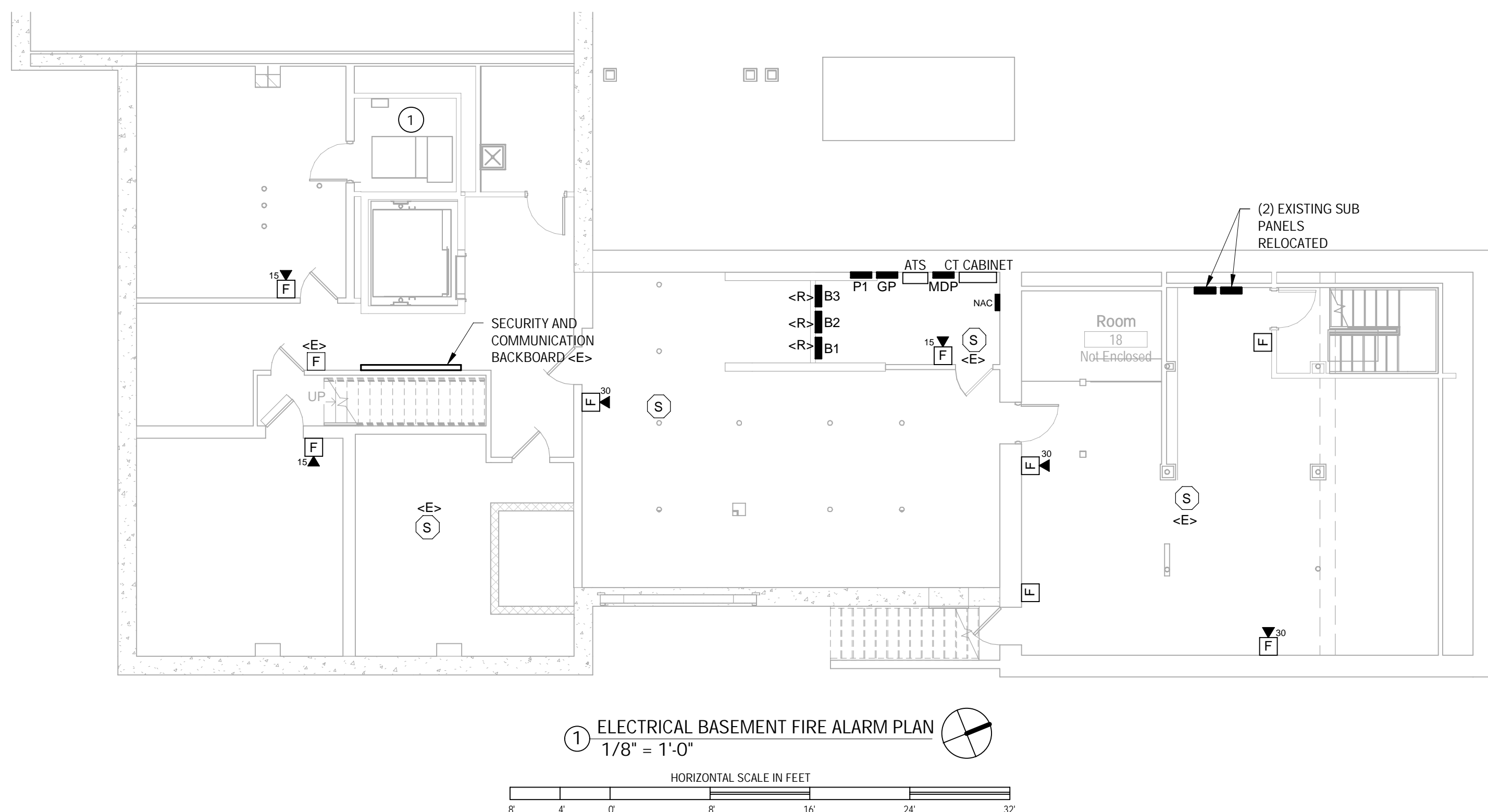
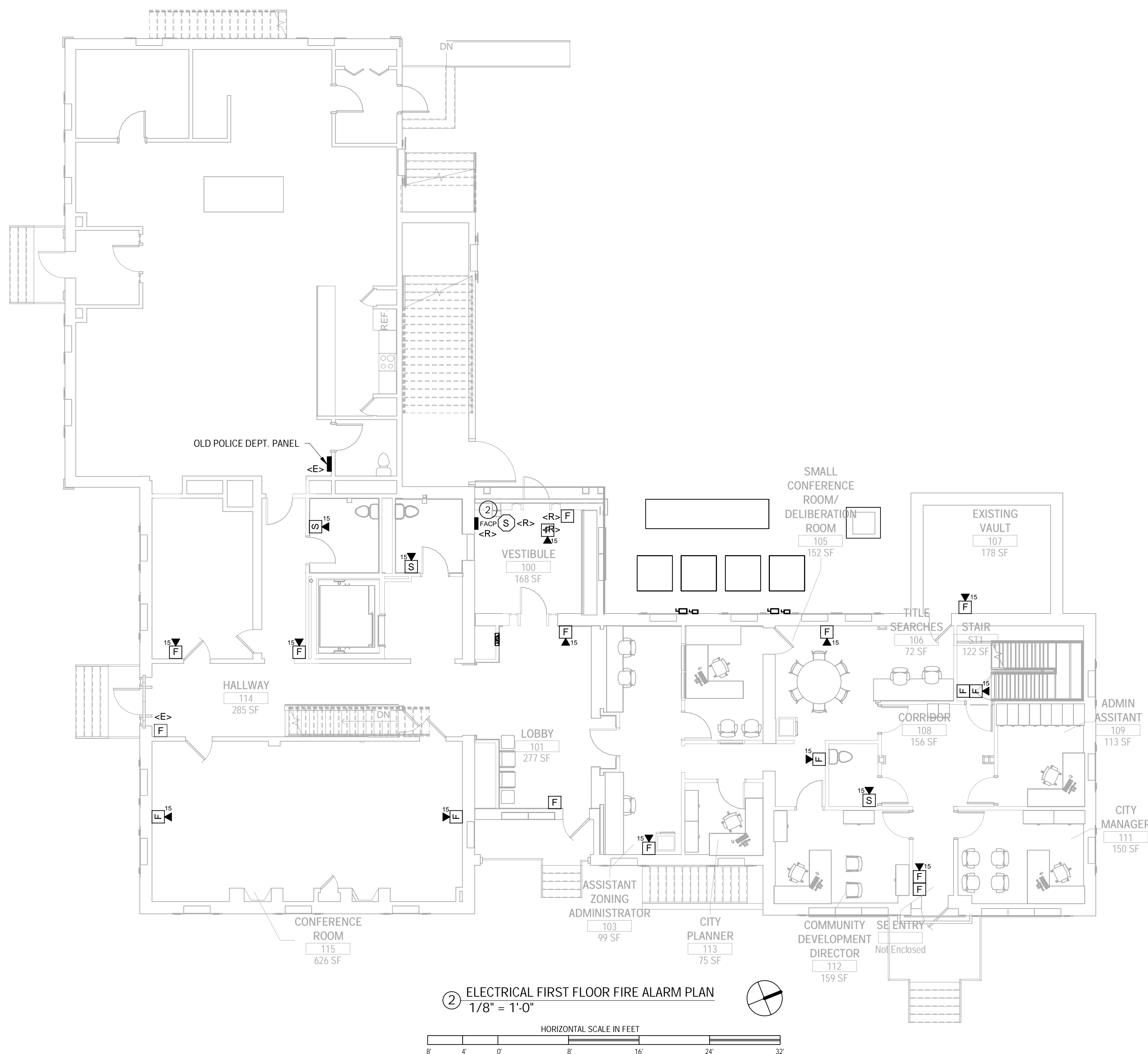
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**ELECTRICAL
LIGHTING PLANS**

sheet no.
E4.0

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KEYED NOTES:

- ① PROVIDE ALL REQUIRED WIRING FOR FA RECALL.
- ② EXISTING FIRE ALARM CONTROL PANEL HONEYWELL #FLEX 510.



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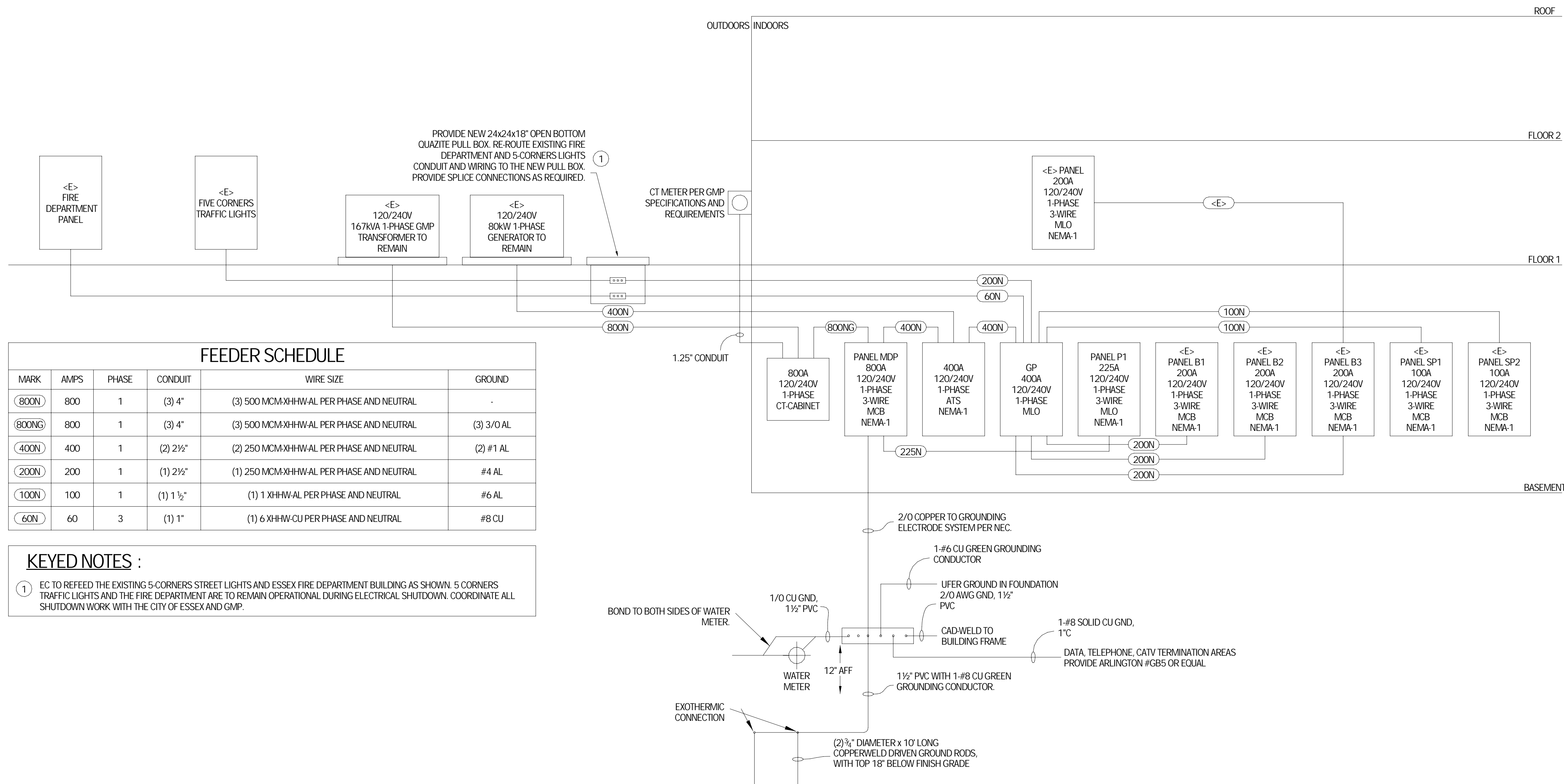
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sheet title:
**BASEMENT AND
 FIRST FLOOR
 FIRE ALARM
 PLANS**

sheet no.
E5.0

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 sheet date: 02/15/24

No	Date	Revisions

sheet title:
**ELECTRICAL ONE
 LINE DIAGRAM**

sheet no.
E6.0

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PLUMBING LEGENDS & ABBREVIATIONS			
NOTE: NOT ALL SYMBOLS/ABBREVIATIONS SHOWN IN THE LEGEND ARE USED IN THIS DRAWING SET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CONTENT SHOWN ON DRAWINGS.			
PLUMBING SYSTEMS	PIPE VALVES	DRAWING NOTATIONS	ABBREVIATIONS
COLD WATER	GATE VALVE	PHASE OR ROUND DIAMETER	AD AREA DRAIN
HOT WATER	GLOBE VALVE	DEMO LINE	BTU BRITISH THERMAL UNITS
HOT WATER RECIRCULATION	CHECK VALVE	EXISTING LINE	CD CLEANOUT
SANITARY	BACKFLOW PREVENTER	REVISION CLOUD WITH REVISION NUMBER	CPVC CHLORINATED POLYVINYL CHLORIDE (PIPE)
SANITARY LINE BELOW FLOOR/GRADE	BALL VALVE	CONNECT TO EXISTING	DCW DOMESTIC COLD WATER
SANITARY VENT	SAFETY RELIEF VALVE	REMOVE EXISTING	DF DRINKING FOUNTAIN
STORM DRAINAGE	BUTTERFLY VALVE	MOTORIZED EQUIPMENT ABBREVIATION	DFU DRAINAGE FIXTURE UNIT
STORM DRAINAGE BELOW FLOOR/GRADE	ELECTRIC SOLENOID ACTUATED SAFETY SHUTOFF VALVE	MOTORIZED EQUIPMENT NUMBER	DHW DOMESTIC HOT WATER
COMPRESSED AIR	PRESSURE REGULATING/REDUCING VALVE	NON-MOTORIZED EQUIPMENT ABBREVIATION	DHWC DOMESTIC HOT WATER RECIRCULATION
MEDICAL GAS: NITROGEN	PRESSURE GAUGE WITH VALVE	NON-MOTORIZED EQUIPMENT NUMBER	DS DOWNSPOUT
MEDICAL GAS: NITROUS OXIDE	BALANCING VALVE	DETAIL NUMBER	DW DISHWASHER
MEDICAL GAS: OXYGEN		DRAWING NUMBER	DWH DOMESTIC WATER HEATER
MEDICAL GAS: VACUUM		SECTION LETTER	DWV DRAIN, WASTE, AND VENT
MEDICAL GAS: COMPRESSED AIR		SHEET NUMBER WHERE SECTION VIEW IS SHOWN	<E> EXISTING TO REMAIN
		SANITARY WASTE, VENT RISER DIAGRAM	EF EFFICIENCY FACTOR
		WATER, LP GAS RISER DIAGRAM	EI THERMAL EFFICIENCY
			EWC ELECTRIC WATER COOLER
			FCO FLOOR CLEANOUT
			FD FLOOR DRAIN
			FDC FIRE DEPARTMENT (SIAMESE) CONNECTION
			FS FLOOR SINK
			GI GREASE INTERCEPTOR
			HB HOSE BIBB
			IDW INDIRECT WASTE
			LAV LAVATORY
			MS MOP SINK
			MTD MOUNTED
			NFHB NON-FREEZE HOSE BIBB
			PRV PRESSURE REDUCING VALVE
			PVC POLYVINYL CHLORIDE (PIPE)
			RD ROOF DRAIN
			RL RAIN LEADER
			S SANITARY WASTE
			SD STORM DRAINAGE
			TMV THERMOSTATIC MIXING VALVE
			U URINAL
			V VENT
			VTR VENT THROUGH ROOF
			WC WATER CLOSET
			WCO WALL CLEANOUT
			WH WALL HYDRANT
			WSFU WATER SUPPLY FIXTURE UNITS
PIPE FITTINGS	PLUMBING EQUIPMENT		
UNION	WATER HAMMER ARRESTOR		
STRAINER	FLOOR DRAIN TRAP PRIMER		
STRAINER WITH BLOW DOWN VALVE	FLOOR DRAIN		
FLOW DIRECTION	ROOF DRAIN		
PIPE TURNED UP	FLOOR CLEANOUT		
PIPE TURNED DOWN	WALL CLEANOUT		
TEE BOTTOM TAKE-OFF	FIXTURE OR DRAIN TRAP		
TEE TOP TAKE-OFF	HOSE BIBB		
PIPE CONTINUED	WALL HYDRANT		
PIPE CAPPED	CIRCULATOR PUMP		
CONCENTRIC REDUCER			
ECCENTRIC REDUCER			
FLEXIBLE PIPE CONNECTOR			
FLOW SWITCH			
MANUAL AIR VENT			
AUTOMATIC AIR VENT			

PLUMBING GENERAL NOTES

QUALITY OF WORK

- CONTRACT DOCUMENTS ARE IN PART DIAGRAMMATIC, INTENDED TO CONVEY SCOPE & ARRANGEMENT OF WORK. CONSULT ELECTRICAL AND STRUCTURAL CONSTRUCTION DRAWINGS FOR FAMILIARITY WITH CONDITIONS AFFECTING WORK. VERIFY SPACES IN WHICH WORK MUST BE PERFORMED BY ON-SITE MEASUREMENTS. DO NOT SCALE DRAWINGS.
- CONTRACTOR MUST VERIFY EXISTING CONDITIONS AS THERE MAY BE VARIOUS CONDITIONS AT THE SITE WHICH DO NOT SHOW ON THE ACCOMPANYING DRAWINGS, OR WHICH ARE AT VARIANCE WITH THE CONDITIONS INDICATED ON THE DRAWINGS. IT IS IMPORTANT THAT EACH BIDDER VISIT THE SITE TO BECOME ACQUAINTED WITH THE EXISTING CONDITIONS, AND TO TAKE THESE CONDITIONS INTO CONSIDERATION WHEN PREPARING THEIR PROPOSAL. EACH BIDDER MUST OBTAIN INFORMATION OR MAKE MEASUREMENTS DESIRED. LACK OF KNOWLEDGE RELATIVE TO THE EXISTING SITE CONDITIONS IS NOT ALLOWED AS A BASIS FOR EXTRA COMPENSATION.
- THE PLUMBING CONTRACTOR MUST PROVIDE MATERIALS, EQUIPMENT, AND LABOR TO FABRICATE NEW PLUMBING INSTALLATIONS AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN:
 - FURNISH AND INSTALL PIPING, CONNECTIONS, AND HARDWARE NECESSARY FOR AN ENTIRE OPERATING SYSTEM.
 - A LICENSED PLUMBER MUST PERFORM PLUMBING WORK.
- WHERE TWO OR MORE ITEMS OF THE SAME TYPE OF EQUIPMENT ARE REQUIRED, THE PRODUCT OF ONE MANUFACTURER MUST BE USED.
- WORKSMANSHIP, MATERIALS, AND EQUIPMENT MUST BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE OWNER.

CODES/PERMITS

- WORK MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE UNDERWRITERS LABORATORY STANDARDS AND MUNICIPAL, STATE AND OTHER AUTHORITIES' REGULATIONS, PUBLIC AND PRIVATE, HAVING JURISDICTION. REPORT DISCREPANCIES WITH SUCH REGULATIONS TO ENGINEER AND DO NOT PROCEED WITH WORK UNTIL WRITTEN AUTHORIZATION IS RECEIVED FROM THE ENGINEER.
- NECESSARY FEES, PERMITS, AND APPROVALS AS REQUIRED BY THE WORK OF THESE DRAWINGS AND SPECIFICATIONS MUST BE OBTAINED AND PAID FOR BY THIS CONTRACTOR.
- NOTHING CONTAINED IN THE SPECIFICATIONS OR INDICATED ON THESE DRAWINGS IS TO BE CONSTRUED TO CONFLICT WITH APPLICABLE PORTIONS OF LAWS, ORDINANCES, REGULATIONS, OR CODES.

COORDINATION OF WORK

- COORDINATE CONSTRUCTION OF PLUMBING WORK WITH ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL WORK, ETC., SHOWN ON OTHER CONTRACT DOCUMENT DRAWINGS.
- PLUMBING CONTRACTOR MUST DISCONNECT, REMOVE, AND PROPERLY DISPOSE OF PLUMBING MATERIALS AND EQUIPMENT IN ORDER TO PREPARE EXISTING AREAS AND BUILDINGS FOR RENOVATION WORK. CONTRACTOR TO CLOSELY COORDINATE WITH THE GENERAL CONTRACTOR TO PROVIDE ENTIRE DEMOLITION OF NECESSARY AREAS AND SYSTEMS. CONTRACTOR MUST REVIEW PROJECT DOCUMENTS FOR EXTENT OF DEMOLITION REQUIREMENTS - ENTIRE DEMOLITION SCOPE IS NOT NECESSARILY NOTED ON THE PLUMBING DRAWINGS.
- THE LOCATIONS OF ITEMS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS THAT ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS NECESSARY TO SECURE THE MOST DESIRABLE CONDITIONS AND RESULTS MUST BE DETERMINED BY THE PROJECT SITE CONDITIONS AND MUST HAVE THE APPROVAL OF THE ENGINEER BEFORE BEING INSTALLED. DO NOT SCALE THE DRAWINGS.
- PROVIDE LOCATIONS OF REQUIRED ACCESS PANELS FOR INSTALLATION IN WALLS AND CEILINGS TO SERVICE VALVES, DAMPERS, AND OTHER CONCEALED PLUMBING EQUIPMENT. GENERAL CONTRACTOR MUST FURNISH & INSTALL ACCESS PANELS.
- LOCATIONS AND SIZES OF FLOOR, WALL, AND ROOF OPENINGS MUST BE COORDINATED WITH OTHER TRADES INVOLVED. OPENINGS IN FIRE WALLS DUE TO PIPING MUST BE FIRE STOPPED.

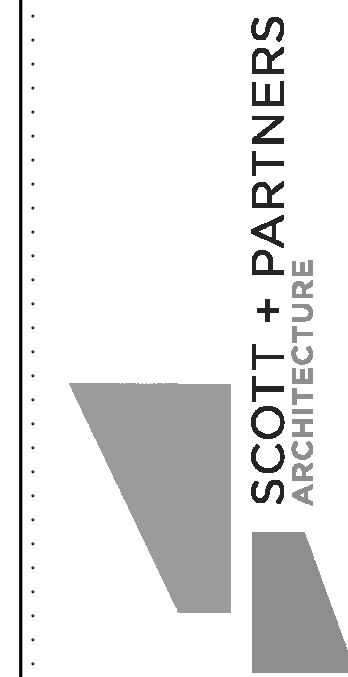
PIPING

- TAKE NECESSARY MEASUREMENTS AT THE BUILDING AND FABRICATE THE PIPING ON THE SITE, IF REQUIRED, TO PROVIDE AN APPROVABLE INSTALLATION.
- INSTALL PIPING CONCEALED ABOVE CEILING OR IN WALL CHASES UNLESS OTHERWISE INDICATED. EXPOSED PIPING IS TO BE 3/4" MINIMUM FROM WALL SURFACE.
- PROVIDE STOP VALVES AT FIXTURE AND EQUIPMENT SUPPLIES. EXPOSED FIXTURE CONNECTIONS MUST BE CHROME PLATED. PROVIDE VACUUM BREAKERS WHERE REQUIRED BY CODE.
- PROVIDE NECESSARY HANGERS FOR SUPPORT OF HORIZONTAL AND VERTICAL PIPING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE NECESSARY UNIONS TO FACILITATE REPAIR OF EQUIPMENT AND FITTINGS.
- IDENTIFICATION: CONTINUOUSLY IDENTIFY PIPING 8' ON CENTER.
- PROVIDE NECESSARY VALVES, PIPES, FITTINGS, AND WATER HAMMER ARRESTORS THROUGHOUT THE SYSTEM TO ELIMINATE WATER HAMMER.
- PROVIDE NECESSARY FLOOR AND WALL CLEANOUTS THROUGHOUT THE SYSTEM FOR A CODE COMPLIANT INSTALLATION.
- PIPING AT FLOOR PENETRATIONS AND PENETRATIONS OF FIRE RATED WALLS MUST BE SEALED WITH FIRE CAULK (BOTH SIDES WHERE ACCESSIBLE).
- VERMONT LOW LEAD REQUIREMENTS. PIPING, FITTINGS, AND VALVES USED FOR HUMAN CONSUMPTION (WATER FOR DRINKING OR COOKING) MUST MEET THE MOST RECENT NSF/ANSI LOW LEAD STANDARD (<.025% WEIGHTED AVERAGE LEAD CONTENT FOR WETTED SURFACES).



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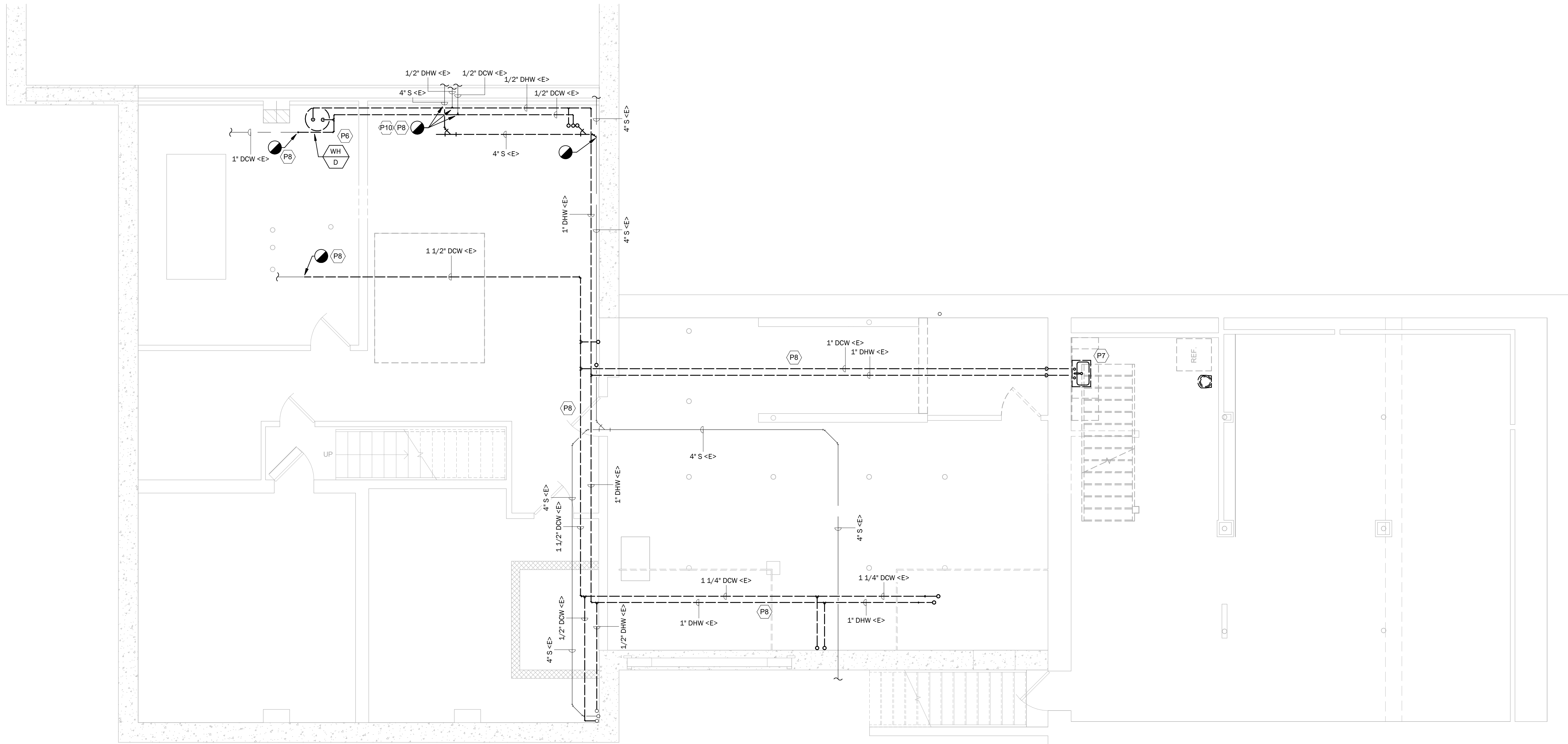
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sheet date: 02/15/24

No	Date	Revisions

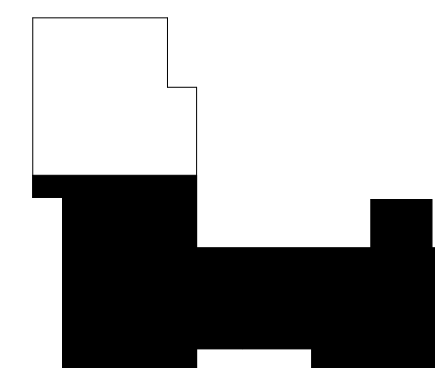
sheet title:
**PLUMBING
LEGEND AND
GENERAL NOTES**

sheet no.
P1.0

50% CD'S - NOT FOR
CONSTRUCTION



1 BASEMENT PLUMBING PLAN - DEMOLITION
1/4" = 1'-0"



KEY PLAN

50% CD'S - NOT FOR CONSTRUCTION

KEYED NOTES	
P6	COMPLETELY REMOVE EXISTING ELECTRIC WATER HEATER INCLUDING ALL ASSOCIATED MECHANICAL, ELECTRICAL, AND CONTROLS CONNECTIONS.
P7	COMPLETELY REMOVE EXISTING SINK AND ALL ASSOCIATED PIPING, INSULATION, AND FITTINGS. COMPLETELY REMOVE EXISTING BELOW SLAB SANITARY PIPING BACK TO MAINS AND CAP. SAWCUT FLOOR AS REQUIRED AND PATCH FLOOR TO MATCH EXISTING CONDITIONS.
P8	COMPLETELY REMOVE EXISTING DOMESTIC WATER PIPING INCLUDING ALL ASSOCIATED FITTINGS AND HANGERS BACK TO POINT INDICATED.
P10	COMPLETELY REMOVE EXISTING SANITARY PIPING AND ALL ASSOCIATED FITTINGS AND HANGERS BACK TO POINT INDICATED.



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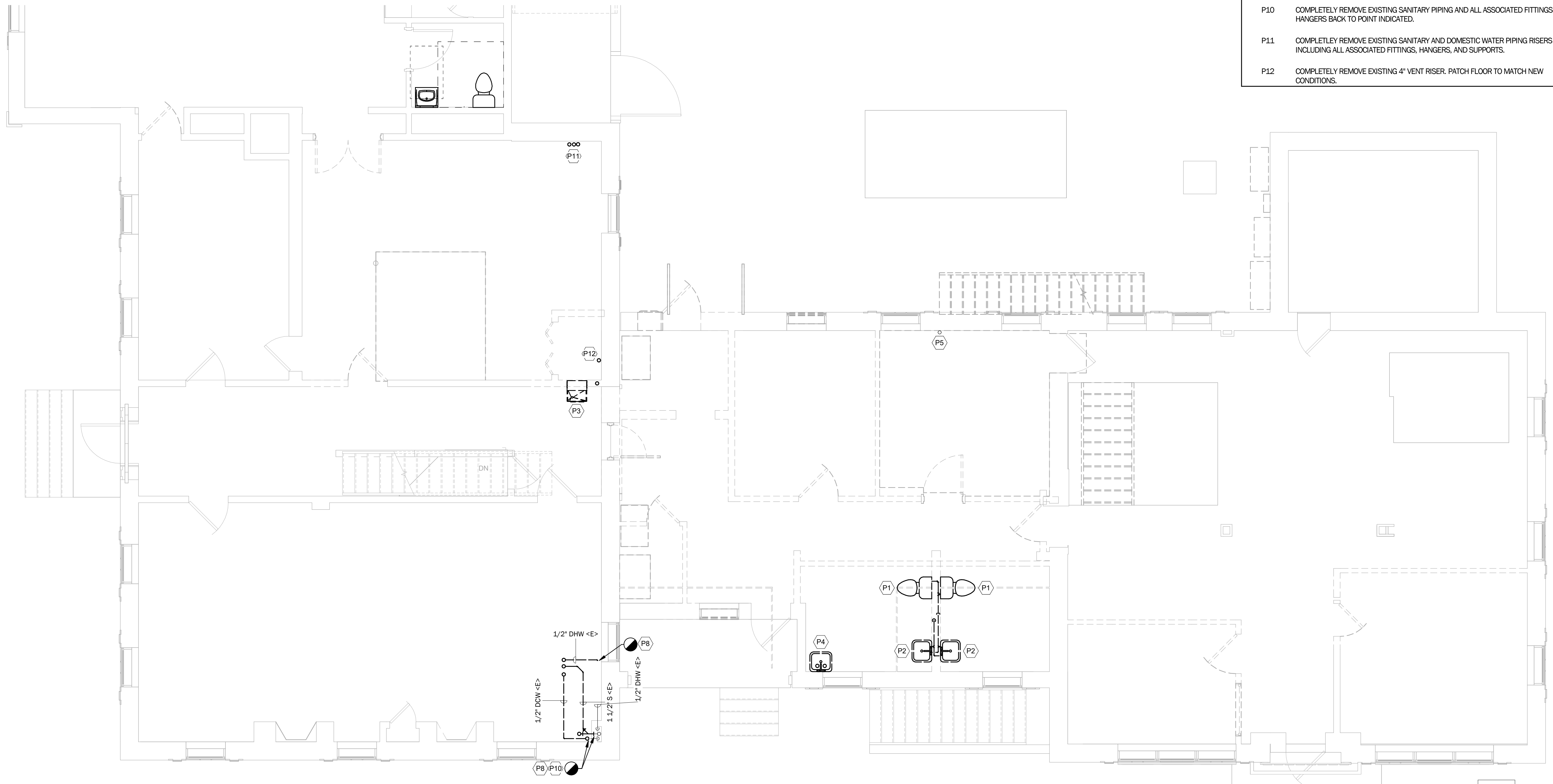
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drawn by:	Author
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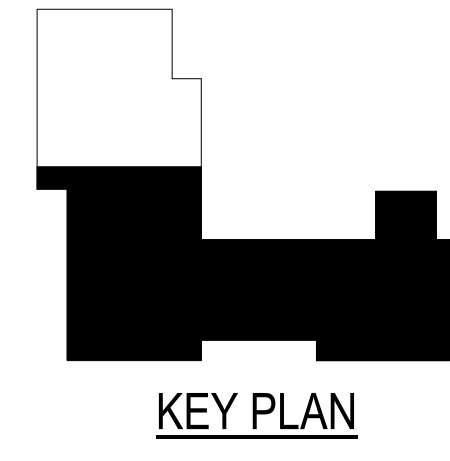
No	Date	Revisions

sheet title:
**BASEMENT
PLUMBING PLAN -
DEMOLITION**

sheet no.
P2.0



① FIRST FLOOR PLUMBING PLAN - DEMOLITION
1/4" = 1'-0"



KEYED NOTES

- P1 COMPLETELY REMOVE EXISTING WATER CLOSET AND ALL ASSOCIATED PIPING, INSULATION, FITTING, AND HANGERS.
- P2 COMPLETELY REMOVE EXISTING LAVATORY AND ALL ASSOCIATED PIPING, INSULATION, FITTINGS, AND HANGERS.
- P3 COMPLETELY REMOVE EXISTING DRINKING FOUNTAIN AND ALL ASSOCIATED PIPING, INSULATION, FITTING, HANGERS, AND SUPPORTS. STORE DRINKING FOUNTAIN AND REINSTALL IN NEW SECOND FLOOR LOCATION. REFER TO SHEET P3.2 FOR NEW LOCATION.
- P4 COMPLETELY REMOVE EXISTING UTILITY SINK AND ALL ASSOCIATED PIPING, INSULATION, FITTINGS, HANGERS, AND SUPPORTS.
- P5 EXISTING 4" VENT PIPING UP/DN SHALL REMAIN.
- P8 COMPLETELY REMOVE EXISTING DOMESTIC WATER PIPING INCLUDING ALL ASSOCIATED FITTINGS AND HANGERS BACK TO POINT INDICATED.
- P10 COMPLETELY REMOVE EXISTING SANITARY PIPING AND ALL ASSOCIATED FITTINGS AND HANGERS BACK TO POINT INDICATED.
- P11 COMPLETELY REMOVE EXISTING SANITARY AND DOMESTIC WATER PIPING RISERS INCLUDING ALL ASSOCIATED FITTINGS, HANGERS, AND SUPPORTS.
- P12 COMPLETELY REMOVE EXISTING 4" VENT RISER. PATCH FLOOR TO MATCH NEW CONDITIONS.



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project address:
2 LINCOLN STREET
ESSEX JUNCTION, VT 05452

scale: As indicated
project no. 528987
checked by: MJH
drawn by: PSB
proj. date: 02/15/24
sheet date: 02/15/24

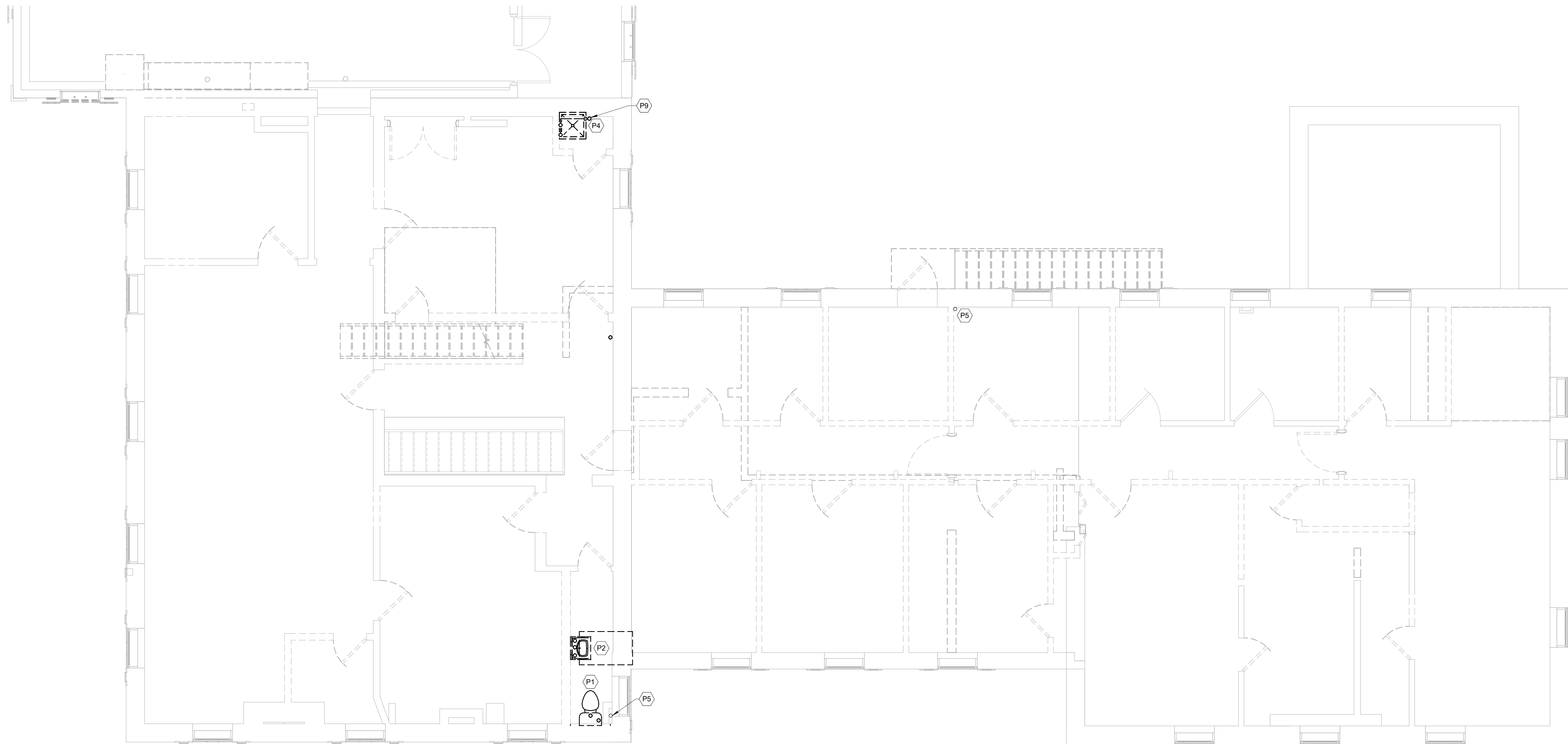
No	Date	Revisions

sheet title:
**FIRST FLOOR
PLUMBING PLAN -
DEMOLITION**

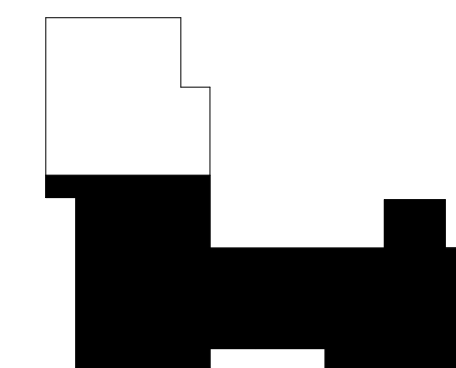
sheet no.
P2.1

50% CD'S - NOT FOR
CONSTRUCTION

KEYED NOTES	
P1	COMPLETELY REMOVE EXISTING WATER CLOSET AND ALL ASSOCIATED PIPING, INSULATION, FITTING, AND HANGERS.
P2	COMPLETELY REMOVE EXISTING LAVATORY AND ALL ASSOCIATED PIPING, INSULATION, FITTINGS, AND HANGERS.
P4	COMPLETELY REMOVE EXISTING UTILITY SINK AND ALL ASSOCIATED PIPING, INSULATION, FITTINGS, HANGERS, AND SUPPORTS.
P5	EXISTING 4" VENT PIPING UP/DN SHALL REMAIN.
P9	COMPLETELY REMOVE EXISTING 4" VENT DOWN THROUGH FLOOR. PATCH FLOOR TO MATCH NEW CONSTRUCTION. EXISTING 4" VENT THROUGH ROOF SHALL REMAIN FOR RECONNECTION.



① SECOND FLOOR PLUMBING PLAN - DEMOLITION
1/4" = 1'-0"



KEY PLAN

50% CD'S - NOT FOR CONSTRUCTION



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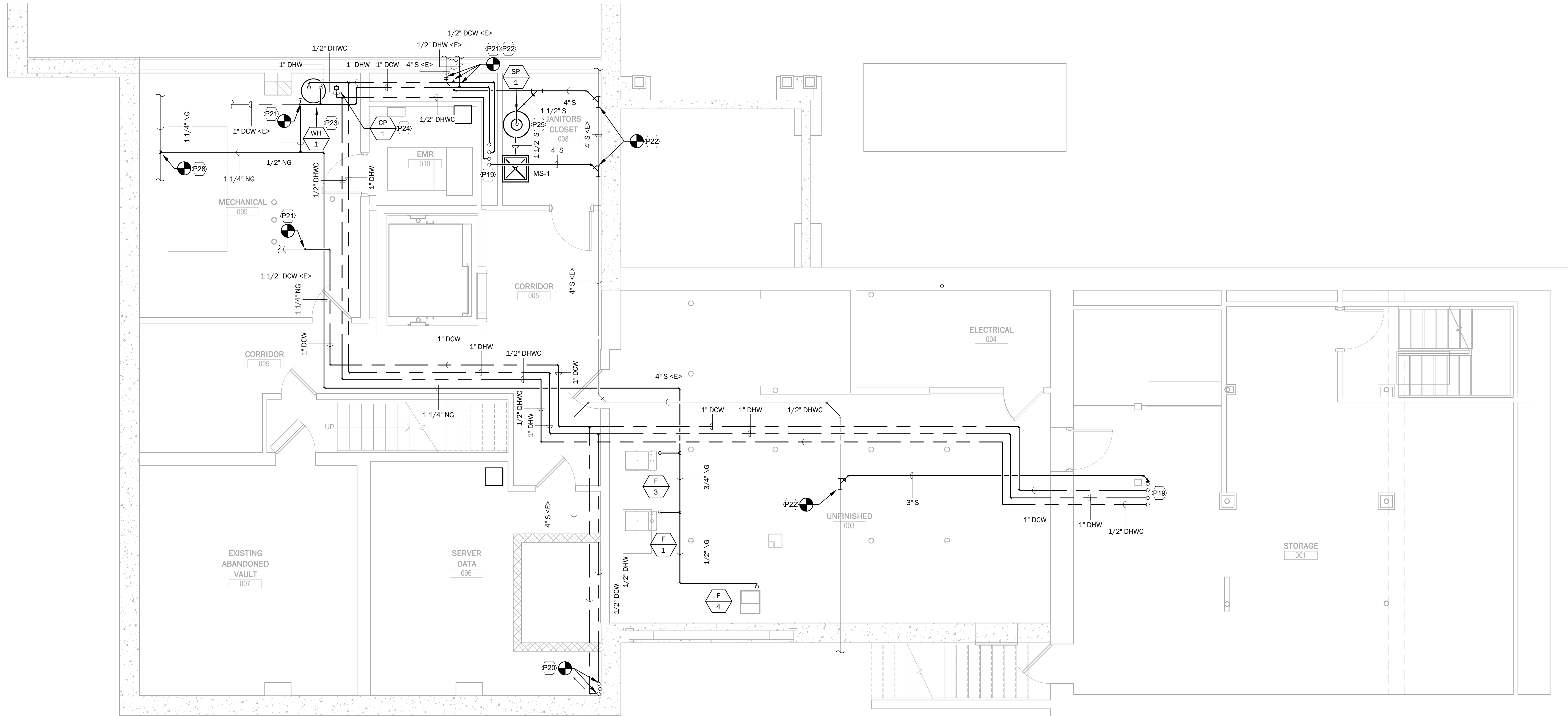
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No	Date	Revisions

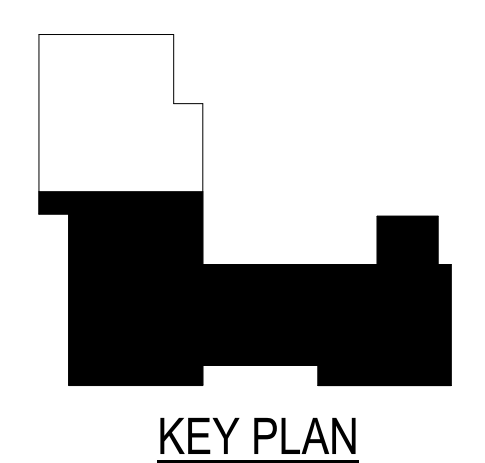
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**SECOND FLOOR
PLUMBING PLAN -
DEMOLITION**

sheet no.
P2.2

KEYED NOTES	
P19	1" DCW, 1" DHW, 1/2" DHWC, AND 3" SANITARY PIPING UP TO FIRST FLOOR.
P20	CONNECT NEW DOMESTIC WATER PIPING TO EXISTING DOMESTIC WATER PIPING RISERS.
P21	CONNECT NEW DOMESTIC WATER PIPING TO EXISTING DOMESTIC WATER PIPING.
P22	CONNECT NEW SANITARY PIPING TO EXISTING SANITARY PIPING.
P23	PROVIDE NEW ELECTRIC WATER HEATER MOUNTED ON 4" HOUSEKEEPING PAD.
P24	PROVIDE DOMESTIC HOT WATER CIRCULATING PUMP.
P25	PROVIDE NEW SUMP PUMP IN JANITOR'S CLOSET. ROUTE MOP SINK DRAIN TO SUMP BASIN. ROUTE SUMP VENT UP IN PLUMBING CHASE.
P28	CONNECT NEW GAS PIPING TO EXISTING GAS PIPING. EXTEND GAS PIPING TO WATER HEATER AND AHUS.



1 BASEMENT PLUMBING PLAN
1/4" = 1'-0"



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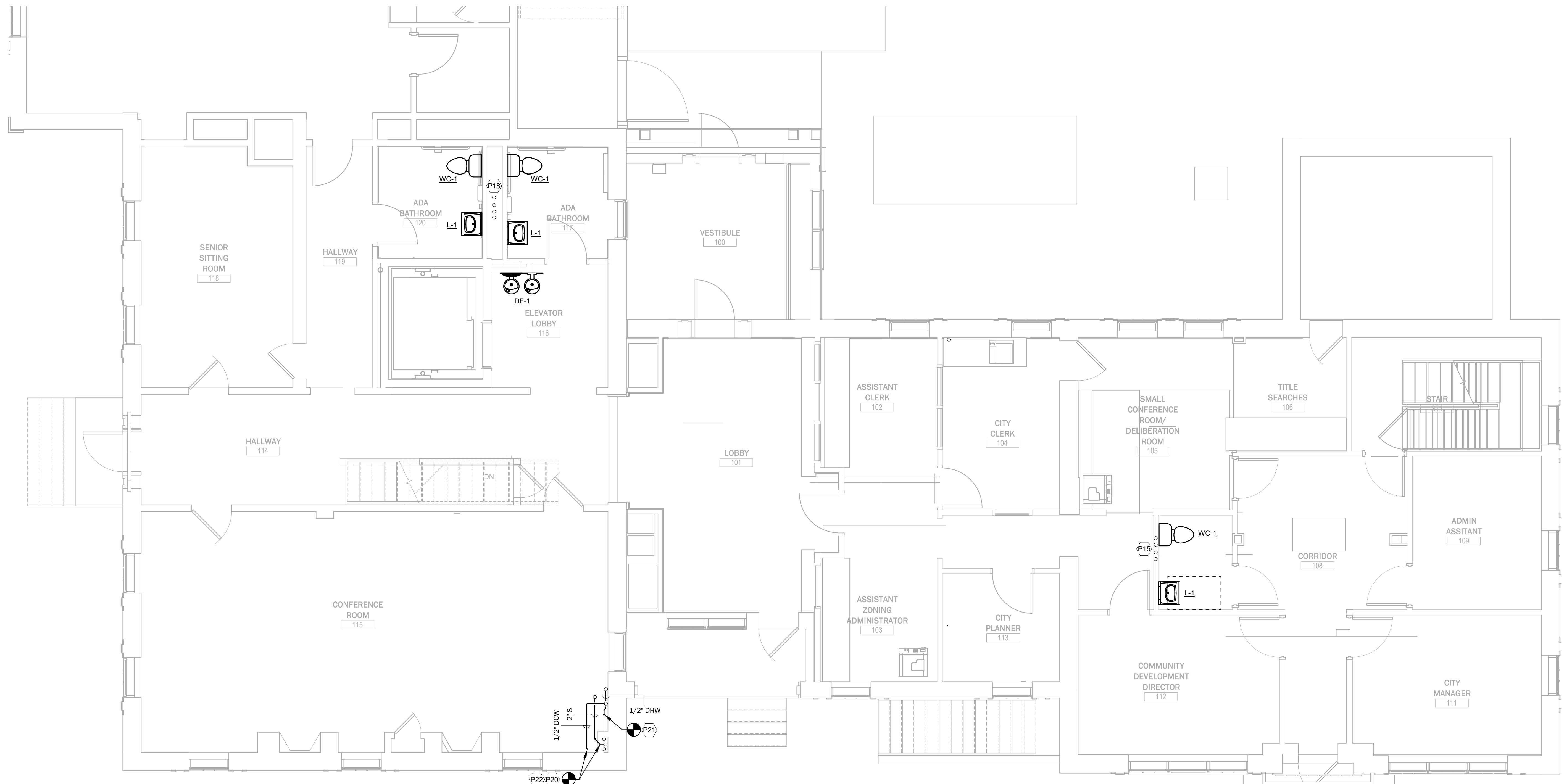
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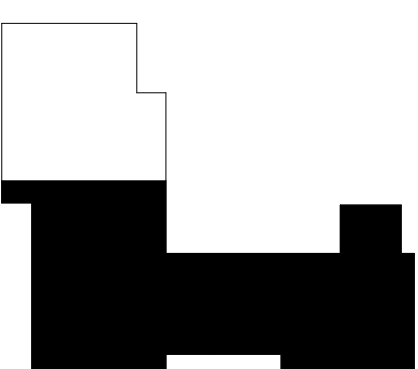
sheet title:
BASEMENT PLUMBING PLAN

sheet no.
P3.0

KEYED NOTES	
P15	1" DOW, 1" DHW, AND 1/2" DHWC PIPING UP/DN IN WALL. ROUTE PIPING FROM RISERS THROUGH CEILING CAVITY TO PLUMBING FIXTURES IN THIS AREA.
P18	1" DOW, 1" DHW, AND 1/2" DHWC PIPING UP/DN IN CHASE. ROUTE PIPING FROM RISERS TO PLUMBING FIXTURES IN THIS AREA.
P20	CONNECT NEW DOMESTIC WATER PIPING TO EXISTING DOMESTIC WATER PIPING RISERS.
P21	CONNECT NEW DOMESTIC WATER PIPING TO EXISTING DOMESTIC WATER PIPING.
P22	CONNECT NEW SANITARY PIPING TO EXISTING SANITARY PIPING.



① FIRST FLOOR PLUMBING PLAN
1/4" = 1'-0"



KEY PLAN

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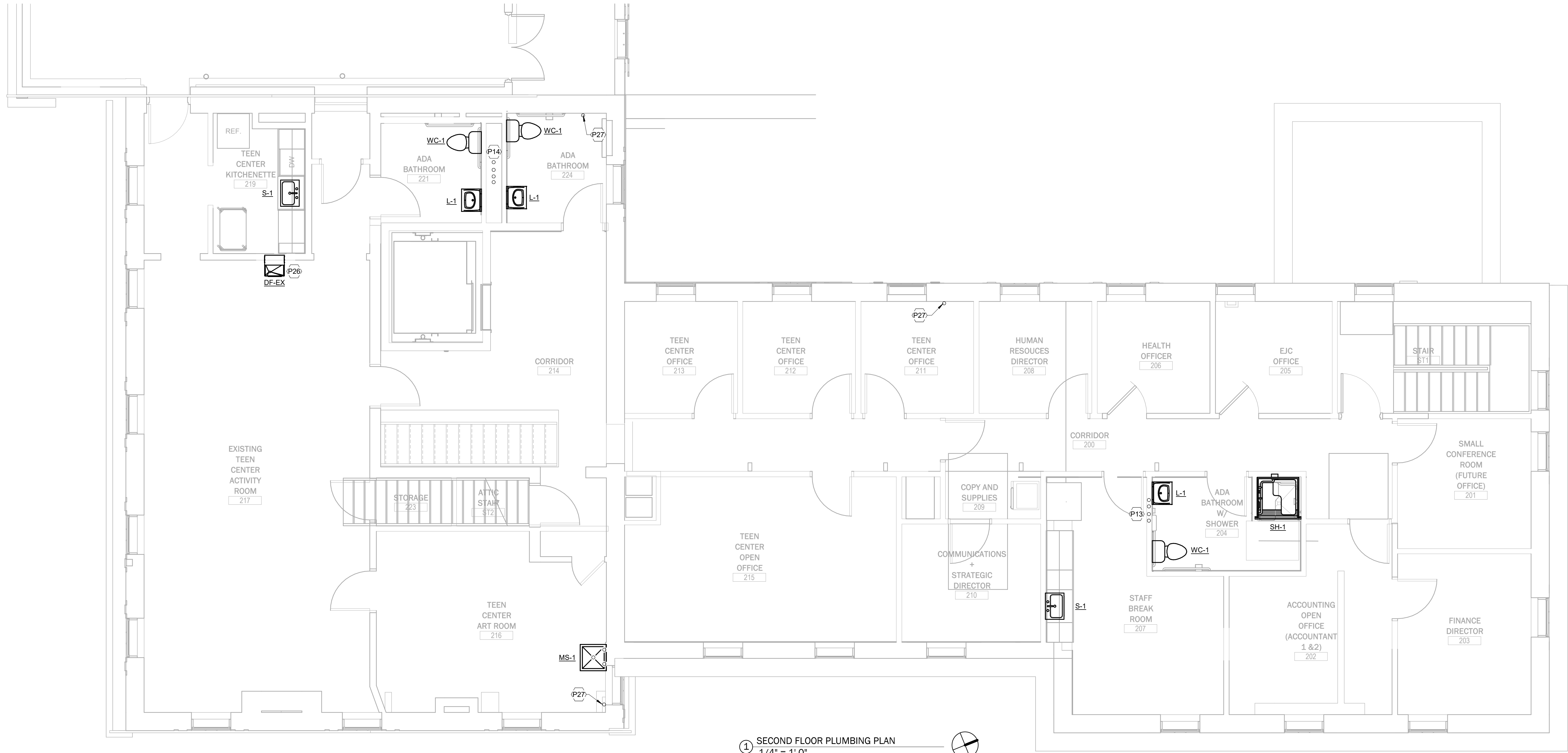
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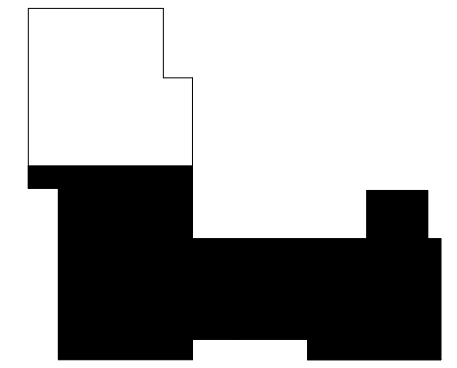
sheet title:
**FIRST FLOOR
PLUMBING PLAN**

sheet no.
P3.1

KEYED NOTES	
P13	1" DCW, 1" DHW, AND 1/2" DHWC PIPING UP FROM FIRST FLOOR THROUGH WALL. EXTEND PIPING THROUGH CEILING CAVITY TO PLUMBING FIXTURES IN THIS AREA.
P14	1" DCW, 1" DHW, 1/2" DHWC, AND 1-1/2" SANITARY PIPING UP FROM FIRST FLOOR THROUGH CHASE. EXTEND PIPING THROUGH CHASE AND CEILING CAVITY TO PLUMBING FIXTURES IN THIS AREA.
P26	INSTALL RELOCATED DRINKING FOUNTAIN FROM FIRST FLOOR.
P27	ROUTE VENT PIPING FROM PLUMBING FIXTURES IN THIS AREA TO EXISTING VENT THROUGH ROOF AND CONNECT.



1 SECOND FLOOR PLUMBING PLAN
1/4" = 1'-0"



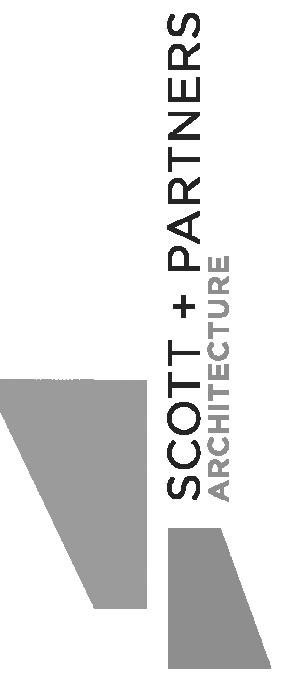
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No	Date	Revisions

sheet title:
**SECOND FLOOR
PLUMBING PLAN**

sheet no.
P3.2

PLUMBING FIXTURE SCHEDULE

ITEM	DESCRIPTION	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN MODEL	TRIM AND ACCESSORIES	CONNECTION SIZE				REMARKS
					WASTE	VENT	CW	HW	
DF-1	DRINKING FOUNTAIN	ELKAY	EZWS-EDFPBM114K	PROVIDE WITH RECESSED WALL HANGER.	1-1/2	1-1/2	1/2	-	ADA RECESSED BOTTLE FILLER WITH INTEGRAL DRINKING FOUNTAIN.
DF-EX	EXISTING DRINKING FOUNTAIN	N/A	N/A	N/A	1-1/2	1-1/2	1/2	-	RELOCATE EXISTING FIRST FLOOR DRINKING FOUNTAIN AND INSTALL IN NEW LOCATION INDICATED ON FLOOR PLANS.
L-1	WALL-HUNG LAVATORY	AMERICAN STANDARD	LUCERNE 0356.012	FAUCET: ELKAY LK402T4 4" CENTerset WITH 4" WRISTBLADE HANDLES. PROVIDE WITH WALL CARRIER. PROVIDE WITH LOW FLOW, HIGH EFFICIENCY AERATOR. PROVIDE WITH ANGLED CHROME WALL SHUT-OFFS, WALL ESCUTCHEON, SS FLEXIBLE SUPPLY TUBES, CHROME TAILPIECE, AND UNDERSINK PIPING INSULATION COVERS EQUAL TO TRUEBRO LAV GUARD.	1-1/2	1-1/2	1/2	1/2	VITREOUS CHINA, 4" CENTERS, ADA INSTALLATION.
MS-1	MOP SINK	FIAT	MSB2424	SERVICE FAUCET 830-AA, HOSE & HOSE BRACKET 832-AA, MOP HANGER 889-CC, 3" QUICK DRAIN CONNECTOR QDC 3XH, AND SS WALL GUARD MSG2424	3	1-1/2	1/2	1/2	
S-1	SINGLE BOWL, SS DROP-IN SINK	ELKAY	LRAD191855	FAUCET: CHICAGO 895-317ABCP DECK MOUNTED FAUCET, 4" CENTERS, GOOSENECK SPOUT, WRISTBLADE HANDLES, GRID STRAINER. PROVIDE WITH LOW FLOW, HIGH EFFICIENCY AERATOR.	1-1/2	1-1/2	1/2	1/2	18 GAUGE STAINLESS STEEL, DROP-IN, 3 HOLE 4" CENTERS, SINGLE BOWL SINK.
SH-1	ALCOVE ONE-PIECE SHOWER	BEST BATH	LCS4038A5T	HAND SHOWER TRIM: SYMMONS 35003-H321-V-CYL-B-TRM, 1.5 GPM FLOW RESTRICTOR, INTEGRAL CHECK VALVES, 60" FLEXIBLE HOSE, 36" SLIDE BAR WITH ADA WAND, PROVIDE TEMPTROL PRESSURE BALANCING SHOWER VALVE.	1-1/2	1-1/2	1/2	1/2	SHOWER TO BE ONE PIECE, CENTER DRAIN, COORDINATE GRAB BARS WITH ARCHITECTURAL PLANS. MOUNT CONTROLS AS SHOWN ON ARCHITECTURAL PLANS. INSTALL ALL BLOCKING AS REQUIRED.
WC-1	FLOOR-MOUNTED, TANK-TYPE WATER CLOSET	TOTO	ECO DRAKE EL ADA CST744EL	SEAT: TOTO SS224 OR EQUAL. PROVIDE WITH CHROME SHUTOFF, WALL ESCUTCHEON, SS FLEXIBLE SUPPLY TUBE.	3	1-1/2	1/2	-	VITREOUS CHINA, ELONGATED BOWL, 1.28 GPF, BOTTOM OUTLET, ADA INSTALLATION. ASSEMBLY PERFORMANCE M _{sp} = 1000.

RECIRCULATING PUMP SCHEDULE

TAG	LOCATION	SERVES	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN MODEL	GPM	WPD (FT)	VOLTS	PH	HZ	REMARKS
CP-1	MECHANICAL ROOM	DOMESTIC HOT WATER RECIRCULATION	Grundfos	ALPHA3 15-40 130	5 GPM	25.0 RH20	230 V	1	60 Hz	

- NOTES:
1. PROVIDE PUMP WITH INTEGRAL VFD AND DP SENSOR.

WATER HEATER SCHEDULE

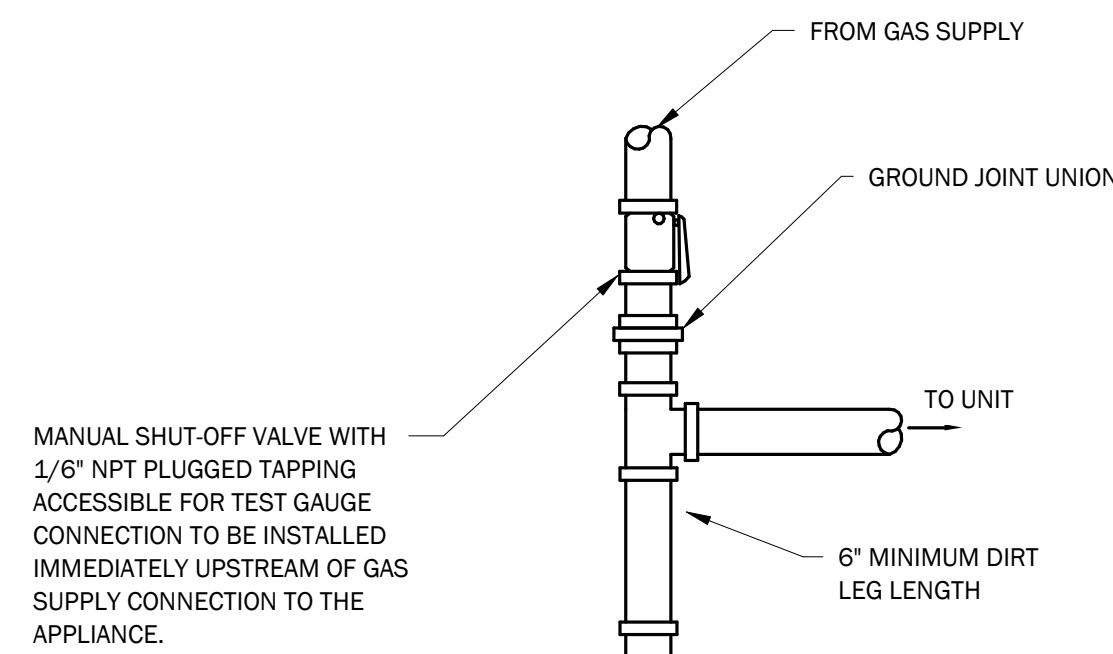
TAG	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN MODEL	TYPE	FIRST HOUR GPH	CONTINUOUS GPH	TEMPERATURE RISE (°F)	GALLONS	BTUH INPUT	ELECTRICAL			REMARKS
									VOLTAGE	PHASE	HZ	
WH-1	AO SMITH	BT-60	GAS TANK COMMERCIAL WATER HEATER	83	83	70	55	60,000	120	1	60	ALL

- NOTES:
1. PROVIDE WITH ASME 1070 THERMOSTATIC MIXING VALVE.
2. ASME RATED.

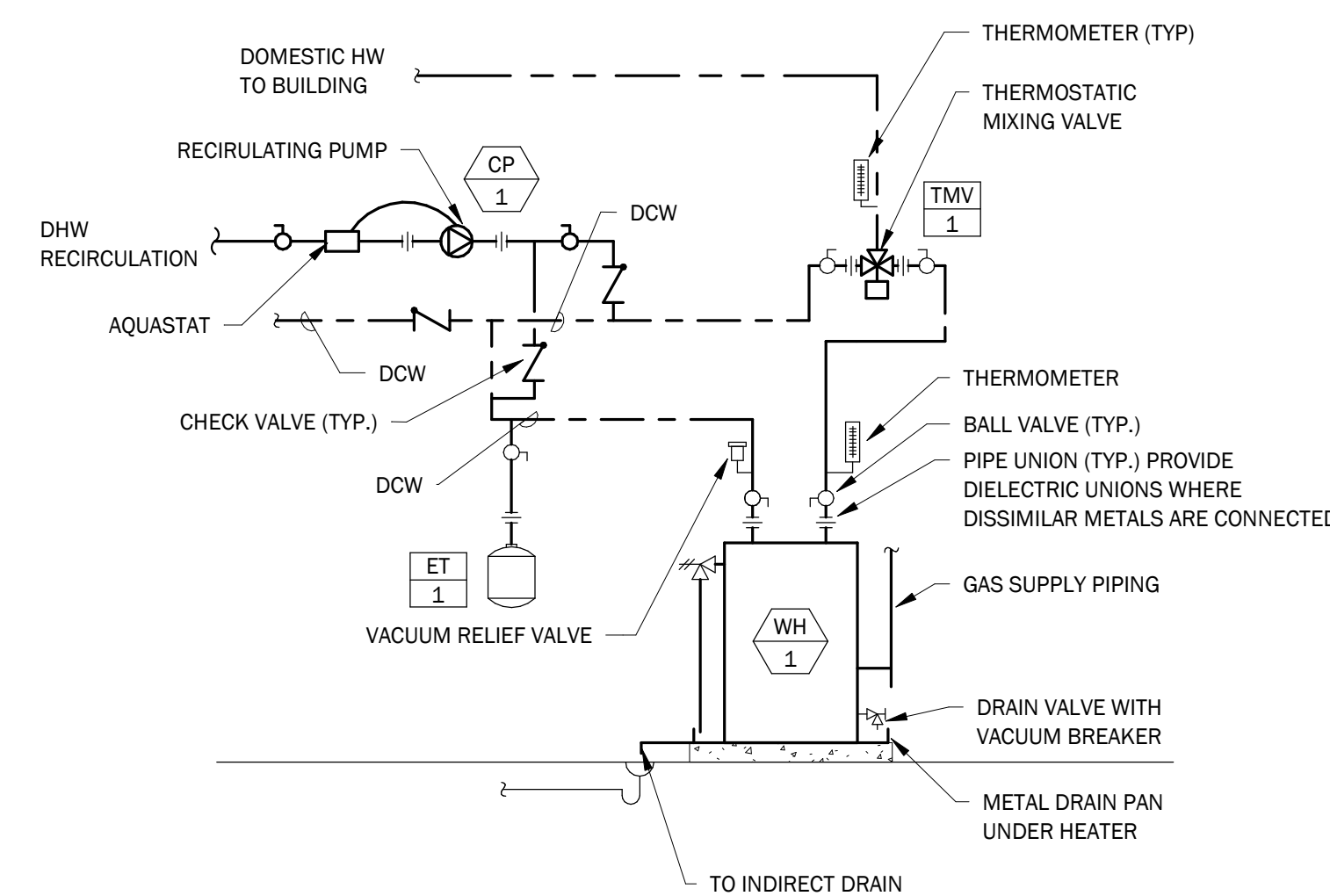
SUMP PUMP SCHEDULE

TAG	LOCATION	MANUFACTURER	MODEL	TYPE	FLOW RATE (GPM)	HEAD (FT)	MOTOR				WEIGHT (LBS)	REMARKS	
							POWER (HP)	RPM	VOLTS	PHASE			
SP-1	WET ROOM	ZOELLER	M53	SUBMERSIBLE	20	15	3/10	3250	115	1	9.7	23	ALL

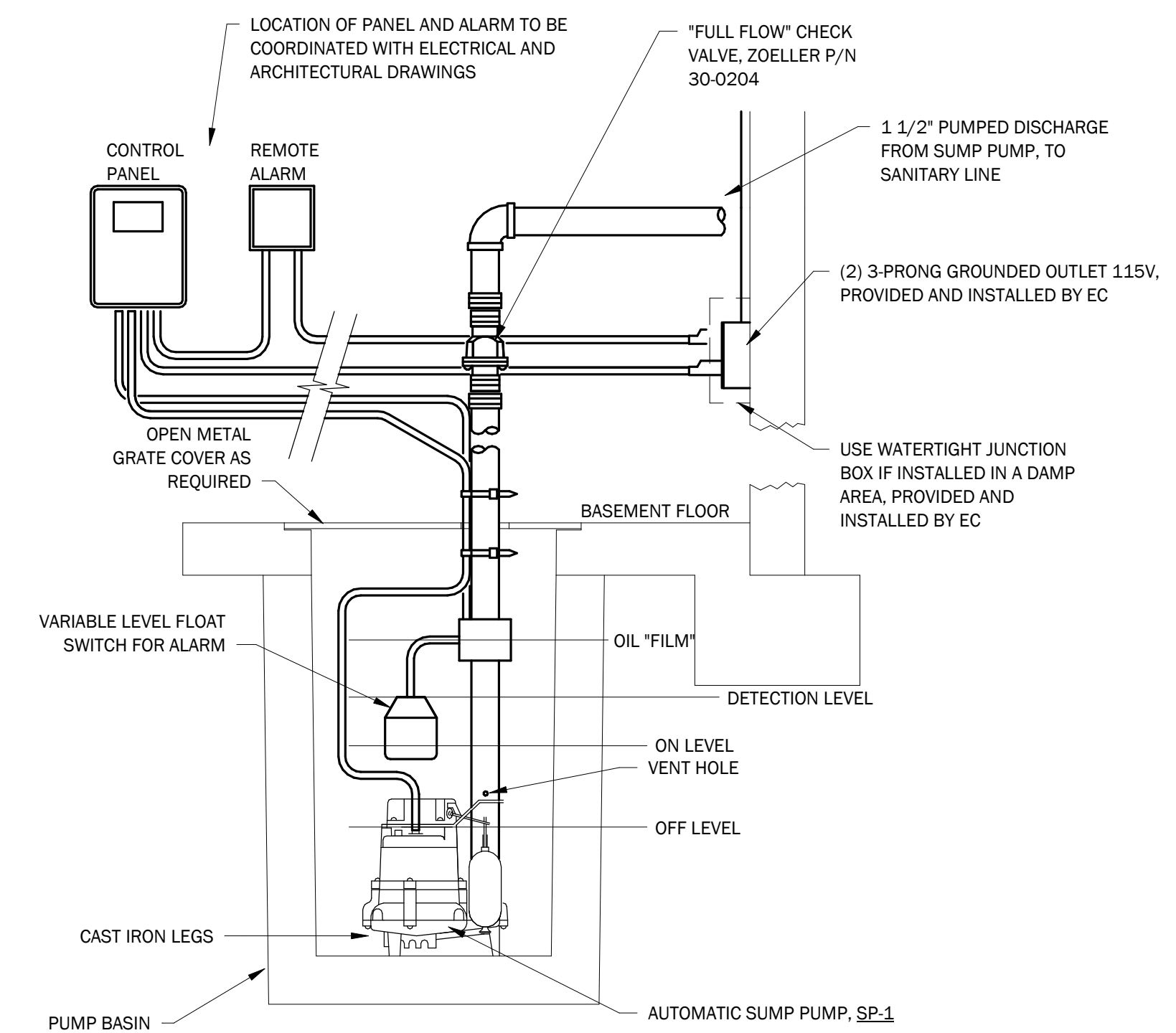
- NOTES:
1. CAST IRON CONSTRUCTION HOUSING, TYPE 1.1A CARBON AND CERAMIC SHAFT SEAL.
2. 130°F MAXIMUM INTERMITTENT FLUID TEMPERATURE, 1/2" MAXIMUM SPHERICAL SOLIDS HANDLING.
3. 9' POWER CORD.
4. 1-1/2" NPT DISCHARGE.
5. PROVIDE #31-0866 24" DIA. X 48" DEEP FIBERGLASS BASIN WITH ANTI-FLOTATION RING AND ZOELLER #17-0337 COVER.



2 GAS SUPPLY CONNECTION DETAIL NTS



3 WATER HEATER DETAIL NTS



1 SUMP PUMP DETAIL NTS

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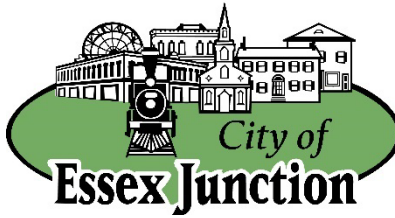
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No	Date	Revisions

sheet title:
PLUMBING SCHEDULES AND DETAILS

sheet no.
P4.0



MEMORANDUM

TO: Council Members and Regina Mahony, City Manager
FROM: Joanne Pfaff, Administrative Assistant
MEETING DATE: March 27, 2024
SUBJECT: Green Mountain Transit Funding Support

Issue: The issue is whether the City Council will authorize the Council President to sign a letter on their behalf in support of Green Mountain Transit's (GMT) call to Chittenden County State Representatives and State Senators to support Funding Sources for public transit into the transportation bill.

Discussion: If additional funding from the state is not received, service reductions from GMT will need to occur. With no additional revenue, GMT expects they will need to reduce driver hours by 29% in Fiscal Year 2026. The attached talking points from GMT summarize the challenges that they face.

The Council should discuss whether they'd like to send a letter, and what it should include. Burlington's DRAFT resolution is attached for reference.

Costs: None

Recommendation: It is recommended that City Council authorize the City Council President to sign a letter on their behalf asking Chittenden County State Representatives and State Senators to support the recommendations of the Report on Funding Sources for Public Transit Nonfederal Match into the transportation bill.

Attachments:

GMT Fiscal Year 2026 Funding Gap Talking Points
City of Burlington DRAFT GMT Funding Resolution



Fiscal Year 2026 Funding Gap Talking Points

Bottom Line – To Prevent Catastrophic Service Reductions Need \$2.7M in FY25 and/or FY26

- These could come in the form of 1-time funds or adopting a funding method from the 2024 Non-Federal Match Study.

Public Transit Funding – Many Studies and No Action

- Agreement on the lack of sustainable public transit funding has led to 4 studies on the matter over the past decade, none of which the State of Vermont has acted upon.
- GMT has long practice of filling the funding gap between revenue and expenses with 1-time funds in order to prevent service reductions.

Source of Funding Urban Funding Gap – Increase Cost of Wages and Benefits

- Despite a 10% reduction in service over the past 5 years, and a decrease of 19% of administrative staff, the costs of operating urban transit have increased 34%.
- Increase driven primarily by wage and benefit increases due to labor scarcity and cost of health insurance. Even with wage growth GMT still unable to recruit enough drivers and mechanics without relying heavily on overtime.

29% Reduction in Driver Hours Required to Balance FY26 Budget

- Remaining COVID reserve funds will be exhausted by the end of FY25.
- This will result in a projected \$2.7M funding gap in FY26, which may be higher depending on when we can restart fare service.
- Driver hours are the single biggest operating expense that GMT controls.
- GMT's indirect rate (% of funds not spent directly on operations) is only 7%, whereas some rural transit agencies have indirect rates over 25%.
 - There are no meaningful cost savings from non-operational expenses.

Large Reductions Could Lead to GMT's Failure

- Large reductions in service while maintaining current municipal assessment levels could lead municipalities to opt out of GMT membership or demand reduced assessments, necessitating even further reductions, creating the potential of a death spiral.
- Large reductions in service could lead to the loss of STIC factors, necessitating even further reductions, creating the potential of a death spiral.



Significant Urban vs. Rural Inequities Exist in Vermont Public Transit Funding

- Chittenden County provides 35% of Vermont State Income Tax Revenue:
 - VTrans provides GMT urban with 10% of operating revenue.
 - VTrans provides rural transit agencies with 22% of operating revenue.
 - Urban tax revenue subsidizes rural public transit, not the other way around.
 - No urban fiscal cliff if VTrans supported urban transit in the same proportion as rural transit.
- Rural municipalities contribute just 2.5% of the cost of rural public transit.
 - Urban municipalities contribute 20.5% of the cost of urban public transit.
 - Urban municipalities contribute \$3.8 Million of total \$4.7M in municipal contributions statewide... Municipalities outside Chittenden County only contribute \$0.9M.
 - The City of Burlington, with a population of 45,000, pays \$1.9M, more than double the \$0.9M contributed by all non-Chittenden County municipalities with a population of 476,000.
 - Burlington and South Burlington pay more in their assessments (\$2.5M) than all the other municipalities in the state combined.
 - No urban fiscal cliff if rural municipalities contributed their proportional fare share and didn't require subsidization by Chittenden County taxpayers.
- The State of Vermont is committed to fare free service for rural public transit.
 - The State of Vermont set a 10% revenue target for urban public transit.
 - The diversion of urban tax revenue to rural public transit requires urban riders to pay a fare, which is only necessary because urban public transit does not receive the same level of proportional State of Vermont support as rural public transit.
 - Urban transit riders are subsidizing rural transit by filling the gap.
- Urban transit ridership economics are the best in the State of Vermont.
 - According to VTrans, GMT urban provides 47% of all riders provided in the state, yet currently receives only 20% of the state's public transit funds.
 - According to VTrans, the cost per rider for urban fixed route transit is \$6.00 and the cost for rural fixed route is \$18.66 per rider; in addition, the majority of rural public transit is on demand transit, which costs \$41.75 per trip.
 - If the State of Vermont supported the most economically efficient public transit, there would be no urban fiscal cliff.
- Eliminating urban routes would mean eliminating routes that have more ridership and lower cost per rider than the rural routes that would be retained thanks to Chittenden County subsidization.

Resolution Relating to

GREEN MOUNTAIN TRANSIT FUNDING

RESOLUTION _____

Sponsor(s): TEUC
Introduced: _____
Referred to: _____

Action: _____
Date: _____
Signed by Mayor: _____

CITY OF BURLINGTON

In the year Two Thousand Twenty-Four

Resolved by the City Council of the City of Burlington, as follows:

1 That WHEREAS, Green Mountain Transit’s (GMT) urban fixed route service provides over 2 million rides
2 a year to residents, workers, and visitors to Burlington and our surrounding communities, to include providing
3 the only transportation option to our most economically vulnerable citizens; and

4 WHEREAS, many of the State of Vermont's goals regarding equity, climate change, and traffic
5 reduction are dependent on accessible and frequent public transit provided by GMT’s urban service; and

6 WHEREAS, urban transit systems across the country are financially failing because of unprecedented
7 inflationary pressures on operating costs; and

8 WHEREAS, the operating costs for GMT’s urban system has increased by 34% over the past five
9 years despite a 10% decrease in service and a 19% reduction in non-operational staff; and

10 WHEREAS, the Report on Funding Sources for Public Transit Nonfederal Match presented to the
11 House and Senate Committees on Transportation in the Vermont Legislatures in January 2024 clearly
12 indicated that without intervention GMT would exhaust its remaining financial reserves, and have insufficient
13 funds to sustain current service levels in State Fiscal Year 2026; and

14 WHEREAS, H.868, an act relating to the fiscal year 2025 Transportation Program and miscellaneous
15 changes to laws related to transportation introduced by the House Committee on Transportation, takes no
16 action to prevent or delay GMT from exhausting its remaining financial reserves and having insufficient funds
17 to sustain current service levels in State Fiscal Year 2026; and

18 WHEREAS, urban service will need to be reduced by 29% in State Fiscal Year 2026 in order to
19 balance GMT’s budget for that year, which would be catastrophic both to riders and the GMT workforce; and

20 WHEREAS, GMT’s draft State Fiscal Year 2026 budget is due to municipalities in November 2024,
21 requiring GMT to begin service reduction planning now; and

22 WHEREAS, this reduction in service would likely lead to the loss of another \$2.2 million in federal
23 revenue attached to performance, requiring even further reductions in following years; and

24 WHEREAS, GMT’s urban municipal members already pay the highest share of public transit
25 costs of any municipalities in Vermont, funding 20% of the cost of service, unlike rural municipalities that are
26 fully supported by the State of Vermont and generally contribute less than 10% of the cost of service; and

27 WHEREAS, GMT’s urban service is the most cost effective, year-round public transit option in the
28 Vermont, with a total cost per ride of \$6.00 compared to a \$18.66 for rural fixed route service; and

29 WHEREAS, GMT’s urban service is the only public transit in Vermont where riders are expected to
30 pay a fare and the State of Vermont has set revenue targets for fares; and

31 WHEREAS, GMT’s urban routes serve some of Vermont’s most racially and economically diverse
32 communities, making having affordable and frequent service a necessity for many and essential for many
33 others,

34 NOW, THEREFORE BE IT RESOLVED that the Burlington City Council calls on Burlington’s and
35 Chittenden County’s State Representatives and State Senators to support the inclusion of the recommendations
36 of the Report on Funding Sources for Public Transit Nonfederal Match into the transportation bill or other
37 legislation so that Vermont’s most successful mass transit operation can continue to remain financially viable,
38 and

39 BE IT FURTHER RESOLVED that two of the funding sources identified in the study, an increase in
40 the rental car tax and a vehicle registration fee addition, could be implemented solely within Chittenden
41 County, addressing concerns of using state-wide revenue for service in a single county, and

42 BE IT FURTHER RESOLVED that Burlington City Council ask the City Clerk to transmit this
43 resolution to the Chittenden County State Representatives and State Senators.

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**CITY OF ESSEX JUNCTION
CITY COUNCIL
REGULAR MEETING
MINUTES OF MEETING
MARCH 13, 2024**

COUNCILORS PRESENT: Raj Chawla, President; Amber Thibeault, Vice President; Andrew Brown, Marcus Certa, Clerk; Elaine Haney.

ADMINISTRATION: Regina Mahony, City Manager; Jess Morris, Finance Director; Harlan Smith, Interim Building Coordinator.

OTHERS PRESENT: Chad Bastewell, Mittzy Bephe, Alexis Brown, Bill Keyser, Albert, Resa.

1. CALL TO ORDER

Councilor Chawla called the meeting to order at 6:30 PM.

2. AGENDA ADDITIONS/CHANGES

Councilor Chawla requested making consent agenda item #6b business item #5b.

3. APPROVE AGENDA

RAJ CHAWLA made a motion, seconded by ELAINE HANEY, to modify the agenda to make Consent Agenda item #6b Business Item #5b, moving Business Item #5b to #5c, and moving Business Item #5c to #5d. The motion passed 5-0.

Councilor Chawla noted that the City Council previously had a meeting disrupted by anti-Semitic and racist hate speech, and that the City Council does not tolerate such actions and condemns them. He said that while the City Council cannot always prevent hate speech from occurring during public comments, the Council will take measures to make it more difficult to express such views.

4. PUBLIC TO BE HEARD

a. Comments from Public on Items Not on Agenda

Several disruptive and inappropriate public comments were made that were not germane to the City Council's meeting.

5. BUSINESS ITEMS

a. FY23 Audit Presentation, Bill Keyser

Bill Keyser of Kittell, Branagan, & Sargent presented on the City's Fiscal Year 2023 Audit. He said that overall, the City's financials are represented by a strong finance team. He noted that the City was subject to a single audit in 2023 related to federal expenditures on the Crescent Connector project and that federal expenditures exceeded the \$750,000 threshold. He said that in total there are \$3.5 million in federal expenditures by the City in FY23 and that the Crescent Connector project made up \$2.8 million of that amount. He noted that a single audit also includes tests to ensure that grant funds are used for appropriate eligible costs and that matching requirements are also met. He said that there were no issues or findings in relation to expenditures from the Crescent Connector project. He noted that the audit also included a review of the internal controls and that in 2023, they noted sound controls for the City. He said that the internal controls are those that are still in place when the Village and Town were exploring a merger. He said that Finance Director Morris is working to develop controls specific to the City to be in place for FY25. He spoke briefly about the management discussion and analysis, which gives the reader a good year-over-year comparison of the financial activities of the City and financial highlights and future plans. He then spoke about the government-wide financial statements, which are reported on an accrual basis. He said that there are differences when comparing these statements to the Village's statements for FY22. He said that this year there were large amounts of cash balances and delinquent tax receivables, which were moved over from the Town as of June 30, 2023. He said that in

54 past years, the cash and receivables were both reported as receivables from the Town. He said that the
55 majority of inter-entity balances have been settled as of October, but there is still a due from the Town
56 of approximately \$430,000. He noted that the City established an allowance for doubtful accounts on
57 delinquent property tax revenues of \$12,000, which is offsetting the taxes receivable balance of \$60,000.
58 He said that the City took back from the Town only the 2022 receivables that were billed, as it does not
59 have the authority to collect on older receivables from the Town. He said that consistent with prior years,
60 utility collections within accounts receivable had significant success, and only 4% of the utilities remain
61 uncollected. He noted that due to the City being a new participant in the VMERS plan with the State of
62 Vermont there are new line items for deferred outflows and net pension liabilities within the government-
63 wide financial statements, and he explained what these are. He then spoke about the fund financials,
64 noting that the accounts receivables in the General Fund are low, mainly due to the inclusion of the 2022
65 tax delinquencies. He noted that the ARPA funds are on the balance sheet as a liability as well, saying
66 that there are \$2.8 million to be recognized. He said that it is anticipated that those expenditures will be
67 drawn down in 2024. He noted that the General Fund has a fund balance of \$1,471,000, and of that,
68 \$148,000 has been assigned for specific future expenditures, \$435,000 is related to inventory and
69 prepaid expenses that are nonspendable, and the remaining \$886,000 falls below the fund balance
70 policy threshold of 15% of budgeted expenditures, as it comes out to approximately 7.5%. He said that
71 2023 General Fund operations resulted in an increase of \$650,000 to the fund balance. He spoke about
72 enterprise funds, which are intended to be self-sustaining. He said that the water and wastewater funds
73 had positive increases in net position for 2023, while the sanitation fund had a reduction in net position,
74 and EJRP had an income of \$350,000 for the fiscal year.

75
76 Councilor Certa asked about uncorrected misstatements and what action needs to be taken to address
77 those (recognizing that generally, this audit was clean with no findings). Mr. Keyser replied that these
78 would be adjustments that were proposed to management that were not made, and he said that for 2023
79 there were no uncorrected misstatements. He said that any corrected misstatements would have been
80 proposed by Finance Director Morris during audit procedures. Councilor Certa asked about
81 compensated absences and asked how often payouts occur for unused sick or vacation time. He said it
82 would be good to ensure that employees are taking advantage of available time off and taking the time
83 they need. Finance Director Morris noted that this is part of the union contract and that there are not
84 very many individuals who fall into the maximum category of payout for sick hours. She noted that sick
85 time is not used as often as vacation time. Councilor Certa recognized that there needs to be a balance
86 between encouraging employees to take sick time when needed and incentivizing them to only use it
87 when appropriate by paying out unused sick time through this policy. Mr. Keyser noted that part of the
88 audit also checks to ensure that there are no individuals accruing sick time in excess of the cap.

89
90 Councilor Chawla asked for a description of what a clean audit and unmodified opinion means. Mr.
91 Keyser replied that an unmodified opinion doesn't necessarily always mean a clean audit, but means
92 that the financial statements are not materially misstated. He said that a clean audit in this context means
93 that there were no adjustments, reconciliations were all balanced, there were clear controls in month-
94 end and year-end closeouts and no material errors.

95
96 b. ARPA Funds Obligation and Expenditure ** was agenda item #6b**

97 Finance Director Morris began by noting in April 2022 when all ARPA funds were received for the City,
98 the Council elected to opt for the standard allowance, meaning that all funds would be used on the
99 provision of government services. She noted that the current balance remaining for ARPA funding
100 (including accrued interest) is \$2,824,513.71. She said that the Vermont League of Cities and Towns
101 (VLCT) began advising municipalities in December that they should consider using their ARPA funds as
102 quickly as possible (by March 31, 2024). She said that the City's intention was to spend its remaining
103 ARPA dollars directly from the ARPA special revenue fund on the 2 Lincoln Street renovation project,

104 but that this funding wouldn't be drawn down quickly enough to align with VLCT's recommended
105 timeline. She said that VLCT's second option was to formally designate remaining ARPA balances to
106 pay for municipal personnel expenses, transfer those funds into the General Fund, and create a surplus
107 in the FY24 budget that could then be used to fund the 2 Lincoln Street project as originally intended.
108 She said that this has a net effect of \$0 on the FY24 budget, but allows the City to transfer the ARPA
109 funding into the General Fund on the timeline that VLCT is recommending. She said that this needs to
110 occur by March 31st to be included in the April 15 reporting to the Treasury.

111
112 **MARCUS CERTA made a motion, seconded by ELAINE HANEY, that the Council approve the**
113 **transfer of ARPA funds and FY24 budgeted revenue increase in the amount of \$2,824,513.71 to**
114 **the General Fund to pay for municipal personnel expenses in FY24 per the recommendations**
115 **from VLCT, and also approve an increase to the FY24 budgeted 2 Lincoln Building expenditures**
116 **for the same amount. Furthermore, the Council will designate the surplus of the same amount**
117 **created in the General Fund to the 2 Lincoln renovation project. The motion passed 5-0.**

118
119 c. *Discussion and Consideration of an Executive Session to discuss pending or probable civil litigation
120 See item #9a below.

121
122 d. *Discussion and Consideration of an Executive Session to discuss the City Manager's Six-Month
123 check-in
124 See item #9b below.

125
126 **6. CONSENT AGENDA**

- 127 a. Approve Meeting Minutes: February 28, 2024
128 b. Acting as the Liquor Control Commission, Liquor & Tobacco License Approval
129 c. Approve Street Vending Permit

130
131 **ANDREW BROWN made a motion, seconded by ELAINE HANEY, to approve the consent agenda**
132 **as presented. The motion passed 5-0.**

133
134 **7. COUNCILOR COMMENTS AND CITY MANAGER REPORT**

135 City Manager Mahony noted that there was a staff training last week, which went well. She also noted
136 that the Governor signed the City's charter change amendments today.

137
138 Councilor Chawla expressed disappointment and dismay at the comments made at the beginning of this
139 meeting, and expressed regret that members of the community had to endure those as well.

140
141 Councilor Thibeault said that she attended the legislative counsel event last week at the Blue Spruce
142 Grange and expressed thanks for the invite. She noted that attendees had many thoughtful comments
143 on the budget and the projects the City is working on.

144
145 **8. READING FILE**

- 146 a. Check Warrant #24038 (3/8/2024)
147 b. FY25 Annual Financial Plan (TA-60) for the State of Vermont
148 c. February Financial Reports
149 d. Bike Walk Advisory Committee Minutes (02/21/2024)
150 e. Tree Advisory Committee Minutes (02/20/2024)
151 f. Police Community Advisory Board Minutes (02/20/2024)

152
153 **9. EXECUTIVE SESSION**

154 a. *An Executive Session may be needed to discuss pending or probable civil litigation
155

156 **MARCUS CERTA made a motion, seconded by RAJ CHAWLA, that the City Council make the**
157 **specific finding that general public knowledge of pending or probable civil litigation or a**
158 **prosecution, to which the public body is or may be a party, would place the City at a substantial**
159 **disadvantage. Further, move that the City Council to enter into executive session to discuss**
160 **pending or probable civil litigation or a prosecution, to which the public body is or may be a**
161 **party, pursuant to 1 V.S.A. § 313(a)(1)(E) to include the City Council and City Manager. The**
162 **motion passed 5-0.**
163

164 b. *An Executive Session may be needed to discuss the City Manager’s Six-Month check-in
165

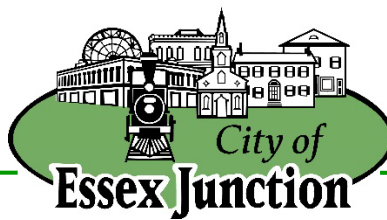
166 **MARCUS CERTA made a motion, seconded by ANDREW BROWN, that the City Council enter**
167 **into executive session to discuss a personnel evaluation, pursuant to 1 V.S.A. § 313(a)(3) to**
168 **include the City Council and City Manager. The motion passed 5-0 at 7:11 P.M.**
169

170 **AMBER THIBEAULT made a motion, seconded by RAJ CHAWLA, to exit executive session. The**
171 **motion passed 5-0 at 8:45 P.M.**
172

173 10. **ADJOURN**
174

175 **RAJ CHAWLA made a motion, seconded by ANDREW BROWN, to adjourn the meeting. The**
176 **motion passed 5-0 at 8:46 P.M.**
177

178 Respectfully Submitted,
179 Amy Coonradt



MEMORANDUM

To: Regina Mahony, City Manager; City Council
From: Jess Morris, Finance Director
Date: March 13, 2024
Subject: Revised Finance Policies

Issue

To revise the Fund Balance, Miscellaneous Account Receivable, and Fixed Asset policies.

Discussion

One of the major post-separation projects is to review and revise all Finance policies now that the City finance team is working independently from the Town's.

It is my plan to review and propose policy revisions to the Council as we complete tasks that are directly related to each policy throughout the remainder of this fiscal year and into the beginning of the next fiscal year. In this round of revisions for review by Council we have the following:

Fund Balance Policy

The unrestricted fund balance was approved by voters in April 2022, but the formal policy document was not updated after that vote. This revision includes the updated language increasing the unrestricted fund balance up to 15% as approved by voters, as well as general updates for Village to City, etc.

Miscellaneous Accounts Receivable

This policy has been updated to allow for abatement of amounts due to administrative error by the Finance Director, previously the Manager, as there is now segregation of duties within the finance department that does not require the City Manager to oversee this task. This policy also includes general updates for Village to City, etc.

Fixed Asset Policy

This policy has been updated to reflect the change in terminology from Capital to Fixed Asset. Not all fixed assets are considered capital and budgeted in capital plans, so this provides clearer distinction and definition between the two categories. The Administrative Procedures section has been updated to match the purchasing policy thresholds and match current processes for accounting for these assets. An updated Fixed Asset Form has been created to include the necessary details to manage assets within the fixed asset software. Lastly, this policy also includes general updates for Village to City, etc.

Cost

None

Recommendation

It is recommended that the Council approve the Fund Balance, Miscellaneous Accounts Receivable, and Fixed Asset policies as revised.

"I move the Council approve the Fund Balance, Miscellaneous Accounts Receivable, and Fixed Asset policies as revised."

Village-City of Essex Junction

Fund Balance Policy

The Village-City of Essex Junction wishes to establish a Fund Balance Policy for its governmental funds in accordance with Governmental Accounting Standards Board (GASB) Statement No. 54 – “Fund Balance Reporting and Government Fund Type Definitions. “ Fund balances are reported in classifications that comprise a hierarchy based primarily on the extent to which the government is bound to honor constraints on the specific purposes for which amounts in those funds can be spent. As a result amounts previously reported as reserved and unreserved will now be reported as nonspendable, restricted, committed, assigned or unassigned. Definitions of the categories of fund balance are as follows:

- **Nonspendable** fund balance includes amounts that cannot be spent. This includes amounts that are not in a spendable form (inventories, prepaid amounts, long-term portions of loans or notes receivable) and amounts that are legally or contractually required to remain intact, such as the principal of an endowment fund.
- **Restricted** fund balance includes amounts that can be spent only for specific purposes stipulated by external resource providers (for example grant providers), or imposed by law through a constitutional provision, or through enabling legislation (that is, legislation that creates a new revenue source and restricts its use such as impact fees).
- **Committed** fund balance can be used only for purposes pursuant to constraints imposed by a formal action by the voters, the Village-City of Essex Junction’s highest level of decision-making authority. This formal action is the approval of articles at the annual or a special Village-City meeting, specifying the purposes (which can be general or specific) for which amounts can be used. The same type of formal action is necessary to remove or change the use. Examples of this are the balances in our Rolling Stock Reserve and our General Fund Capital Reserve. In these two funds the fund balances are committed to the general purpose of the fund but not to individual projects. The dollars in these funds are controlled by the Trustees City Council (i.e., the amounts are assigned and/or reassigned to specific projects/equipment by a vote of the Board of Trustees City Council)
- **Assigned** fund balance comprises amounts intended to be used by the government for specific purposes. Intent will be expressed by a vote of the Board of Trustees City Council. For governmental fund types other than the General Fund, this is the residual amount within the fund that is not restricted or committed.
- **Unassigned** fund balance is the residual amount of the General Fund not included in the four categories above. In addition, any deficit fund balances in other governmental funds will be reported as unassigned.

When both restricted and unrestricted (committed, assigned and unassigned) amounts are available for a specific use, generally it is the Village's-City's policy to use restricted amounts first, with unrestricted resources utilized as needed. In the case of unrestricted resources, it is generally the Village's-City's policy to use committed amounts first, followed by assigned amounts, then unassigned amounts as needed.

~~At the April 6, 2011 Village Meeting, the voters authorized “the Village to maintain and administer a fund balance of up to 10% of the current year General fund Operating budget (as reported in the audit for the prior fiscal year) to be expended for current operating expenses and require amounts over 10% to be used to reduce subsequent tax rates. In accordance with the above changes in how fund balance is defined, the Trustees interpret the term “fund balance” in the April 6, 2011 vote to mean “unassigned” fund balance.-\~~

At the April 12, 2022 Annual Meeting, the voters authorized “the Village to maintain and administer an unrestricted fund balance of up to 15% of the current year General Fund Operating budget, and require any amount over 15%

be used to stabilize subsequent tax rates". In accordance with the above changes in how fund balance is defined, the Trustees interpret the term "fund balance" in the April 12, 2022 vote to mean unassigned fund balance.

Adopted by the Village Trustees on 9/27/11. Revised and adopted by the City Council on 3/27/24.

~~VILLAGE-CITY~~ OF ESSEX JUNCTION
~~TRUSTEES'-CITY COUNCIL~~ POLICY REGARDING
MISCELLANEOUS ACCOUNTS RECEIVABLE

Purpose: To establish the process for charging interest on miscellaneous accounts receivables (not taxes or utilities) and the process for abatement.

Section 1. Due date. Accounts receivable shall be considered delinquent if not paid in full thirty (30) days after the invoice date, unless otherwise stipulated by written agreement.

Section 2. Interest. 1% shall be charged on the first of the month after the due date and every month thereafter.

Section 3. Abatement. The ~~Manager~~Finance Director or City Manager may abate due to administrative error. For any other reason, the ~~Village Trustees~~City Council shall be the responsible board for abating miscellaneous accounts receivables.

Adopted by the Village Trustees on ~~1-22-02~~1/22/02. Revised and adopted by the City Council on 3/27/24.

VILLAGE-CITY OF ESSEX JUNCTION
TRUSTEES-CITY COUNCIL CAPITAL-FIXED ASSET POLICY

I **Purpose:** To ensure that the accounting for the capital assets of the Village-City of Essex Junction is in accordance with GAAP (Generally Accepted Accounting Principles).

II **Capital-Fixed Asset Definition:**

All items purchased by the Village-City of Essex Junction of a durable nature (life expectancy of over one year) that have a cost of \$5,000 or more individually or as a group (single purchase of long-life items that total over \$5,000) will be considered Capital-Fixed Assets for accounting purposes.

All items given to the Village-City of Essex Junction of a durable nature (life expectancy of over one year) that have a fair market value of \$5,000 or more individually [or as a group] (single purchase of long-life items that total over \$5,000) will be considered Capital-Fixed Assets for accounting purposes.

All land purchased or given to the Village-City of Essex Junction will be considered a Capital-Fixed Asset for accounting purposes.

III **Valuation of Capital-Fixed Assets:**

Capital-Fixed Assets will be valued at cost. The cost of an item includes any costs necessary to acquire the item (i.e., shipping costs, installation cost, invitation to bid costs, lawyers' fees, etc.). If the cost of the item is not available, fair market value should be used to value the asset.

IV **Guidelines Specific to Fund Types:**

a. **a.—Governmental Funds:** Capital-Fixed Assets belonging to the Governmental Funds are reported at cost in the Village's-City's Governmental-wide Financial Statements. General Fund Capital-Fixed Assets are not included in the Fund Financial Statements.

b. **Enterprise Funds:** Capital-Fixed Assets belonging to an Enterprise Fund (i.e., Water, Wastewater Treatment Facility, or Sanitation Fund) are reported as depreciable assets and are recorded on the Balance Sheet of the appropriate fund. Straight-line depreciation costs are charged yearly as an expense in the fund over the estimated life of the asset.

V. **Administrative Procedures:**

a. **Capital-Fixed Asset Additions:** When a Department Head purchases a Capital Fixed Asset, ~~he/she/they~~ will ~~tag the item (if possible) with a numerical tag, make a copy of the invoice and fill out complete~~ a Capital-Fixed Asset Form. ~~If the item cannot be tagged (e.g., a new sewer line), the Department Head will attach the numerical tag to the Capital Asset Form. The Department Head should assign an asset an estimated life period and salvage value.~~ The completed form should then be submitted to the Finance Director for input into the accounting system.

b. **Capital-Fixed Asset Deletions:** In accordance with the ~~Trustees~~—Purchasing Policy, the Municipal-City Manager is authorized to approve the sale or transfer of Village-City property estimated to be ~~from \$100 to \$20,000~~ up to \$40,000 in value. The ~~Village-Trustees~~City Council shall approve the sale or transfer of property estimated to be worth more than ~~\$2040,000~~. When a Capital-Fixed Asset is disposed of (either by sale, transferred, destroyed or discarded), the Department Head should ~~remove the tag and~~ report the disposal to ~~the Accountant as soon as possible~~ the Finance Director using the Fixed Asset Form. ~~A written memorandum to the Finance Director shall specify:~~

b.

—

- ~~i. The tag number.~~
- ~~ii. The method of disposal.~~
- ~~iii. The date of disposal.~~
- ~~iv. The amount received for the asset, if applicable.~~
- ~~v. The department the asset belonged to.~~

—

A. **Interdepartmental Capital-Fixed Asset Transfers:** Transfers of Village-City property from one department to another of estimated value of ~~\$100~~ up to \$2040,000 must be approved by the Municipal-City Manager. Transfers of Village-City property from one department to another of estimated value greater than ~~\$2040,000~~ must be approved by the ~~Village-Trustees~~City Council. All transfers of fixed assets from one department or fund to another should be reported to the Finance Director using the Fixed Asset Form. ~~A written memorandum shall specify:~~

—

~~a. The tag number.~~

c.

~~The original department of the asset.~~

~~a. The new department of the asset.~~

~~b. The date of the transfer.~~

—

d. **Verification:** The Finance Director will provide a fixed asset listing to department heads each year, prior to the end of the fiscal year, for each department to verify

their fixed asset inventory. The Finance Director will also perform a periodic inspection for verification purposes.

d.

Adopted by the Village Trustees on 9/8/98. Revised on 8/11/15. Revised and adopted by the City Council on 3/27/24.

City of Essex Junction
Fixed Asset Form

Department: _____
Department Head: _____
Transaction Type: _____

For Additions

Description of Asset: _____
Physical Location of Asset: _____
Vendor Name: _____
Invoice Number: _____
Make/Manufacturer: _____
Model: _____
Serial Number or VIN: _____
Acquisition Date: _____
Estimated Life (in years): _____
Estimated Salvage Value: _____
Acquisition Method:
 Lease End Date (if applicable): _____
 If Other, please describe: _____

For Disposals

Asset ID: _____
Description of Asset: _____
Disposal Method: _____
Disposal Date: _____

For Transfers

Asset ID: _____
From Department: _____
To Department: _____
New Physical Location of Asset: _____

Finance Use Only
Asset ID:
Insurance Updated:
Initials and Date:

DEPARTMENTAL MEMORANDUM



Date: 3/14/2024

To: Essex Junction City Council

CC: Regina Mahony

From: Ron Hoague, Chief of Police

Re: Consider adoption of Local Emergency Management Plan

Issue:

The issue is whether the City Council will authorize the Council President to sign the Local Emergency Management Plan Municipal Adoption Form.

Discussion:

Each year the City Council is asked to approve the Local Emergency Management Plan. The plan is included in the City Council's confidential portion of the packet. It identifies Chief of Police Ron Hoague as the Emergency Management Director, Fire Chief Chris Gaboriault and City Manager Regina Mahony as additional points of contact. It also identifies the locations of the Emergency Operation Centers and the emergency shelters which are located at the Champlain Valley Exposition, the Essex High School and Essex Alliance Church. The agenda has the Local Emergency Management Plan as a consent item. If the City Council wishes to discuss the Local Emergency Management Plan, staff recommends that the City Council move the item to business and consider holding the discussion in executive session. Security or emergency response measures, the disclosure of which could jeopardize public safety, can be a protected discussion. If any of the council members wish to move this item off the consent agenda, staff asks that you notify us prior to the meeting so that the Chief of Police has enough prior notice to attend the meeting.

Cost:

n/a

Recommendation:

Staff recommends that the City Council authorize the Council President to sign the Local Emergency Management Plan Municipal Adoption Form.

If the City Council wishes to discuss the Local Emergency Management Plan in executive session, staff recommends the following motion: "I move that the City Council enter into executive session to discuss security or emergency response measures, the disclosure of which could jeopardize public safety, pursuant to 1 V.S.A. §313(a)(1)(A) and 1 V.S.A. §313(a)(10), to include the City Manager, and Chief of Police."

Attachments:

1. 2024 LEMP City

**APPLICATION TO HANG STREET BANNERS, GAS LAMP BANNERS OR EVENT
FLAGS IN THE VILLAGE OF ESSEX JUNCTION**

Please Print

Applicant's Name: Warren Ellison

Organization: Burlington Gem and Mineral Club inc.

Tax Exempt #: _____ Non-Profit: Yes No

Address: 325 Browns Truce Rd Jericho, VT 05465


Phone: 802 899 3441 Email: webinfo@warrenellison.com

Application for: Street Banner Gas Lamp Banners _____ Event Flags _____

Message and dimensions: Champlain Valley Gem, Mineral and Fossil Show
July 20th and 21st At the CVE 20 ft x 42"

Locations you would like the event flags displayed: across Rt 2A

I certify that the above-described banner(s) or event flags have been constructed in accordance with the specifications noted.

Signed:  Date: 3/15/24

Please return completed application to the Manager, Village of Essex Junction,
2 Lincoln Street, Essex Junction, VT 05452.

OFFICE USE ONLY

Insurance Certificate received: Yes No
Liability Waiver received: Yes No Waiver signed: Yes No
\$250 fee received: Yes No
Application complete: Yes No

Trustees= approval (date): _____

LIABILITY WAIVER

The Village of Essex Junction has agreed to hang a banner(s) or event flags for (print organization name) The Burlington Gem and Mineral Club Inc., hereinafter known as "Owner."

To the extent permitted by law, the "Owner" agrees to indemnify and hold harmless the Village of Essex Junction and its subsidiaries, its agents, employees or any other persons against loss or expense including attorney's fees, by reason of the liability imposed by law upon the Village except in cases of the Village's sole negligence, for damage because of bodily injury including death at any time resulting therefrom, sustained by any person or persons, or on account of damaged property arising out of the hung banner or in consequence of the performance of hanging the banner, whether such injuries to persons or damage to property are due, or claim to be due, to any passive negligence of the Village employees or agents or any other person.

This indemnification and hold harmless agreement shall be insured by liability insurance naming the Village as an additional insured in the "Owner's" policy, and a certificate of insurance must be provided prior to hanging the banner(s) or event flags.

Event: Champlain Valley Gem, Mineral and Fossil Show

The banner(s)/event flags will be hung from 6/22/24 to 7/6/24
date date

(I was told 7/7-7/20 (our first choice of dates) was reserved. If that's not the case, we'd prefer those dates)

OWNER'S ACKNOWLEDGMENT:

By: Warren Ellison, treasurer Date: 3/15/24

VILLAGE OF ESSEX JUNCTION ACKNOWLEDGMENT:

By: Jeanne Pfaff Date: 3/18/2024

12:23 pm

Check Warrant Report # 24039 Current Prior Next FY Invoices For Fund (GENERAL FUND)

CDelibac

For Check Acct 01 (GENERAL FUND) All check #s 03/15/24 To 03/22/24

Vendor	Invoice Date	Invoice Description Invoice Number	Account	Amount Paid	Check Number	Check Date
06490	02/02/24	Dumpster Fence Repair 020224D	210-5-30-12-330.000 Professional Services	664.62	51977	03/22/24
28555	03/08/24	DEF2.5, FLEETRITE DEF, 2.5 X12202817201	210-5-40-12-626.000 Gasoline	89.94	51979	03/22/24
19815	02/18/24	Brownell CREDIT 13YYWPQYV3QY	210-5-41-21-431.000 R&M Buildings & Grounds	-55.77	51980	03/22/24
19815	03/01/24	BL CProg MAR24 1C1FVYVLHGJG	210-5-35-10-840.202 Childrens Programs	11.99	51980	03/22/24
19815	03/17/24	Senior Ctr Supplies 1CWKLC46R6FK	210-5-30-13-610.000 General Supplies	11.52	51980	03/22/24
19815	03/08/24	BL JColl MAR24 1DVCN7D7CFWX	210-5-35-10-640.202 Juvenile Collection	213.05	51980	03/22/24
19815	03/07/24	Senior Ctr Supplies 1DVNH6JDKGLP	210-5-30-13-610.000 General Supplies	48.61	51980	03/22/24
19815	03/06/24	BL AColl-Sup MAR24 1MRWJJYMCJFJ	210-5-35-10-610.000 General Supplies	214.95	51980	03/22/24
19815	03/06/24	BL AColl-Sup MAR24 1MRWJJYMCJFJ	210-5-35-10-640.201 Adult Collection	93.52	51980	03/22/24
19815	03/11/24	BL AColl MAR24 1R3CGY17RXND	210-5-35-10-640.201 Adult Collection	27.99	51980	03/22/24
19815	03/20/24	BL SUPPLY MAR24 1V3GC14P7RHJ	210-5-35-10-610.000 General Supplies	48.44	51980	03/22/24
80061	03/01/24	BL CProg MAR24 004	210-5-35-10-840.202 Childrens Programs	100.00	51983	03/22/24
80088	02/26/24	BL VolApprec APR24 C165129	210-5-35-10-845.000 Employee/Volunteer Recogn	216.00	51984	03/22/24
00530	02/27/24	BL AColl-Supply FEB24 B6751983	210-5-35-10-640.201 Adult Collection	20.69	51988	03/22/24
00530	02/27/24	BL AColl-Supply FEB24 B6751983	210-5-35-10-610.000 General Supplies	1.01	51988	03/22/24
00530	02/27/24	BL AColl-Supply FEB24 B6751989	210-5-35-10-640.201 Adult Collection	61.55	51988	03/22/24
00530	02/27/24	BL AColl-Supply FEB24 B6751989	210-5-35-10-610.000 General Supplies	4.04	51988	03/22/24
00530	03/04/24	BL LibDon-Supply MAR24 B6755468	210-5-35-10-610.000 General Supplies	5.05	51988	03/22/24
00530	03/04/24	BL LibDon-Supply MAR24 B6755468	210-5-90-00-991.000 Library Donation Expense	73.37	51988	03/22/24
00530	03/05/24	BL AColl-Supply MAR24 B6756263	210-5-35-10-610.000 General Supplies	19.19	51988	03/22/24
00530	03/05/24	BL AColl-Supply MAR24 B6756263	210-5-35-10-640.201 Adult Collection	325.89	51988	03/22/24
00530	03/05/24	BL JColl-Supply MAR24 B6756275	210-5-35-10-640.202 Juvenile Collection	226.84	51988	03/22/24
00530	03/05/24	BL JColl-Supply MAR24 B6756275	210-5-35-10-610.000 General Supplies	18.18	51988	03/22/24
00530	03/05/24	BL JColl-Supply MAR24 B6756280	210-5-35-10-610.000 General Supplies	2.02	51988	03/22/24
00530	03/05/24	BL JColl-Supply MAR24 B6756280	210-5-35-10-640.202 Juvenile Collection	23.20	51988	03/22/24

Vendor	Invoice Date	Invoice Description Invoice Number	Account	Amount Paid	Check Number	Check Date
00530	03/06/24	BL AColl-Supply MAR24 B6757414	210-5-35-10-640.201 Adult Collection	300.71	51988	03/22/24
00530	03/06/24	BL AColl-Supply MAR24 B6757414	210-5-35-10-610.000 General Supplies	20.20	51988	03/22/24
16030	02/22/24	7738 Aerial Lift Truck Bu 38548	210-5-40-12-610.200 Streetlight Supplies	1608.47	51989	03/22/24
V04609	12/01/23	BL AColl DEC23 2058475	210-5-35-10-640.201 Adult Collection	98.28	51992	03/22/24
V04609	01/01/24	BL AColl JAN24 2064778	210-5-35-10-640.201 Adult Collection	98.28	51992	03/22/24
V04609	03/01/24	BL AColl MAR24 2077162	210-5-35-10-640.201 Adult Collection	98.28	51992	03/22/24
V0461	03/04/24	BL AColl FEB24 119	210-5-35-10-640.201 Adult Collection	298.00	51993	03/22/24
V10617	03/07/24	FLANGE C90139	210-5-40-12-430.000 R&M Vehicles & Equipment	156.92	51994	03/22/24
21210	03/01/24	WATERBREAK COOLER LEASE 9261995836	210-5-40-12-610.000 General Supplies	50.00	51997	03/22/24
17895	03/01/24	City Cleaning February 15185	210-5-41-21-420.000 Cleaning Services	2268.35	51998	03/22/24
17895	03/01/24	City Cleaning February 15185	210-5-41-20-420.000 Cleaning Services	1512.24	51998	03/22/24
17895	03/01/24	EJRP Cleaning February 15187	210-5-41-23-420.000 Cleaning Services	2405.02	51998	03/22/24
17895	03/01/24	EJRP Cleaning February 15187	210-5-41-26-420.000 Cleaning Services	2405.03	51998	03/22/24
30100	03/15/24	COBRA adminstrator March 308251	210-5-10-10-210.000 Group Insurance	36.00	51999	03/22/24
04940	02/23/24	MSP Internet March 01763150224	210-5-41-26-530.000 Communications	483.88	52000	03/22/24
04940	02/27/24	Internet 0179210 0224	210-5-25-10-530.000 Communications	180.90	52001	03/22/24
04940	03/03/24	Cable TV 3/10-4/9/24 0207722 0324	210-5-25-10-530.000 Communications	21.43	52002	03/22/24
04940	02/23/24	Park St Internet March 02109080224	210-5-41-23-530.000 Communications	307.60	52003	03/22/24
17025	03/12/24	Planning Comm mtg March 7 0166	210-5-11-10-330.000 Professtional Services	125.62	52005	03/22/24
31545	03/13/24	Office Chair 03132024	210-5-25-10-610.000 General Supplies	156.27	52006	03/22/24
33075	03/16/24	BL TECH:Computers MAR24 10737407365	210-5-35-10-735.000 Tech: Equip/Hardware	6427.98	52008	03/22/24
25715	03/05/24	36 Cascade Eng. serv. 01/ 23807030524	210-5-40-13-330.000 Professional Services	1191.01	52010	03/22/24
25715	01/19/24	Comm Dev PW December 2023 238102024011	210-5-40-12-330.000 Professional Services	867.53	52010	03/22/24
25715	01/19/24	Comm Dev PW December 2023 238102024011	210-5-16-10-330.000 Professional Services	308.00	52010	03/22/24
25715	01/19/24	Engineering December 2023 23810R240119	210-1-00-00-130.002 Exchange - Billable	88.00	52010	03/22/24

Vendor	Invoice Date	Invoice Description	Invoice Number	Account	Amount Paid	Check Number	Check Date
25715	03/05/24	DONALD L. HAMLIN CONSULT	SW Engineering Assist var	210-5-13-10-330.000	520.01	52010	03/22/24
			23817030524	Professional Services			
25715	03/05/24	DONALD L. HAMLIN CONSULT	City of Essex Junction re	210-5-40-12-451.000	2647.95	52010	03/22/24
			24804030524	Summer Construction Servi			
25715	03/05/24	DONALD L. HAMLIN CONSULT	Comm Dev PW engineering	210-5-16-10-330.000	786.25	52010	03/22/24
			24810030524	Professional Services			
25715	03/05/24	DONALD L. HAMLIN CONSULT	Comm Dev PW engineering	210-5-40-12-330.000	262.68	52010	03/22/24
			24810030524	Professional Services			
25290	02/05/24	EBSCO SUBSCRIPTION SERVIC	BL AColl FEB24	210-5-35-10-640.201	1043.00	52011	03/22/24
			10002251361	Adult Collection			
25290	12/13/23	EBSCO SUBSCRIPTION SERVIC	BL AColl DEC2023	210-5-35-10-640.201	-146.95	52011	03/22/24
			2401369	Adult Collection			
25290	03/13/24	EBSCO SUBSCRIPTION SERVIC	BL AColl-CREDIT MAR24	210-5-35-10-640.201	-29.58	52011	03/22/24
			2402519	Adult Collection			
25290	12/08/23	EBSCO SUBSCRIPTION SERVIC	BL AColl DEC23	210-5-35-10-640.201	97.16	52011	03/22/24
			8018096	Adult Collection			
31875	03/05/20	ESSEX TOWN WATER DEPT	75 Maple Water/Sewer	210-5-41-26-410.000	49.79	52014	03/22/24
			322743301	Water and Sewer Charges			
80021	02/21/24	FIRST NATIONAL BANK OF OM	Strategic Plan Steering C	210-5-11-10-610.000	54.32	52016	03/22/24
			00133623 F	General Supplies			
80021	02/12/24	FIRST NATIONAL BANK OF OM	Flight to APA Conference	210-5-16-10-580.000	586.59	52016	03/22/24
			02122024 A	Travel			
80021	02/21/24	FIRST NATIONAL BANK OF OM	Staff Event Supplies Marc	210-5-10-10-845.000	312.95	52016	03/22/24
			12218071 E	Employee/Volunteer Recogn			
80021	02/15/24	FIRST NATIONAL BANK OF OM	Staff Event Supplies Marc	210-5-10-10-845.000	188.99	52016	03/22/24
			12218072 D	Employee/Volunteer Recogn			
80021	03/01/24	FIRST NATIONAL BANK OF OM	HRIS MARCH 2024	210-5-10-10-340.000	657.80	52016	03/22/24
			136007 G	Technical Services			
80021	03/07/24	FIRST NATIONAL BANK OF OM	Staff Celebration March 2	210-5-10-10-845.000	1254.50	52016	03/22/24
			268571 H	Employee/Volunteer Recogn			
80021	02/13/24	FIRST NATIONAL BANK OF OM	Membership AICP APA 2024	210-5-16-10-500.000	193.00	52016	03/22/24
			3436690 C	Training, Conf, Dues			
80021	02/13/24	FIRST NATIONAL BANK OF OM	C Yuen hotel APA Conferen	210-5-16-10-580.000	465.00	52016	03/22/24
			4208562 B	Travel			
244635	02/27/24	FIRST NATIONAL BANK OMAHA	CC Munic. Mgrs Lunch 2024	210-5-10-10-500.000	20.72	52017	03/22/24
			63	Training, Conf, Dues			
21845	03/19/24	FIRST NATIONAL BANK OMAHA	BL CPrg-Sup-Tch-AR MAR24	210-5-35-10-610.000	37.99	52018	03/22/24
			0017 0324	General Supplies			
21845	03/19/24	FIRST NATIONAL BANK OMAHA	BL CPrg-Sup-Tch-AR MAR24	210-5-35-10-640.201	6.85	52018	03/22/24
			0017 0324	Adult Collection			
21845	03/19/24	FIRST NATIONAL BANK OMAHA	BL CPrg-Sup-Tch-AR MAR24	210-5-90-00-640.201	20.50	52018	03/22/24
			0017 0324	Adult Collection replacem			
21845	03/19/24	FIRST NATIONAL BANK OMAHA	BL CPrg-Sup-Tch-AR MAR24	210-5-35-10-505.000	275.86	52018	03/22/24
			0017 0324	Tech. Subs, Licenses			
21845	03/19/24	FIRST NATIONAL BANK OMAHA	BL CPrg-Sup-Tch-AR MAR24	210-5-35-10-840.202	97.35	52018	03/22/24
			0017 0324	Childrens Programs			
19005	03/01/24	FIRSTLIGHT FIBER	Telephone	210-5-41-22-530.000	343.72	52019	03/22/24
			16629704	Communications			
80025	03/18/24	FURIN MOLLY	1029100000 Tax Refund 202	210-2-00-00-200.002	3600.65	52020	03/22/24
			100000 REF24	Overpayments Payable			

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80025	03/20/24	GABRIELLE EDWARD /COLLEEN	1041037000 Tax Ref 2023	210-2-00-00-200.002	1667.55	52021	03/22/24
			037000 REF23	Overpayments Payable			
34895	03/07/24	GAUTHIER TRUCKING, INC.	2 Lincoln Dumpster	210-5-41-20-425.000	564.60	52022	03/22/24
			1780675	Trash Removal			
80042	03/18/24	GOV OS INC	March Land Records	210-5-12-10-505.000	350.00	52027	03/22/24
			1NV5378	Tech. Subs Licenses			
07160	12/17/23	GREEN MOUNTAIN LIBRARY CO	BL TechSb-Dues CY2024	210-1-00-00-120.000	1553.11	52028	03/22/24
			G243789	Prepaid Expenses			
07160	12/17/23	GREEN MOUNTAIN LIBRARY CO	BL TechSb-Dues CY2024	210-5-35-10-500.000	100.00	52028	03/22/24
			G243789	Training, Conf, Dues			
07160	12/17/23	GREEN MOUNTAIN LIBRARY CO	BL TechSb-Dues CY2024	210-5-35-10-505.000	1553.11	52028	03/22/24
			G243789	Tech. Subs, Licenses			
07010	03/11/24	GREEN MOUNTAIN POWER CORP	MSP Power March	210-5-41-26-622.000	490.29	52029	03/22/24
			0324 75MAPLA	Electricity			
07010	03/11/24	GREEN MOUNTAIN POWER CORP	MSP Power March	210-5-41-26-622.000	99.94	52030	03/22/24
			0324 75MAPLE	Electricity			
80025	03/18/24	HAGGERTY ROBERT & SHERRY	1030148003 Tax Refund 202	210-2-00-00-200.002	4409.31	52031	03/22/24
			148003 REF24	Overpayments Payable			
11710	03/07/24	INVEST EAP DAIL BUS OFFIC	All Staff Training	210-5-10-10-500.000	550.00	52033	03/22/24
			Essex030724	Training, Conf, Dues			
15145	03/20/24	JOBTARGET LLC	job ad- comm dev	210-5-10-10-540.000	834.00	52034	03/22/24
			29448543	Advertising			
80087	03/11/24	KONICA MINOLTA PREMIER FI	Copier Lease March 2024	210-5-35-10-442.000	328.00	52035	03/22/24
			524492683	Rental Vehicles/Equip			
80087	03/11/24	KONICA MINOLTA PREMIER FI	Copier Lease March 2024	210-5-30-10-442.000	149.40	52035	03/22/24
			524492683	Rental Vehicles/Equip			
80087	03/11/24	KONICA MINOLTA PREMIER FI	Copier Lease March 2024	210-5-10-10-442.000	165.54	52035	03/22/24
			524492683	Rental Vehicles/Equip			
80087	03/11/24	KONICA MINOLTA PREMIER FI	Copier Lease March 2024	210-5-40-12-442.000	70.40	52035	03/22/24
			524492683	Rental Vehicles/Equip			
80087	03/06/24	KONICA MINOLTA PREMIER FI	Copier Lease Feb 2024	210-5-35-10-442.000	249.87	52036	03/22/24
			916.12	Rental Vehicles/Equip			
80087	03/06/24	KONICA MINOLTA PREMIER FI	Copier Lease Feb 2024	210-5-40-12-442.000	62.58	52036	03/22/24
			916.12	Rental Vehicles/Equip			
80087	03/06/24	KONICA MINOLTA PREMIER FI	Copier Lease Feb 2024	210-5-30-10-442.000	115.20	52036	03/22/24
			916.12	Rental Vehicles/Equip			
80087	03/06/24	KONICA MINOLTA PREMIER FI	Copier Lease Feb 2024	210-5-10-10-442.000	126.00	52036	03/22/24
			916.12	Rental Vehicles/Equip			
25625	03/02/24	LOWE'S - 1080	EJRP Lowes March	210-5-41-20-431.000	37.67	52038	03/22/24
			41910800324	R&M Buildings & Grounds			
25625	03/02/24	LOWE'S - 1080	EJRP Lowes March	210-5-30-12-610.000	54.76	52038	03/22/24
			41910800324	General Supplies			
27840	03/18/24	MADISON NATIONAL LIFE INS	Life Ins Apr 2024	210-5-40-13-210.000	12.08	52039	03/22/24
			1613931	Group Insurance			
27840	03/18/24	MADISON NATIONAL LIFE INS	Life Ins Apr 2024	210-5-35-10-210.000	256.20	52039	03/22/24
			1613931	Group Insurance			
27840	03/18/24	MADISON NATIONAL LIFE INS	Life Ins Apr 2024	210-5-13-10-210.000	109.80	52039	03/22/24
			1613931	Group Insurance			
27840	03/18/24	MADISON NATIONAL LIFE INS	Life Ins Apr 2024	210-5-40-12-210.000	86.82	52039	03/22/24
			1613931	Group Insurance			

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27840	03/18/24	Life Ins Apr 2024	1613931	210-5-16-10-210.000 Group Insurance	103.85	52039	03/22/24
27840	03/18/24	Life Ins Apr 2024	1613931	210-5-10-10-210.000 Group Insurance	204.47	52039	03/22/24
27840	03/18/24	Life Ins Apr 2024	1613931	210-5-30-10-210.000 Group Insurance	183.00	52039	03/22/24
27840	03/18/24	Life Ins Apr 2024	1613931	210-5-30-12-210.000 Group Insurance	73.20	52039	03/22/24
V9970	03/04/24	BL AColl-AREpl MAR24	505142257	210-5-35-10-640.201 Adult Collection	64.97	52040	03/22/24
V9970	03/04/24	BL AColl-AREpl MAR24	505142257	210-5-90-00-640.201 Adult Collection replacem	9.99	52040	03/22/24
V9970	03/12/24	BL AREpl MAR24	505176620	210-5-90-00-640.201 Adult Collection replacem	29.99	52040	03/22/24
V10462	02/29/24	legal Feb 2024		210-5-16-10-320.000 Legal Services	502.50	52041	03/22/24
V10462	02/29/24	legal Feb 2024		210-5-10-10-320.000 Legal Services	2833.50	52041	03/22/24
25235	03/07/24	BL SprinklerInsp MAR24	00785	210-5-41-21-400.000 Contracted Services	320.00	52043	03/22/24
24960	03/15/24	Dental Apr 2024	031524 6197	210-5-16-10-210.000 Group Insurance	140.51	52044	03/22/24
24960	03/15/24	Dental Apr 2024	031524 6197	210-5-40-12-210.000 Group Insurance	310.66	52044	03/22/24
24960	03/15/24	Dental Apr 2024	031524 6197	210-5-40-13-210.000 Group Insurance	22.62	52044	03/22/24
24960	03/15/24	Dental Apr 2024	031524 6197	210-5-13-10-210.000 Group Insurance	233.97	52044	03/22/24
24960	03/15/24	Dental Apr 2024	031524 6197	210-5-35-10-210.000 Group Insurance	443.03	52044	03/22/24
24960	03/15/24	Dental Apr 2024	031524 6197	210-5-10-10-210.000 Group Insurance	431.96	52044	03/22/24
24960	03/15/24	Dental Apr 2024	031524 6197	210-5-30-10-210.000 Group Insurance	647.20	52044	03/22/24
24960	03/15/24	Dental Apr 2024	031524 6197	210-5-30-12-210.000 Group Insurance	104.53	52044	03/22/24
V10729	02/29/24	BL AColl FEB24	01459SV24066	210-5-35-10-640.201 Adult Collection	17.94	52045	03/22/24
24325	02/21/24	MOBILE MIC, 8 PIN PLUG	24145975	210-5-40-12-530.000 Communications	80.00	52051	03/22/24
18010	03/08/24	Survivor X, Alkaline flas	3437318	210-5-40-12-610.000 General Supplies	88.21	52055	03/22/24
22025	02/15/24	CPR Training	1006	210-5-25-10-500.000 Training, Conf, Dues	240.00	52057	03/22/24
17505	03/12/24	Sand Hill Solar 2/8 to 3	263SH	210-5-41-22-622.000 Electricity	250.19	52058	03/22/24
17505	03/12/24	Sand Hill Solar 2/8 to 3	263SH	210-5-41-23-622.000 Electricity	164.43	52058	03/22/24
17505	03/12/24	Sand Hill Solar 2/8 to 3	263SH	210-5-41-21-622.000 Electricity	527.83	52058	03/22/24

Vendor	Invoice Date	Invoice Description	Invoice Number	Account	Amount Paid	Check Number	Check Date
17505	03/12/24	SAND HILL SOLAR LLC KSI I	Sand Hill Solar 2/8 to 3 263SH	210-5-41-20-622.000 Electricity	250.19	52058	03/22/24
17505	03/12/24	SAND HILL SOLAR LLC KSI I	Sand Hill Solar 2/8 to 3 263SH	210-5-41-26-622.000 Electricity	1287.81	52058	03/22/24
17505	03/12/24	SAND HILL SOLAR LLC KSI I	Sand Hill Solar 2/8 to 3 263SH	210-5-40-12-622.000 Electricity	105.97	52058	03/22/24
17505	03/12/24	SAND HILL SOLAR LLC KSI I	Sand Hill Solar 2/8 to 3 263SH	210-5-40-12-622.000 Electricity	77.84	52058	03/22/24
00275	03/09/24	SB SIGNS INC	Lawn signs 30427 Coro	210-5-12-10-610.000 General Supplies	75.00	52059	03/22/24
42565	03/13/24	SEVEN DAYS	Paving Bid Ad March 2024 236779	210-5-40-12-605.000 Summer Construction Suppl	266.24	52061	03/22/24
23855	03/05/24	SOUTHWORTH-MILTON, INC.	Spring 3177471	210-5-40-12-430.000 R&M Vehicles & Equipment	6.77	52064	03/22/24
05590	03/08/24	STONE ENVIRONMENTAL INC	Indian Brook Flow Monitor 16366	210-5-40-13-510.000 Permit, License, Registra	1099.98	52066	03/22/24
11935	03/06/24	VIKING-CIVES USA	TRK. # 5 BLADE SABRE HD 4532456	210-5-40-12-610.000 General Supplies	1526.70	52070	03/22/24
11935	03/06/24	VIKING-CIVES USA	SWENSON BEARING 4532458	210-5-40-12-430.000 R&M Vehicles & Equipment	69.10	52070	03/22/24
11935	03/06/24	VIKING-CIVES USA	TRK. # 6 PLOW MARKER 4532468	210-5-40-12-430.000 R&M Vehicles & Equipment	116.32	52070	03/22/24
11935	03/06/24	VIKING-CIVES USA	QUICK DISC ST GATES 1/2 M 4532473	210-5-40-12-430.000 R&M Vehicles & Equipment	288.30	52070	03/22/24
11935	03/06/24	VIKING-CIVES USA	TRK. #34 WIRE ROPE ASBY 1 4532482	210-5-40-12-430.000 R&M Vehicles & Equipment	246.28	52070	03/22/24
11935	03/06/24	VIKING-CIVES USA	TRK> # 5 MEDIUM DUTY C 4532496	210-5-40-12-610.000 General Supplies	214.63	52070	03/22/24
11935	03/06/24	VIKING-CIVES USA	Trk # 7 BUYER REAR OBS CA 4532514	210-5-40-12-430.000 R&M Vehicles & Equipment	132.18	52070	03/22/24
11935	03/06/24	VIKING-CIVES USA	JOHNSTON BRUSH 2 PC-710mm 4532519	210-5-40-12-610.000 General Supplies	722.00	52070	03/22/24
11935	03/06/24	VIKING-CIVES USA	Description: FLINK 18" DI 4532527	210-5-40-12-430.000 R&M Vehicles & Equipment	300.00	52070	03/22/24
23395	03/06/24	VILLAGE HARDWARE - WILLIS	GAL Simple Green 517889	210-5-40-12-610.000 General Supplies	27.81	52071	03/22/24
21230	03/19/24	VISION SERVICE PLAN (CT)	Vision Apr 2024 820112770	210-5-30-10-210.000 Group Insurance	125.65	52072	03/22/24
21230	03/19/24	VISION SERVICE PLAN (CT)	Vision Apr 2024 820112770	210-5-16-10-210.000 Group Insurance	33.36	52072	03/22/24
21230	03/19/24	VISION SERVICE PLAN (CT)	Vision Apr 2024 820112770	210-5-35-10-210.000 Group Insurance	96.20	52072	03/22/24
21230	03/19/24	VISION SERVICE PLAN (CT)	Vision Apr 2024 820112770	210-5-40-13-210.000 Group Insurance	4.63	52072	03/22/24
21230	03/19/24	VISION SERVICE PLAN (CT)	Vision Apr 2024 820112770	210-5-10-10-210.000 Group Insurance	87.97	52072	03/22/24
21230	03/19/24	VISION SERVICE PLAN (CT)	Vision Apr 2024 820112770	210-5-40-12-210.000 Group Insurance	60.31	52072	03/22/24
21230	03/19/24	VISION SERVICE PLAN (CT)	Vision Apr 2024 820112770	210-5-13-10-210.000 Group Insurance	48.82	52072	03/22/24

Vendor	Invoice Description	Invoice Date	Invoice Number	Account	Amount Paid	Check Number	Check Date
21230	VISION SERVICE PLAN (CT)	03/19/24	Vision Apr 2024 820112770	210-5-30-12-210.000 Group Insurance	23.69	52072	03/22/24
29825	VT GAS SYSTEMS	02/22/24	MSP VT Gas March 157875602222	210-5-41-26-621.000 Natrual Gas/Heating	472.65	52073	03/22/24
29825	VT GAS SYSTEMS	02/22/24	MSP VT Gas March 810044022220	210-5-41-26-621.000 Natrual Gas/Heating	549.66	52074	03/22/24
07565	W B MASON CO INC	03/07/24	Park St/PS Cleaning 245079484	210-5-30-12-610.000 General Supplies	433.48	52075	03/22/24
07565	W B MASON CO INC	03/18/24	BL SUPPLY-Bags MAR24 245301027	210-5-35-10-610.000 General Supplies	46.76	52075	03/22/24
23390	WOMEN LEADING GOVERNMENT	03/18/24	WLG Membership March 2024 03182024Maho	210-5-10-10-500.000 Training, Conf, Dues	40.00	52076	03/22/24
23390	WOMEN LEADING GOVERNMENT	03/18/24	WLG Membership 2024 03182024Snel	210-5-10-10-500.000 Training, Conf, Dues	40.00	52076	03/22/24
23390	WOMEN LEADING GOVERNMENT	03/19/24	Membership dues WLG 31924DWYER	210-5-10-10-500.000 Training, Conf, Dues	40.00	52076	03/22/24
23390	WOMEN LEADING GOVERNMENT	03/21/24	Morris membership 2024 Morris 2024	210-5-13-10-500.000 Training, Conf, Dues	40.00	52076	03/22/24
05020	ESSEX JCT CITY OF	02/23/24	PW multi water Sewer bill 022324DPW	210-5-40-12-410.000 Water and Sewer Charges	1034.23 E	3224	03/22/24
05020	ESSEX JCT CITY OF	02/23/24	PW multi water Sewer bill 022324DPW	210-5-40-12-571.000 Streetscape Maintenance	601.20 E	3224	03/22/24
05020	ESSEX JCT CITY OF	02/23/24	MSP Main Bldg Water/Sewer 203494971	210-5-41-26-410.000 Water and Sewer Charges	819.70 E	3224	03/22/24
05020	ESSEX JCT CITY OF	02/23/24	MSP Pool Water/Sewer 203494981	210-5-41-26-410.000 Water and Sewer Charges	910.04 E	3224	03/22/24
05020	ESSEX JCT CITY OF	02/23/24	MSP Maint Bldg Water 203494991	210-5-41-26-410.000 Water and Sewer Charges	66.26 E	3224	03/22/24
05020	ESSEX JCT CITY OF	02/23/24	Park St Water/Sewer 203495001	210-5-41-23-410.000 Water and Sewer Charges	407.40 E	3224	03/22/24
05020	ESSEX JCT CITY OF	02/23/24	Water Bill Fire Dept 203495011	210-5-41-22-410.000 Water and Sewer Charges	177.10 E	3224	03/22/24
05020	ESSEX JCT CITY OF	02/23/24	2 Lincoln Water/Sewer Feb 203495021	210-5-41-20-410.000 Water and Sewer Charges	185.92 E	3224	03/22/24
05020	ESSEX JCT CITY OF	02/23/24	2 Lincoln Sprinkler Feb 2 203495031	210-5-41-20-410.000 Water and Sewer Charges	91.51 E	3224	03/22/24
05020	ESSEX JCT CITY OF	02/23/24	BL WATER OCT-FEB24 203495051	210-5-41-21-410.000 Water and Sewer Charges	199.15 E	3224	03/22/24
05020	ESSEX JCT CITY OF	02/23/24	Cascade Pk Water/Sewer 203495131	210-5-41-26-410.000 Water and Sewer Charges	50.84 E	3224	03/22/24
17140	THE EDGE (VILLAGE)	03/15/24	Payroll Transfer PR-03/15/24	210-2-00-00-210.005 Misc Deductions Payable	365.75 E	315241	03/15/24
17425	ICMA ROTH PLAN 706287	03/15/24	Payroll Transfer PR-03/15/24	210-2-00-00-210.004 Retirement Payable	100.00 E	315242	03/15/24
V1160	ICMA RETIREMENT TRUST-457	03/15/24	Payroll Transfer PR-03/15/24	210-2-00-00-210.004 Retirement Payable	2632.03 E	315244	03/15/24
V1161	ICMA RETIREMENT TRUST-401	03/15/24	Payroll Transfer PR-03/15/24	210-2-00-00-210.004 Retirement Payable	5909.99 E	315245	03/15/24
V1165	INTERNAL REVENUE SERVICE	03/15/24	Payroll Transfer PR-03/15/24	210-2-00-00-210.002 Federal Inc Tax W/H	37390.84 E	315246	03/20/24

Vendor	Invoice Date	Invoice Description Invoice Number	Account	Amount Paid	Check Number	Check Date
V2413	03/15/24	Payroll Transfer PR-03/15/24	210-2-00-00-210.003 State Inc Tax W/H	4616.87 E	315247	03/20/24
40855	03/18/24	Health Mar 2024 031824 7728	210-2-00-00-210.006 Health Ins. Copay	3009.43 E	318243	03/22/24
40855	03/18/24	Health Mar 2024 031824 7728	210-5-30-12-210.000 Group Insurance	2482.62 E	318243	03/22/24
40855	03/18/24	Health Mar 2024 031824 7728	210-5-40-12-210.000 Group Insurance	5766.14 E	318243	03/22/24
40855	03/18/24	Health Mar 2024 031824 7728	210-5-40-13-210.000 Group Insurance	554.98 E	318243	03/22/24
40855	03/18/24	Health Mar 2024 031824 7728	210-5-13-10-210.000 Group Insurance	800.85 E	318243	03/22/24
40855	03/18/24	Health Mar 2024 031824 7728	210-5-35-10-210.000 Group Insurance	9690.25 E	318243	03/22/24
40855	03/18/24	Health Mar 2024 031824 7728	210-5-10-10-210.000 Group Insurance	8969.51 E	318243	03/22/24
40855	03/18/24	Health Mar 2024 031824 7728	210-5-16-10-210.000 Group Insurance	1601.70 E	318243	03/22/24
40855	03/18/24	Health Mar 2024 031824 7728	210-5-30-10-210.000 Group Insurance	11131.84 E	318243	03/22/24
25715	03/05/24	Project 12-152 Crescent C 22822030524	230-5-16-10-890.824 Cres. Connector	6490.42	52010	03/22/24
V10462	02/29/24	legal Feb 2024 Feb 2024	230-5-16-10-890.824 Cres. Connector	87.00	52041	03/22/24
39425	03/19/24	2 Lincoln Renovations Mar 5130	232-5-41-20-890.832 2 Lincoln Street Renovati	22417.50	52060	03/22/24
17420	03/04/24	Diving Board 001351247000	233-5-00-00-740.006 Pool Improvements	6441.50	52053	03/22/24
25715	03/05/24	replac existing muni wate 21806030524	254-5-54-70-723.004 Main St Water Line	12174.20	52010	03/22/24
25715	03/05/24	updating utility City uti 23818030524	254-5-54-20-330.000 Professional Services	440.00	52010	03/22/24
27840	03/18/24	Life Ins Apr 2024 1613931	254-5-54-20-210.000 Group Insurance	87.84	52039	03/22/24
80059	03/08/24	SL INVENTORY 16554	254-5-54-70-723.006 Service Line Inventoy	16698.40	52042	03/22/24
24960	03/15/24	Dental Apr 2024 031524 6197	254-5-54-20-210.000 Group Insurance	310.66	52044	03/22/24
V2227	02/20/24	Neptune Tricon E3 Install 0167286	254-5-54-70-750.001 Meter Replacement Program	25.88	52069	03/22/24
21230	03/19/24	Vision Apr 2024 820112770	254-5-54-20-210.000 Group Insurance	60.31	52072	03/22/24
05020	02/23/24	PW multi water Sewer bill 022324DPW	254-5-54-20-410.000 Water and Sewer Charges	50.84 E	3224	03/22/24
40855	03/18/24	Health Mar 2024 031824 7728	254-5-54-20-210.000 Group Insurance	5766.14 E	318243	03/22/24
42625	03/01/24	10 yr eval project 01/28 82025	255-5-55-70-730.003 10 Year Engineer Evaluati	2868.00	51978	03/22/24
11375	03/01/24	Feb 2024 grit 3543377	255-5-55-30-421.000 Grit Disposal	1260.81	51990	03/22/24

Vendor	Invoice Date	Invoice Description	Invoice Number	Account	Amount Paid	Check Number	Check Date
21120	03/17/24	Functional Assessment NH	00066277-00	255-5-55-30-330.000 Professional Services	62.00	51995	03/22/24
26290	03/11/24	RAS flowmeter to replace	4458	255-5-55-30-570.000 Other Purchased Services	9153.25	51996	03/22/24
17895	03/01/24	Waste Water Cleaning Febr	15184	255-5-55-30-330.000 Professional Services	215.44	51998	03/22/24
11870	03/11/24	REPAIR ALPHA: BATT CONT	10400049	255-5-55-30-530.000 Communications	42.95	52007	03/22/24
V10347	03/07/24	PEST CONTROL MAINTENANCE	58528052	255-5-55-30-330.000 Professional Services	87.11	52012	03/22/24
06870	03/11/24	40CRF122.21 Appendix J Ta	481236	255-5-55-30-340.001 Lab Testing	1130.00	52013	03/22/24
06870	03/13/24	Essex Jct. WWTF TKN Mrch	481380	255-5-55-30-340.001 Lab Testing	35.00	52013	03/22/24
V1093	03/13/24	SODIUM BISULFITE March 2	PI26265	255-5-55-30-619.000 Chemicals	4732.89	52032	03/22/24
80087	03/11/24	Copier Lease March 2024	524492683	255-5-55-30-442.000 Rental Vehicles/Equip	158.45	52035	03/22/24
80087	03/06/24	Copier Lease Feb 2024	916.12	255-5-55-30-442.000 Rental Vehicles/Equip	121.27	52036	03/22/24
27840	03/18/24	Life Ins Apr 2024	1613931	255-5-55-30-210.000 Group Insurance	244.12	52039	03/22/24
24960	03/15/24	Dental Apr 2024	031524 6197	255-5-55-30-210.000 Group Insurance	387.84	52044	03/22/24
03160	03/06/24	POLYMER FOR DEWATERING	20905	255-5-55-30-568.000 Biosolids Subcontractor	9108.00	52046	03/22/24
V2093	03/11/24	3,500 G Caustic 50% Marc	467564	255-5-55-30-619.000 Chemicals	16225.50	52062	03/22/24
23395	03/11/24	6PK HD LG Scour Pad	517907	255-5-55-30-610.000 General Supplies	82.42	52071	03/22/24
21230	03/19/24	Vision Apr 2024	820112770	255-5-55-30-210.000 Group Insurance	87.22	52072	03/22/24
05020	02/23/24	WWTF multi water sewer 10	022324D	255-5-55-30-410.000 Water and Sewer Charges	1287.51 E	3224	03/22/24
40855	03/18/24	Health Mar 2024	031824 7728	255-5-55-30-210.000 Group Insurance	6812.82 E	318243	03/22/24
27840	03/18/24	Life Ins Apr 2024	1613931	256-5-56-40-210.000 Group Insurance	117.12	52039	03/22/24
24960	03/15/24	Dental Apr 2024	031524 6197	256-5-56-40-210.000 Group Insurance	292.43	52044	03/22/24
17505	03/12/24	Sand Hill Solar 2/8 to 3	263SH	256-5-56-40-434.002 West Street PS Costs	297.86	52058	03/22/24
17505	03/12/24	Sand Hill Solar 2/8 to 3	263SH	256-5-56-40-434.001 Susie Wilson PS Costs	233.67	52058	03/22/24
17505	03/12/24	Sand Hill Solar 2/8 to 3	263SH	256-5-56-40-622.000 Electricity	331.70	52058	03/22/24
V2227	02/20/24	Neptune Tricon E3 Install	0167286	256-5-56-70-750.001 Meter Replacement Program	51.76	52069	03/22/24
21230	03/19/24	Vision Apr 2024	820112770	256-5-56-40-210.000 Group Insurance	58.20	52072	03/22/24

Vendor	Invoice Date	Invoice Description Invoice Number	Account	Amount Paid	Check Number	Check Date
05020	02/23/24	WWTF multi water sewer 10 022324D	256-5-56-40-410.000 Water and Sewer Charges	133.00 E	3224	03/22/24
40855	03/18/24	Health Mar 2024 031824 7728	256-5-56-40-210.000 Group Insurance	4564.84 E	318243	03/22/24
80069	03/08/24	SW utility formation cons 32514	257-5-57-50-330.000 Professional Services	3643.75	52052	03/22/24
19815	03/06/24	RK EES Supplies 11M4FKN1CJ9W	259-5-30-15-610.000 General Supplies	305.29	51980	03/22/24
19815	03/15/24	Preschool Supplies 131DPGR9HLG3	259-5-30-16-610.000 General Supplies	119.34	51980	03/22/24
19815	03/09/24	RK EES Supplies 13CFCHKWG3KJ	259-5-30-15-610.000 General Supplies	47.08	51980	03/22/24
19815	03/17/24	RK Summit Supplies 1636WQ1NQXRN	259-5-30-15-610.000 General Supplies	6.94	51980	03/22/24
19815	03/10/24	RK FMS Supplies 1FNLHFKWKR9L	259-5-30-15-610.000 General Supplies	5.76	51980	03/22/24
19815	03/06/24	PS Supplies 1GPCLG3PF4J4	259-5-30-16-610.000 General Supplies	268.61	51980	03/22/24
19815	03/14/24	RK Westford Supplies 1J1TQT4479T4	259-5-30-15-610.000 General Supplies	28.98	51980	03/22/24
19815	03/09/24	RK Summit Supplies 1PHHP3P9GDGD	259-5-30-15-610.000 General Supplies	112.39	51980	03/22/24
19815	03/08/24	RK EES Supplies 1QJ4JMX97XGQ	259-5-30-15-610.000 General Supplies	6.29	51980	03/22/24
19815	03/16/24	Preschool Dry Erase 1QL3Q4PMN6L4	259-5-30-16-610.000 General Supplies	173.85	51980	03/22/24
19815	03/13/24	RK Westford Supplies 1QNLFC719CT	259-5-30-15-610.000 General Supplies	44.92	51980	03/22/24
19815	03/06/24	RK FMS Supplies 1VTHD9QD9J7G	259-5-30-15-610.000 General Supplies	109.11	51980	03/22/24
19815	03/13/24	RK EES Supplies 1YM34TLV1FP7	259-5-30-15-610.000 General Supplies	21.50	51980	03/22/24
25955	02/27/24	RK Cell Phones March 87301810224	259-5-30-15-530.000 Communications	810.62	51982	03/22/24
07465	03/19/24	Bath House Project 50579	259-5-30-11-431.000 R&M Buildings & Grounds	62.82	51985	03/22/24
41280	02/20/24	Preschool Fridge 86088621	259-5-30-16-610.000 General Supplies	2115.95	51986	03/22/24
80055	03/06/24	Yoga Flow Winter 030624D	259-5-30-14-330.000 Professional Services	355.20	51987	03/22/24
27590	02/29/24	Summer Brochure Printing 32495	259-5-30-10-550.000 Printing and Binding	5281.00	51991	03/22/24
26420	02/23/24	Preschool Furniture A7M05	259-5-30-16-610.000 General Supplies	3252.00	52004	03/22/24
27810	03/14/24	Camp Doc Overage March 2413076	259-5-30-15-330.000 Professional Services	80.00	52009	03/22/24
04640	03/05/24	PS First Aid Supplies VT8UR326927	259-5-30-16-610.000 General Supplies	23.20	52015	03/22/24
19215	02/20/24	RK Paint Sip 2/20 2	259-5-30-15-330.000 Professional Services	100.00	52023	03/22/24

Vendor	Invoice Date	Invoice Description Invoice Number	Account	Amount Paid	Check Number	Check Date
20195	12/01/23	GET AIR Vac Camp Trip 12/28 2390838	259-5-30-15-330.000 Professional Services	448.00	52024	03/22/24
00820	02/10/24	GLOBAL EQUIPMENT COMPANY MSP Pet Waste Stations 121533745	259-5-30-12-610.000 General Supplies	2374.59	52025	03/22/24
11260	01/20/24	GOLD STAR DOG TRAINING Dog Training Program Jan 96	259-5-30-14-330.000 Professional Services	3100.00	52026	03/22/24
11260	03/10/24	GOLD STAR DOG TRAINING Dog Training Program Marc 99	259-5-30-14-330.000 Professional Services	2561.60	52026	03/22/24
80087	03/11/24	KONICA MINOLTA PREMIER FI Copier Lease March 2024 524492683	259-5-30-10-442.000 Rental Vehicles/Equip	165.50	52035	03/22/24
80087	03/11/24	KONICA MINOLTA PREMIER FI Copier Lease March 2024 524492683	259-5-30-16-442.000 Rental Vehicles/Equip	149.40	52035	03/22/24
80087	03/06/24	KONICA MINOLTA PREMIER FI Copier Lease Feb 2024 916.12	259-5-30-10-442.000 Rental Vehicles/Equip	125.99	52036	03/22/24
80087	03/06/24	KONICA MINOLTA PREMIER FI Copier Lease Feb 2024 916.12	259-5-30-16-442.000 Rental Vehicles/Equip	115.21	52036	03/22/24
25795	03/07/24	LAKESHORE LEARNING Preschool Supplies 260530030724	259-5-30-16-610.000 General Supplies	1342.05	52037	03/22/24
25625	03/02/24	LOWE'S - 1080 EJRP Lowes March 41910800324	259-5-30-16-431.000 R&M Buildings & Grounds	3367.57	52038	03/22/24
27840	03/18/24	MADISON NATIONAL LIFE INS Life Ins Apr 2024 1613931	259-5-30-16-210.000 Group Insurance	180.96	52039	03/22/24
27840	03/18/24	MADISON NATIONAL LIFE INS Life Ins Apr 2024 1613931	259-5-30-15-210.000 Group Insurance	328.89	52039	03/22/24
24960	03/15/24	NORTHEAST DELTA DENTAL Dental Apr 2024 031524 6197	259-5-30-15-210.000 Group Insurance	248.45	52044	03/22/24
24960	03/15/24	NORTHEAST DELTA DENTAL Dental Apr 2024 031524 6197	259-5-30-16-210.000 Group Insurance	395.97	52044	03/22/24
80025	03/14/24	PAUL, BETH Garden Refund B.Paul \$80 181615	259-4-30-14-020.312 Adult Programs	80.00	52047	03/22/24
29425	03/06/24	PERFORMANCE FOOD SERVICE RK EES Snack 132331	259-5-30-15-610.000 General Supplies	198.59	52048	03/22/24
29425	03/06/24	PERFORMANCE FOOD SERVICE RK FMS Snack 132876	259-5-30-15-610.000 General Supplies	110.87	52048	03/22/24
29425	03/07/24	PERFORMANCE FOOD SERVICE RK Snack 133547	259-5-30-15-610.000 General Supplies	253.85	52048	03/22/24
29425	03/11/24	PERFORMANCE FOOD SERVICE RK Westford Snack 133871	259-5-30-15-610.000 General Supplies	40.01	52048	03/22/24
29425	03/11/24	PERFORMANCE FOOD SERVICE RK MSP Snack 134521	259-5-30-15-610.000 General Supplies	280.69	52048	03/22/24
29425	03/12/24	PERFORMANCE FOOD SERVICE RK FMS Snack 135745	259-5-30-15-610.000 General Supplies	238.28	52048	03/22/24
29425	03/12/24	PERFORMANCE FOOD SERVICE RK MSP Snack 136476	259-5-30-15-610.000 General Supplies	239.89	52048	03/22/24
29425	03/12/24	PERFORMANCE FOOD SERVICE RK Westford Snack 136477	259-5-30-15-610.000 General Supplies	40.01	52048	03/22/24
29425	03/14/24	PERFORMANCE FOOD SERVICE RK MSP Snack CREDIT 137689	259-5-30-15-610.000 General Supplies	-280.69	52048	03/22/24
29425	03/14/24	PERFORMANCE FOOD SERVICE RK Westford CREDIT 137690	259-5-30-15-610.000 General Supplies	-40.01	52048	03/22/24

Vendor	Invoice Date	Invoice Description	Invoice Number	Account	Amount Paid	Check Number	Check Date
29425	03/14/24	PERFORMANCE FOOD SERVICE	RK Fleming Snack 137825	259-5-30-15-610.000 General Supplies	272.29	52048	03/22/24
29425	03/18/24	PERFORMANCE FOOD SERVICE	RK Westford Snack 139119	259-5-30-15-610.000 General Supplies	62.89	52048	03/22/24
29425	03/18/24	PERFORMANCE FOOD SERVICE	RK MSP Snack 139146	259-5-30-15-610.000 General Supplies	187.61	52048	03/22/24
80025	03/21/24	PURDY, LINDA	Dog Prog Refund Purdy \$16 182299	259-4-30-14-020.312 Adult Programs	165.00	52050	03/22/24
16090	03/08/24	REGAL GYMNASTICS ACADEMY	Vac Camp 2/28-29, 3/1 030824D	259-5-30-15-330.000 Professional Services	1508.00	52054	03/22/24
43275	03/17/24	RYCANDON MECHANICAL, INC.	Park St/Preschool Project 15296	259-5-30-16-431.000 R&M Buildings & Grounds	8000.00	52056	03/22/24
19295	02/27/24	SOLO	WFA CPR Deposit 5/18-19 02272412	259-5-30-14-330.000 Professional Services	800.00	52063	03/22/24
45825	03/05/24	SPARE TIME	Vac Camp Trip 3/5 37003614	259-5-30-15-330.000 Professional Services	408.00	52065	03/22/24
29090	03/06/24	SUNBELT RENTALS	Propane Cylinder Bathhous 150980695000	259-5-30-11-431.000 R&M Buildings & Grounds	110.40	52067	03/22/24
20340	03/06/24	THE SWIMMING HOLE	Vac Camp Trip 3/1 030624D	259-5-30-15-330.000 Professional Services	540.00	52068	03/22/24
21230	03/19/24	VISION SERVICE PLAN (CT)	Vision Apr 2024 820112770	259-5-30-15-210.000 Group Insurance	62.37	52072	03/22/24
21230	03/19/24	VISION SERVICE PLAN (CT)	Vision Apr 2024 820112770	259-5-30-16-210.000 Group Insurance	83.62	52072	03/22/24
05020	02/23/24	ESSEX JCT CITY OF	West St Garden Water/Sewer 203495061	259-5-30-14-330.000 Professional Services	294.87 E	3224	03/22/24
40855	03/18/24	CIGNA HEALTH AND LIFE INS	Health Mar 2024 031824 7728	259-5-30-16-210.000 Group Insurance	5605.97 E	318243	03/22/24
40855	03/18/24	CIGNA HEALTH AND LIFE INS	Health Mar 2024 031824 7728	259-5-30-15-210.000 Group Insurance	5686.02 E	318243	03/22/24
Report Total					----- 355935.40 =====		

To the Treasurer of City of Essex Junction, We Hereby certify
that there is due to the several persons whose names are
listed hereon the sum against each name and that there
are good and sufficient vouchers supporting the payments
aggregating \$ ***355,935.40
Let this be your order for the payments of these amounts.

**CITY OF ESSEX JUNCTION
PLANNING COMMISSION
PUBLIC HEARING
MINUTES OF MEETING
March 7, 2024
DRAFT**

MEMBERS PRESENT: Phil Batalion, Chair; Patrick Scheld, Vice Chair; Scott McCormick.

ADMINISTRATION: Chris Yuen, Community Development Director; Jennifer Marbl, City Planner (via zoom).

OTHERS PRESENT: Cora Delucia, Lexi.

1. CALL TO ORDER

Phil Batalion called the meeting to order at 6:35 PM.

2. AGENDA ADDITIONS/CHANGES

Commissioner Scheld requested addition of a public art grant discussion as agenda item 5a.

Commissioner McCormick requested discussion of the rental registry conversation, and Director Yuen replied that he is prepared to give an update during the staff updates portion of the meeting.

3. PUBLIC TO BE HEARD

a. Comments from Public on Items Not on Agenda

None.

4. MINUTES

a. February 1, 2024

MOTION by PATRICK SCHELD, SECOND by SCOTT McCORMICK, to approve the minutes of February 1, 2024 as presented. VOTING: unanimous (3-0); motion carries.

5. BUSINESS ITEMS

a. Public Art Grant *new item*

Commissioner Scheld began by noting that the Vermont Arts Council funds different art projects and he has reached out to a contact at the Council about opportunities for grant funding for art near City gateways. He spoke about potential areas for art installations at gateways to the City as an opportunity for placemaking. He said that the Council has suggested pursuing a \$5,000 design grant for public art, and that a \$15,000 grant opportunity for implementation of that design would subsequently be available both after procurement of an artist through an RFP. He said that a requirement of the grant application is a preliminary project pitch, which is due at the end of next week. He said that the area he was thinking could be suitable for this type of public gateway art would be a concrete wall located on Route 2A North as one travels into Essex Junction from Williston. He said that an outstanding question relates to the property-owner's willingness to have art or a mural on this concrete wall (which is moot if the concrete wall is in the public right-of-way). He said that grantees are not responsible for local match, but any costs above \$5,000 would be the responsibility of the grantee. Other Commissioners expressed their support for pursuing this grant, and Commissioner Scheld said that he would be willing to put together

the preliminary project pitch as well as help with grant management, if the City pursues this. He said that this grant would not preclude eligibility for other grants from the Vermont Arts Council. He said that as he sees it, they could put together a preliminary pitch and concurrently reach out to the property owner next week, and if they are invited to pursue a full application from the Council and the property owner is amenable to the use of this wall, they could issue an RFP for art design and the Planning Commission could play a role in the selection of the artist. Once that occurs, they could ask the artist to provide several design options, which the public and the Planning Commission would weigh in on and make a selection.

Director Yuen said that he will follow up with the Public Works Department to determine where the boundary line for that parcel lies and determine who owns the concrete wall in question. Commissioner Scheld said that simultaneously he will draft a letter of intent to submit to the Vermont Arts Council by March 18. He added that if they are selected to pursue an application, the full application is due June 3.

MOTION by PATRICK SCHELD, SECOND by SCOTT McCORMICK, to begin work on the animated infrastructure grant with the Vermont Arts Council. VOTING: unanimous (3-0); motion carries.

b. Neighborhood Development Area update

Director Yuen said that the City applied for the Neighborhood Development Area expansion last month and that the Downtown Board met at the end of February and approved this application. He showed the expanded boundaries of the Neighborhood Development Area for the City, noting that it now covers the Highway Arterial District, where small and medium-sized development is now occurring.

Commissioner Scheld spoke about how this fits into the Homes For All project and toolkit being run by the Agency of Commerce and Community Development (ACCD), which is focused on more development of the “missing middle” type of housing in municipalities around Vermont.

c. Review examples of E.V. charging regulations for Land Development Code updates

City Planner Marbl said that she has researched what other municipalities are doing in terms of E.V. charging regulations and that she has found that generally, other municipalities are encouraging E.V. charging but aren't requiring developments to install E.V. chargers. She noted that South Burlington is currently looking into some kind of E.V. charging requirement, though it is in process. She reminded the Planning Commission that the Residential Building Energy Standards (RBES) and Commercial Building Energy Standards (CBES) at the State level both require developers to attest to having met certain energy standards, through voluntary compliance. She said that Essex Junction could recommend voluntary compliance with the RBES/CBES E.V. charging requirements, that it could offer municipal incentives for installation of E.V. charging stations, or it could pursue adoption of requirements for meeting or exceeding the RBES/CBES standard for E.V. charging. Director Yuen noted that the RBES and CBES are State standards and cannot be enforced by a municipality unless it is included in the City's building code (which Essex Junction does not have). City Planner Marbl said that the City will continue to monitor South Burlington's requirements once they are released to the public, in case Essex Junction could leverage them for its own requirements.

City Planner Marbl provided a summary of potential options the City could pursue, should it decide to pursue E.V. charging requirements above the RBES/CBES. She said that these include mirroring the

2014 recommendations from the Chittenden County Regional Planning Commission (CCRPC), mirroring the 2020 version of the RBES/CBES standards, or mirroring the new 2024 version of the RBES/CBES standards. Commissioner Scheld also suggested looking at the Vermont Housing Finance Agency (VHFA) and Vermont Housing Conservation Board (VHCB) housing applications, which include requirements for developers related to E.V. charging. City Planner Marbl also noted that the City could look at LEED green/gold standards for buildings.

Commissioner McCormick noted that existing standards include incentives for developers to include E.V. charging capabilities for certain parking spots, but not the installation of chargers themselves. He asked what the incentive is for installation of charges, not just ensuring that certain parking spaces are E.V. charging capable. Commissioner Batalion said that they should also be forward-thinking and consider what a property could look like 20 years from now, which is the intent of the RBES/CBES requirements.

Commissioner Scheld said that he would be supportive of requiring 1-2 E.V. charging spots in a development. Commissioner Batalion said that it is important to think about whether the City wants to encourage adoption of E.V. charging or ensure that there is a minimum number of accessible spots, saying that he would like to explore a mix of E.V. charging capable spots and E.V. charger spots for developments. He also asked about the feasibility of including regulations if minimum parking requirements are no longer in place. He said that if the City decides to align municipal requirements with the current RBES/CBES regulations, what is the downside for including those requirements in its Land Development Code (LDC). Director Yuen replied that there is no downside as long as it is legal, given that the Vermont League of Cities and Towns (VLTC) has opined that municipal LDCs are not an appropriate place for this type of regulation, given that they deal with zoning and location of development, and that building code or ordinance are more appropriate for E.V. charging requirements. He said that he would like to follow up with the City's own municipal attorney on this point.

The Planning Commission expressed interest in pursuing RBES/CBES-aligned requirements at the local level, and will encourage voluntary compliance with the RBES/CBES standards when development applications are received by the City.

d. Land Development Code amendments to Chapter 714: Sign Regulations presentation

Director Yuen said that staff began its work on sign regulation updates by examining Burlington's regulations related to signs and testing them out in Essex Junction scenarios. He said that City staff inventoried potential signage along major commercial corridors in February and tested them against existing LDC and proposed amended LDC requirements (based on Burlington's regulations). He said that he would like the Planning Commission to review these for unintended consequences.

Director Yuen showed the following sign examples:

- A directional sign on 11 Maple Street. He noted that the 2023 LDC requirements say that directional signs cannot exceed 3 square feet, and the proposed LDC amendments have a 2 square foot limit and require the sign to be oriented toward internal use. He said that the 11 Maple Street example is out of compliance with both of these versions of LDC requirements. He noted that this example's enforcement prioritization is medium.
- An example of an advertising banner at 27 Park Street. He said that under the current LDC, this sign is not in compliance because it advertises a product, but that this LDC requirement itself is

questionable because it is not a content-neutral requirement. He said that the proposed LDC amendment would categorize this as a temporary banner, which would limit it to 30 consecutive days at a maximum with a minimum of 30 days between display periods and 2 display periods per year. He said that this sign example isn't in compliance with either set of LDC requirements, and that its enforcement prioritization is low (visible from the parking lot but not very obvious from the right-of-way). Commissioner Batalion asked whether this example should be considered temporary, given the size of it. Director Yuen replied that this could be permitted as a wall sign rather than a banner, and would count toward the total wall space allowed. Director Yuen also showed an example of a banner/wall sign at 34 Park Street, showing banners being used as wall signs (which they do not have permits for).

- An example of a banner at 110 Pearl Street. He said that the issue with this banner is that it is currently hung from a utility pole, and isn't in compliance with the 2023 LDC. He said that under the proposed LDC amendments, this would be considered a temporary sign and would be limited to 6 square feet, and would be limited to 30 consecutive days at a maximum with a minimum of 30 days between display periods and 2 display periods per year. He said that it would be in compliance as long as it adheres to the temporary requirements, and its enforcement prioritization is medium.
- An example of a banner at 110 Pearl Street. He noted that it would be categorized as a special event sign/banner in the right-of-way, and that it is in compliance with the 2023 LDC requirements, as well as the proposed LDC amendments, since the municipality would be allowed to put up any sign.
- An example of neon window signs at 94 Pearl Street. He noted that under the 2023 LDC, the signs would be considered internally illuminated window signs and would be limited to 25% maximum coverage, which are in compliance and don't require a permit. He said that under the proposed LDC amendments, this would also still be in compliance but would require a permit. He said that this leads to some policy questions, such as whether there should be quantity limits and permit requirements for internally lit window signs and whether there should be quantity limits and permit requirements for non-illuminated window signs. Commissioner Batalion said that this may depend on whether the signs are pointed at the right-of-way or at other buildings, as signs that face other buildings could be more of a nuisance. Director Yuen agreed that nuisances are a good reason to regulate, and so are aesthetics. Commissioner McCormick said that quantity limits for lit signs should be considered for certain districts (such as the Village Center district), while other districts could have higher quantities. Commissioners agreed that permit requirements for illuminated signs make sense, while permit requirements for non-illuminated signs may be more burdensome to enforce.
- Several examples that deal with complaints from Essex Junction residents. He showed an example with multiple wall signs, which doesn't comport with current requirements that limit wall signs to one per business, though this example was allowed because the second sign was treated as a directional sign. He noted that under the proposed LDC amendments, wall signs would not be limited by quantity, but by the total size based on the size of the wall, and that permits would be required. Commissioners agreed with the proposed amendments, which limit the total based on the size of the wall. Director Yuen showed an example of small wall signs, which under the current rules are limited to 1 per business and have a maximum size of the linear façade feet x 15 x 5%, or 20 square feet (whichever is bigger), and under the proposed LDC amendments would be limited to 2 square feet per linear foot of façade. He asked whether the low-end maximums make sense. Commissioner Batalion said that they seem to make sense, but

the bigger they get, the more a setback might be important to consider. Director Yuen then showed an example of a large wall sign, noting that the current requirements are 1 per business and that the maximum size is the linear feet façade x 15 x 5% or 20 square feet (whichever is bigger), and that the proposed LDC amendments would limit the size to 2 square feet per linear foot of façade and a 200 square foot absolute maximum for all wall signs combined. He asked whether the limits should consider absolute maximums or absolute minimums. He noted that South Burlington and Winooski both have absolute size limits of 100 square feet and 40 square feet respectively. Commissioner Batalion said that setbacks are important to consider, and also asked whether the requirements could be different by district.

- Examples that include multiple types of signs. He noted that the 2023 LDC has de-facto limited establishments to 2 types of signs per property, and that staff review found no actual limit in the LDC. He said that the proposed LDC amendments would ban certain combinations of sign types (i.e., no projecting sign if a freestanding sign is also used). Commissioners agreed that it makes sense to regulate the combinations of signs.
- An example related to sandwich boards. He said that this sign type is difficult to regulate under current rules. He said that the current LDC allows for a sandwich board to be a maximum of 15 feet from the door and that they are only allowed during business hours. He said that the proposed LDC amendments would mirror these requirements. He noted that sandwich boards are usually not in compliance with these requirements. He asked whether 15 feet from the door is the correct maximum distance, given that businesses are sometimes located around the back of the building from where the sandwich board is located. He noted that Winooski doesn't have a 15-foot limit, and that South Burlington treats sandwich boards as temporary signs. Commissioner Batalion said that he doesn't see an issue with sandwich boards, other than safety issues if they are blown over into the sidewalk or road. He said that he would increase the 15-foot limit to a reasonable distance and also include language to require sandwich boards to be weighted down and secured from blowing away.
- An example of multi-business freestanding signs, such as what appear at entrances to strip malls. He said that under the 2023 LDC, there is a limit of one per lot or 2 per lot if it has more than 400 feet of frontage, and that the size limit is 0.3 square feet per linear foot of street frontage, capped at 40, 50, or 60 square feet depending on the frontage length. He said that the proposed LDC amendments would limit this type of sign to 1 per primary street frontage and limit the size to 60 square feet or 0.3 square feet per linear foot of street frontage (whichever is less). He noted that businesses in malls with large setbacks or no access to freestanding sign space could resort to sandwich boards or other temporary signs. He also noted that South Burlington allows for one freestanding sign per entrance per lot, when each entrance is more than 300 square feet from one another. Commissioner Batalion suggested allowing a freestanding sign per entrance but requiring the distance be increased from 300 feet to 500 feet, and that signs should be limited to 2.

Director Yuen said that he will draft changes based on today's discussion, and encouraged Planning Commissioners to test these sign regulations for themselves, if they have time. He said that he would like to ensure that the regulations don't stifle creativity and provide a viable path for compliance. He noted that signs that are out of compliance currently will be grandfathered into the new bylaws once they go into effect. Commissioner McCormick suggested thinking about outreach to the public on what is and is not allowed, once any new LDC amendments go into effect, given that a code enforcement officer will likely not be active for some time.

6. COMMISSIONER UPDATES

Commissioner McCormick provided updates on the City's strategic initiatives and community engagement. He noted that there is a meeting next week to discuss the next online survey that will go onto the City's website in the next several weeks. He said that the survey will be online for two weeks and gives more specifics about the six pillars identified for the City.

7. STAFF UPDATES

Director Yuen noted that the rental registry was on the City Council's agenda at its February 28 meeting. He said that the Council decided to take a step back and consider all possibilities for the program, including ways to make it cheaper and ways to phase in the program. He said a concern that arose was how to make it clear what the inspection criteria is, given that some of the criteria is nested within larger state requirements. He said that there were concerns about the revenues from the fees building up a reserve. He said that there is no timeline for when the City Council will discuss this again, and that this was removed from the FY25 budget. Commissioner McCormick noted that the City Council also discussed meeting with the Planning Commission on this, which he strongly supports, and said that the topics for this joint meeting should be the rental registry as well as the Comprehensive Plan. Other Commissioners concurred. Commissioner Scheld said that any reserve built up from revenues from fees related to the registry could be used to help landlords come into compliance with any findings related to inspections. Commissioner McCormick said that a portion of the fees could also be set aside for a housing trust fund.

8. ADJOURNMENT

**MOTION by SCOTT McCORMICK, SECOND by PATRICK SCHELD, to adjourn the meeting.
VOTING: unanimous (3-0); motion carries.**

The meeting was adjourned at 8:49 P.M.

RScty: AACoonradt

City of Essex Junction
Bike/Walk Advisory Committee Meeting Minutes

March 18, 2024

DRAFT

Attendees

Staff: Chris Yuen

Micah Hagan, Eric Bowker, Michael Giguere, John O'Brien

Local Motion: Susan Grasso

Public: Lexi (via Zoom)

Meeting called to order at 7:04pm

February Minutes Approval pushed to April meeting due to lack of quorum.

Walk to Shop program update pushed to April meeting.

No public comments made.

Library Collaboration Initiative

Bike Safety Course – Youth focused. Some committee support for running a safety course. Susan Grasso will check if Local Motion Bike Smart trailer is available. Backup plan to look into use the bikes from EJRP.

Verify library's plan to run the skills course. Would part of the library parking area be used?

Needs : Cones, Wash away paint for marking lanes.

Determine potential dates with Erna.

Bike Maintenance Workshop – cover the basics (Tires, Brakes, Chain care, cables, etc). Susan Grasso to check with Local Motion mechanic for suggestions.

Bike Repair Station – Get Dero Items Quoted with Local Motion. Would need to act quickly to order and get in before end of June to fall in 2023-2034 fiscal calendar.

New England Grassroots fund – potential funding help with repair station

UVM North/Grove Design – Pedestrian Island Concept Review

Similar to Local Motion option. Concerns need to be investigated around plowing, railroad, and school bus usage.

Short term – Demo project opportunity

Ivy Lane – owned by Amtrak, used for parking – one-way road

Could we add a bike path through Ivy Lane connecting the existing bike path over to Railroad Street.

Bike Rack Inventory

Bike Parking Opportunities

Commercial Bike Parking – Incentivize businesses expanding bike parking by funding a program cover part of the cost (50%?)

Member Updates – Eric Bowker – Crescent Connector Striping concerns

Reviewed plan and paint bike

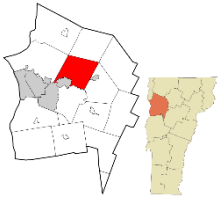
Staff Updates

Expect upcoming review of plan for Susie Wilson

League of American Bicyclists – Renewal Project Opportunity – 2024 Applications due in June.

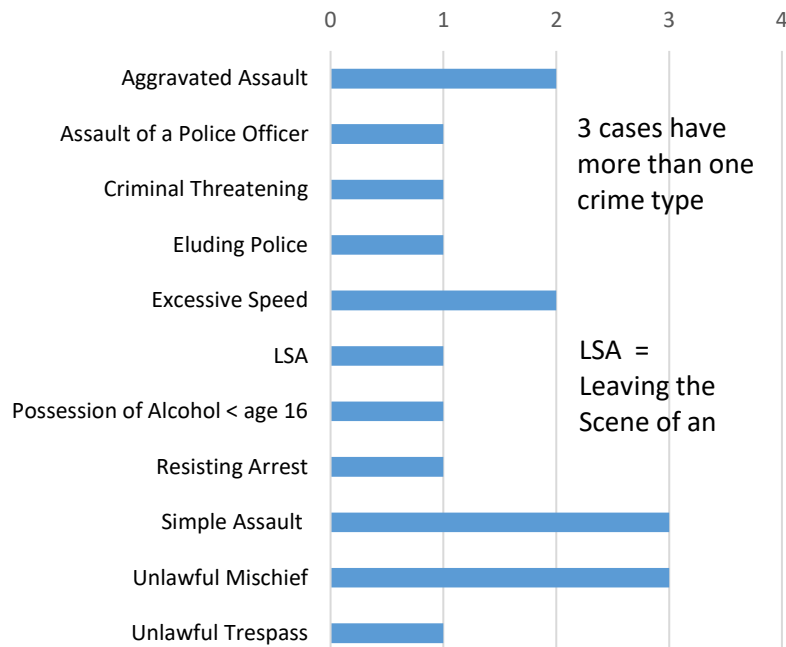
Meeting Adjourned at 8:06pm

Restorative Justice in Essex



Through a Pre-Charge program, the Essex Police Department can refer cases to Restorative Justice Panels instead of court. The panels are facilitated by trained community volunteers and serve as a proven and cost-effective means to addressing low level offenses. Through a series of conversations, the panel process holds those responsible for crime accountable for their actions and provides an important opportunity for those affected by crime to share their stories and identify needs for repair.

Essex PD Direct Referrals by Crime Type July-Dec 2023



Community Impact of July – Dec 23 Referrals

10 of the new cases had community members and businesses impacted by the crime. Essex CJC staff reached out to all the impacted parties to discuss the referral, explore what they needed, and discuss how they can be involved.

Affected parties from 6 cases chose to participate in the restorative justice process involving their situation.

\$110 in restitution was resolved through the panel agreement process by those responsible for the crime.

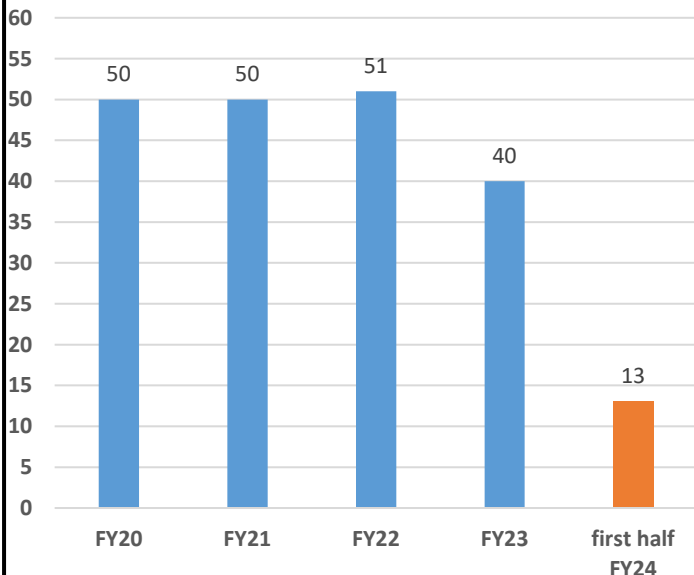
Community residents provided **121 hours of service** through the facilitation of panels in the community.



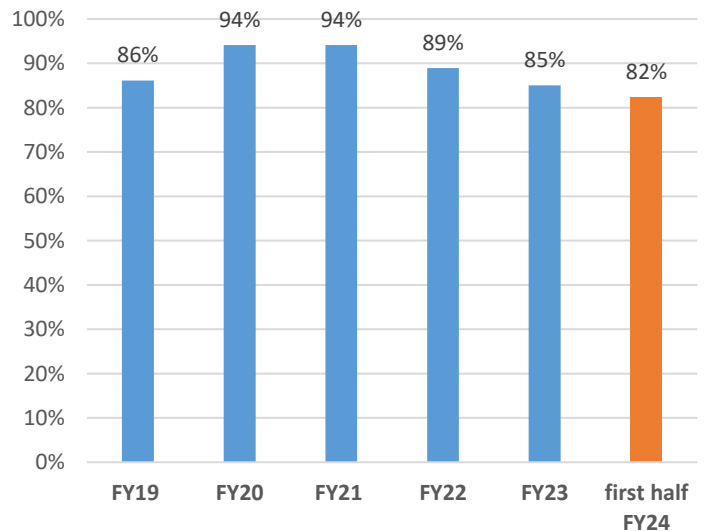
5 Year Trends



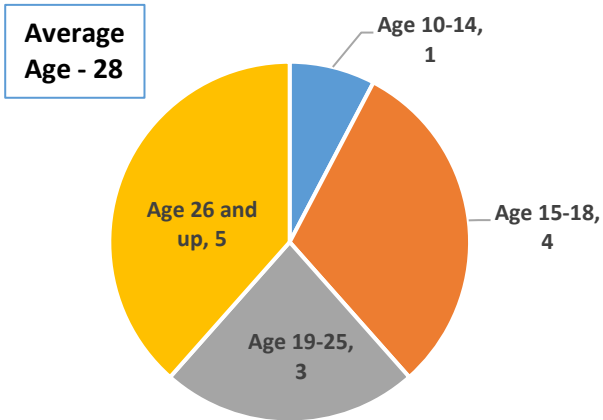
Essex PD Referrals by Fiscal Year



Successful Completions of Essex PD Direct Referrals



Responsible Party Ages of Essex PD Direct Referrals July - Dec 2023



Essex PD Officer Referral Numbers July - December 2023

Officers with 2 referrals

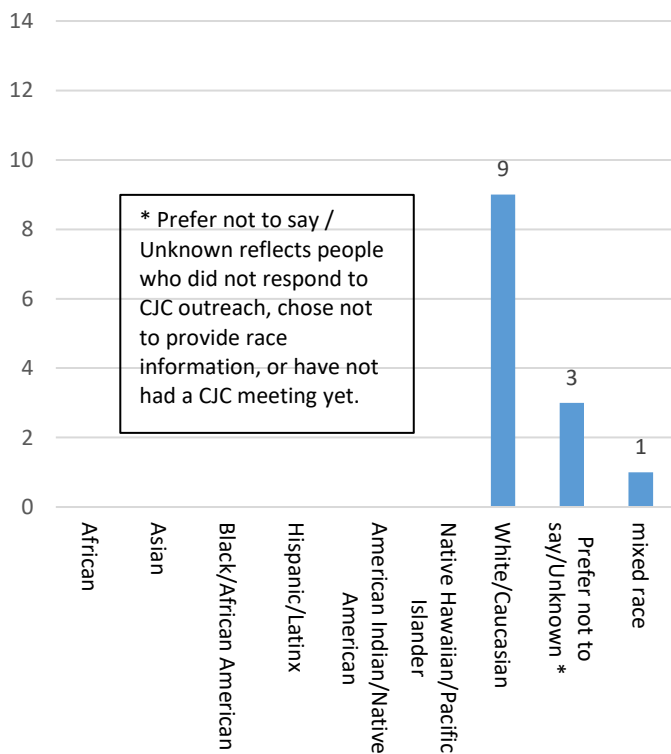
- Cpl. Beaulier
- Cpl. Feit
- Ofc. Fournier
- Sgt. Hall
- Ofc. Kochelyaev

Officers with 1 referral

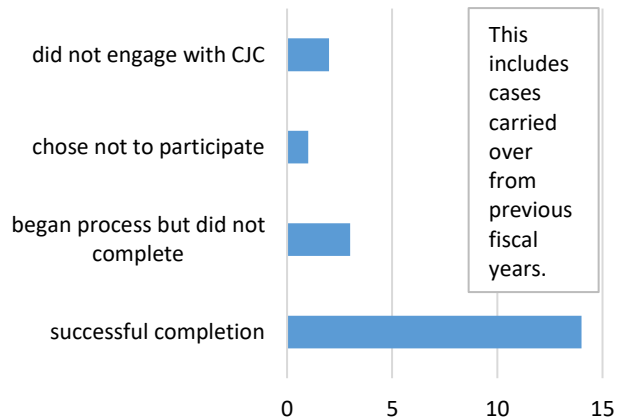
- Sgt. Chistolini
- Ofc. DePasquale
- Cpl. Ruttenberg

4 referrals (31% of new referrals) were kicked back from the Chittenden County States Attorney's Office

Self-Reported Race of Essex PD Direct Referrals July - Dec 2023



Cases Resolved between July 2023 - Dec 2023



Quote from parent/guardian:

“The agreement was the perfect solution by including a plan to work with the victim/community to fix what was damaged. ... I feel that the meeting with the victim was the most impactful part of the process.”

